

I CERTIFY THAT THIS PLAN IS REGISTERED IN THE LAND REGISTRY OFFICE FOR THE LAND TITLES DIVISION OF HALTON AT 12:03 O'CLOCK ON THE 10th DAY OF NOV, 2023 AND ENTERED IN THE PARCEL REGISTER(S) FOR PROPERTY IDENTIFIER(S) 24930-1936 AND THE REQUIRED CONSENTS ARE REGISTERED AS PLAN DOCUMENT NO. HL2000267

"M. PICKARD"
REPRESENTATIVE FOR LAND REGISTRAR

THIS PLAN COMPRISES ALL OF P.I.N. 24930-1936

PLAN OF SUBDIVISION OF PART OF LOT 9 CONCESSION 1, NORTH OF DUNDAS STREET (GEOGRAPHIC TOWNSHIP OF TRAFALGAR) TOWN OF OAKVILLE REGIONAL MUNICIPALITY OF HALTON

SCALE 1:1000
10m 0m 10m 20m 30m 40m 50m 60m 70m 80m 90m 100m metres

R-PE SURVEYING LTD., O.L.S.
METRIC
DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

NOTES

- DENOTES MONUMENT SET
- DENOTES MONUMENT FOUND
- SSIB DENOTES SHORT STANDARD IRON BAR
- SIB DENOTES STANDARD IRON BAR
- IB DENOTES IRON BAR
- PB DENOTES PLASTIC BAR
- (NI) DENOTES NOT IDENTIFIED
- (WT) DENOTES WITNESS
- (731) DENOTES J. R. DUNNING O.L.S.
- P.I.N. DENOTES PROPERTY IDENTIFIER NUMBER
- SCP DENOTES SPECIFIED CONTROL POINT

ALL FOUND MONUMENTS ARE SHORT STANDARD IRON BARS BY R-PE SURVEYING LTD., O.L.S. UNLESS NOTED OTHERWISE
ALL SET MONUMENTS ARE PLASTIC BARS
PLASTIC BARS ARE SET DUE TO CONSTRUCTION ACTIVITY

BEARING NOTE

BEARINGS ARE GRID, UTM ZONE 17, NAD83 (ORIGINAL), DERIVED FROM:
SCP 10719990027 NORTH 4819957.108 EAST 602863.022
SCP 00119633660 NORTH 4818445.739 EAST 600361.085

COORDINATES ARE UTM ZONE 17, NAD83 (ORIGINAL), TO URBAN ACCURACY PER SEC. 14 (2) OF O.REG. 216/10, AND CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999707.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 3rd DAY OF FEBRUARY 2023.

DATE FEBRUARY 13 2023

R. Denbroeder
R. DENBROEDER
ONTARIO LAND SURVEYOR
THIS PLAN OF SURVEY RELATES TO AOLS PLAN OF SUBMISSION FORM NUMBER 2206641

OWNER'S CERTIFICATE

THIS IS TO CERTIFY THAT:

1. LOTS 1 TO 24, BOTH INCLUSIVE AND BLOCKS 25 TO 53, BOTH INCLUSIVE, BLOCK 54, 0.30 RESERVE, STREETS, NAMELY, GRANARY STREET COURTLEIGH TRAIL, POPPY GARDENS, MERRICK ROAD, BRAMALL GARDENS, LANGDON ROAD AND LANE 186, HAVE BEEN LAID OUT IN ACCORDANCE WITH OUR INSTRUCTIONS.
2. THE STREETS ARE HEREBY DEDICATED AS PUBLIC HIGHWAYS TO THE CORPORATION OF THE TOWN OF OAKVILLE.

MATTAMY (JOSHUA CREEK) LIMITED

DATE Mar 17, 2023

J. Sudderwaard
JASON SUDDERWAARD, A.S.S.
I HAVE THE AUTHORITY TO BIND THE CORPORATION

MUNICIPAL APPROVAL

APPROVED UNDER SECTION 51 OF THE PLANNING ACT, R.S.O. 1990, c.P.13, AS AMENDED, BY THE DIRECTOR OF PLANNING SERVICES OF THE TOWN OF OAKVILLE

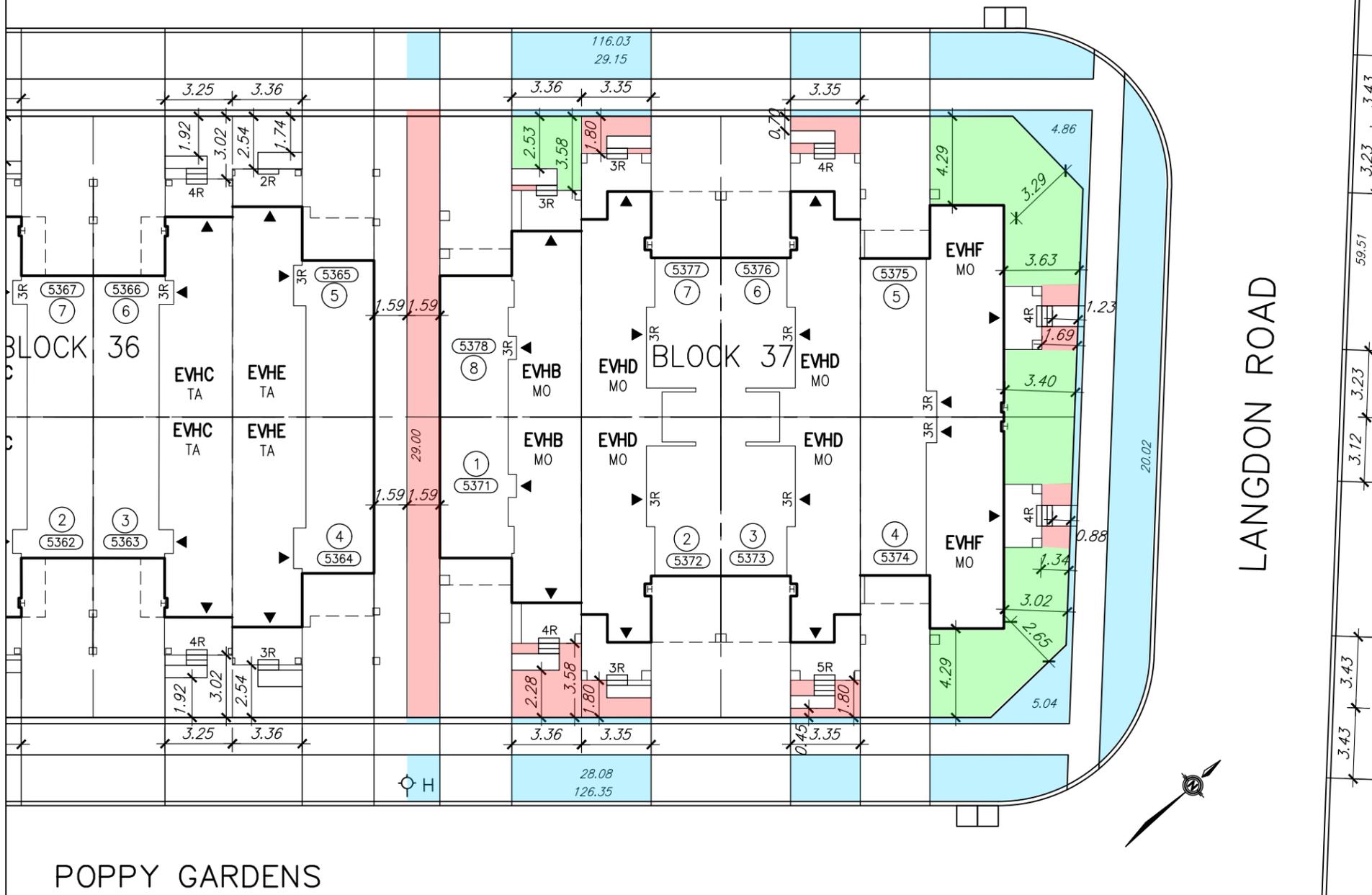
THIS 3rd DAY OF November, 2023

G. Charles
GABRIEL A. R. CHARLES MCIP, RPP
DIRECTOR OF PLANNING SERVICES
TOWN OF OAKVILLE
(AUTHORITY GRANTED BY BY-LAW 1998-272, AS AMENDED)

TOTAL AREA OF SUBDIVISION = 5.828 Ha.

rpe R-PE SURVEYING LTD.
ONTARIO LAND SURVEYORS
643 Chrislea Road, Suite 7
Woodbridge, Ontario L4L 8A3
Tel. (416) 635-5000 Fax (416) 635-5001
Tel. (905) 264-0881 Fax (905) 264-2099
Website: www.r-pe.ca
DRAWN: D.F./C.D.S./K.M. CHECKED: R.D.
JOB No. 21-066 CAD FILE No. 21066sf

GRANARY STREET



POPPY GARDENS

BLOCK 37 - LANDSCAPING AREAS LEGEND				
Area Type		Area (m ²)		
Block Area		919.18		
Block + Boulevard Area		1318.88		
		Landscape %		
Legend	Landscaping Type	Area (m ²)	of Block	Of Block+Blvd.
	2.4m x 2.4m Landscaping Areas	105.84	11.51%	N/A
	Non 2.4m x 2.4m Landscaping Areas	79.70	8.67%	N/A
	Total Landscaping within Block	185.54	20.19%	N/A
	Additional Boulevard Landscaping Areas	181.99		
	Total Landscaping Areas	367.53	N/A	27.87%

DSEL
 LOT GRADING REVIEW

WE CERTIFY THAT THE PROPOSED GRADES AT THE LOT CORNERS ARE CORRECT, AND THAT THE LOT GRADING OF THE SUBJECT LOT IS IN CONFORMITY TO THE APPROVED SUBDIVISION GRADING PLANS AND TOWN STANDARDS. THE UNDERSIGNED ASSUMES NO RESPONSIBILITY FOR THE CORRECTNESS OF THE BUILDING DIMENSIONS AND/OR CONFORMITY TO ANY APPLICABLE ZONING BY-LAWS.

Registered Plan No. _____
 Lot No(s) _____
 Date _____

MYWILLCOCKS - P:\2017\17039-5_Joshua Creek Phase 5\DRAWINGS-CAD\02-SITE PLAN PHASE #\17039-5-JC5-SPI-LANDSCAPING.dwg - December 12, 2023 8:02:00 PM

● UP LIGHT POLE	FF FINISHED FLOOR ELEVATION	REV REVERSE PLAN
◇ H HYDRANT	UF UNDERSIDE FOOTING ELEVATION	RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD)
⊕ TRANSFORMER	BF FIN. BASEMENT FLOOR SLAB	RETAINING WALL
⊕ WATER SERVICE	TFW TOP OF FOUNDATION WALL	ACOUSTICAL FENCE (SEE LANDSCAPE PLAN)
-SAN- DOUBLE SAN. CONNECTION	UFR UNDERSIDE FOOTING AT REAR	PRIVACY FENCE (SEE LANDSCAPE PLAN)
-SAN- SINGLE SAN. CONNECTION	UFF UNDERSIDE FOOTING AT FRONT	CHAIN LINK FENCE (SEE LANDSCAPE PLAN)
CB□ CATCH BASIN	W.O.B. WALK OUT BASEMENT	METAL FENCE (SEE LANDSCAPE PLAN)
△ EXTERIOR DOOR LOCATION	AIR CONDITIONER	FENCING TYPE AND LOCATION FOR REFERENCE ONLY. APPROVED LANDSCAPE PLANS SHALL GOVERN.
○ SIDE WINDOW LOCATION	EMBANKMENT 3:1 SLOPE	THIS LOT CONTAINS ENGINEERED FILL
→ SWALE DIRECTION	⊗ PROPOSED VALVE	NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED, BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.
⊗ CABLE TELEVISION PEDESTAL	⊕ SUPER MAIL BOX	
● BELL PEDESTAL	⊕ HYDRO METER	
○ SUMP PUMP DISCHARGE	—H— HYDRO SERVICE LATERAL	

Client:
MATTAMY HOMES
 GTW DIVISION

Project Name:
UPPER JOSHUA CREEK PH.5
OAKVILLE, ONT.

Sheet Title
BLOCK: 37
LOT #'S: 1-8

Scale:
 1:300

Date:
 23.12.11

Drawn by:
 BY / DA

Checked by:
 DA

Q4 Architects Inc.

4110 Yonge Street, Suite 602
 Toronto, Ontario M2P 2B7
 TEL: (416) 322-6334
 FAX: (416) 322-7294
 EMAIL: info@q4architects.com

Project No. 17039-5
 File: JC5-SPI

ONTARIO ASSOCIATION OF ARCHITECTS

Frances Martin Di Giuseppe
FRANCES MARTIN DI GIUSEPPE
 LICENCE 7216

Drawing No. 1 OF 1

ANY ENGINEERED FILL LOTS NOTED ARE ESTIMATED AND FOR REFERENCE ONLY AND THE ENGINEERED FILL CERTIFICATE PROVIDED BY THE PROJECT GEOTECHNICAL CONSULTANT WILL GOVERN.

THE BUILDER MUST MEASURE THE INVERT ELEVATIONS AND VERIFY THAT ADEQUATE FALL IS AVAILABLE FOR THE STORM AND SANITARY SEWER PIPES PRIOR TO THE POURING OF FOOTINGS. (AS CONSTRUCTED INVERTS MAY NOT BE AVAILABLE AT TIME OF APPROVAL.)

BUILDER TO VERIFY ADEQUACY OF FOUNDING SOILS WITH PROJECT GEOTECHNICAL CONSULTANT ADJACENT TO REAR LOT CATCHBASIN AND LEAD PRIOR TO POURING FOOTINGS.

EXTENDED FOOTINGS FOR RAISED UNITS: UNDERSIDE OF FOOTING TO BE EXTENDED TO ENGINEER FILL OR SUITABLE NATIVE MATERIAL TO BE APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.

January 3, 2024

Town of Oakville
Building Services Department
1225 Trafalgar Road
Oakville, ON L6H 0H3

Attention: Jasmina Radomirovic
Secretary-Treasurer, Committee of Adjustment

Re: **Application for Minor Variance**
Blocks 34-37 and Block 50 - Lot 3
Plan 20M-1268
Town of Oakville

We are pleased to submit four minor variance applications on behalf of Dunoak Developments Inc. (Mattamy Homes) for the above noted properties. The minor variances are requested to permit the zoned back-to-back townhouses (Blocks 34 – 37) and lane-based townhouse (Block 50 - Lot 3) with amended minimum landscape area requirements. The requested variances to By-law 2009-189 are as follows:

1. For Blocks 34 - 37, landscaped area may be calculated for a development block, whereas Section 4.10 requires compliance with the standards of the By-law to be achieved within the lot of which the building is constructed; and
2. For Blocks 35, 36 and 50 - Lot 3, the required minimum landscaped area may be satisfied by areas measuring 3 meters by 1.5 meters, whereas Section 4.25.2.1 requires minimum landscape requirements to be satisfied by areas measured as at least 2.4 by 2.4 meters.

As per By-law 2009-189, Section 7.6.8, minimum landscaped area is required at 10%. As per Section 4.10, this landscaped area must be achieved within the lot on which the building is constructed. As four of the requested variances are for back-to-back units (Blocks 34 – 37), where no rear yards are included, landscape areas must be accommodated in the front yard for all interior units. For Block 50 - Lot 3, a lane-based unit, the landscape area must also be accommodated in the front yard as the rear yard provides vehicular access. Section 4.25.2.1 requires that minimum landscape requirements may only be satisfied by one or more landscaped areas with dimensions of at least 2.4 by 2.4 meters. However, as encroachments are permitted for porches and other structures, there is insufficient space to provide the necessary 10% landscaped area per lot in an aggregated 2.4 by 2.4 meters area.

In order to provide the required 10% landscaped area, relief from Section 4.10 is requested for Blocks 34 to 37 to allow for the 10% to be measured across the block as a whole, instead of per lot. In addition to this relief, for interior blocks (Blocks 35 and 36) and Block 50 - Lot 3, relief is also requested from Section 4.25.2.1 to allow for the required measurements to be 3 meters by 1.5 meters. This will allow for the following landscape areas per block:

Block #	Total Landscape Area Coverage %
Block 34	27.58%
Block 35	16.20%
Block 36	17.32%
Block 37	20.19%
Block 50, Lot 3	11.18%

As exhibited above, all blocks are capable of providing a minimum of 10% of landscaped area, each in excess of the minimum. However, in order to facilitate this, variances are required to (1) measure the landscape area across the block as whole, alternatively from lot by lot, and (2) measure the minimum landscape area as 3 meters by 1.5 meters, alternatively from 2.4 by 2.4 meters. Of note, back-to-back and lane-based townhouses in the Neighborhood Centre (NC) Zone are not subject to this landscape requirement, only back-to-back and lane-based townhouses in the General Urban (GU) Zone. In addition, Blocks 34 – 37 feature additional landscape area within the boulevard, bringing the total minimum of landscaped area to between 20 to 30%.

These requested variances meet the general intent of the Official Plan and Zoning By-law. These variances are minor in nature and will provide in excess of the 10% landscape area for each block. These variances are appropriate because all corner blocks (34 and 37) still provide greater than 10% landscape area when measurement is across the entire block. All interior blocks (35, 36 and Block 50 – Lot 3) also provide greater than 10% landscape area across the entire block (lot for Block 50 – Lot 3), when measured at a minimum of 3 meters by 1.5 meters.

As Blocks 34 - 37 are back-to-back and no rear yards are provided, the minimum landscaped area would need to be provided in the front yard. However, due to permitted encroachments and the layout of the units, it is not possible to provide a 2.4 by 2.4 meter landscaped area on each lot. For Block 50 – Lot 3, greater than 10% landscape area is provided on the lot, when measured at a minimum of 3 meters by 1.5 meters. As this unit has a porch covering the full front wall of the home, it is not possible to achieve a 2.4 by 2.4-meter measurement area. These variances are desirable as the design of the units efficiently use land and contribute to a strong streetscape. Therefore, the requested variances are appropriate and satisfy the four tests under the Planning Act.

In support of the application, we are pleased to enclose the following items:

- Minor Variance Application Forms (per Block/Lot);
- Sitings/Architectural Plans (per Block/Lot), prepared by Q4 Architects;
- Landscape Area Diagram (per Block/Lot), prepared by Q4 Architects; and
- M-Plan 20M-1268, prepared by R-PE Surveying, dated 2023-02-15.

Upon confirmation of receipt and fee payment instructions, fees will be paid as instructed. Please feel free to contact me should you have any questions or require any further information.

Sincerely yours,

KORSIAK URBAN PLANNING

A handwritten signature in black ink, appearing to read 'C. McEwan', with a long horizontal flourish extending to the right.

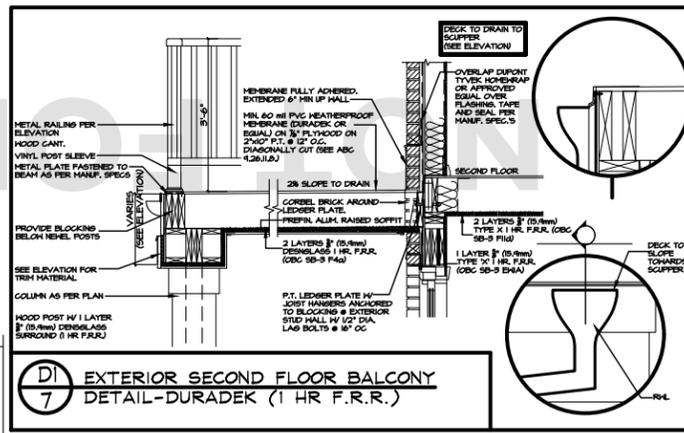
Catherine McEwan
Encl.

Copy: Mike Dickie, Dunoak Developments Inc (Mattamy Homes)

SMOOTH PRECAST ELEMENTS TO BE NOMINAL 8" WIDE, CONCRETE SILL ELEMENTS TO BE NOMINAL 4" UNLESS NOTED OTHERWISE.

11 7/8:12
 3 1/2" x 7 1/2"

1
 4 STRAIGHT SMOOTH CONC. STONE

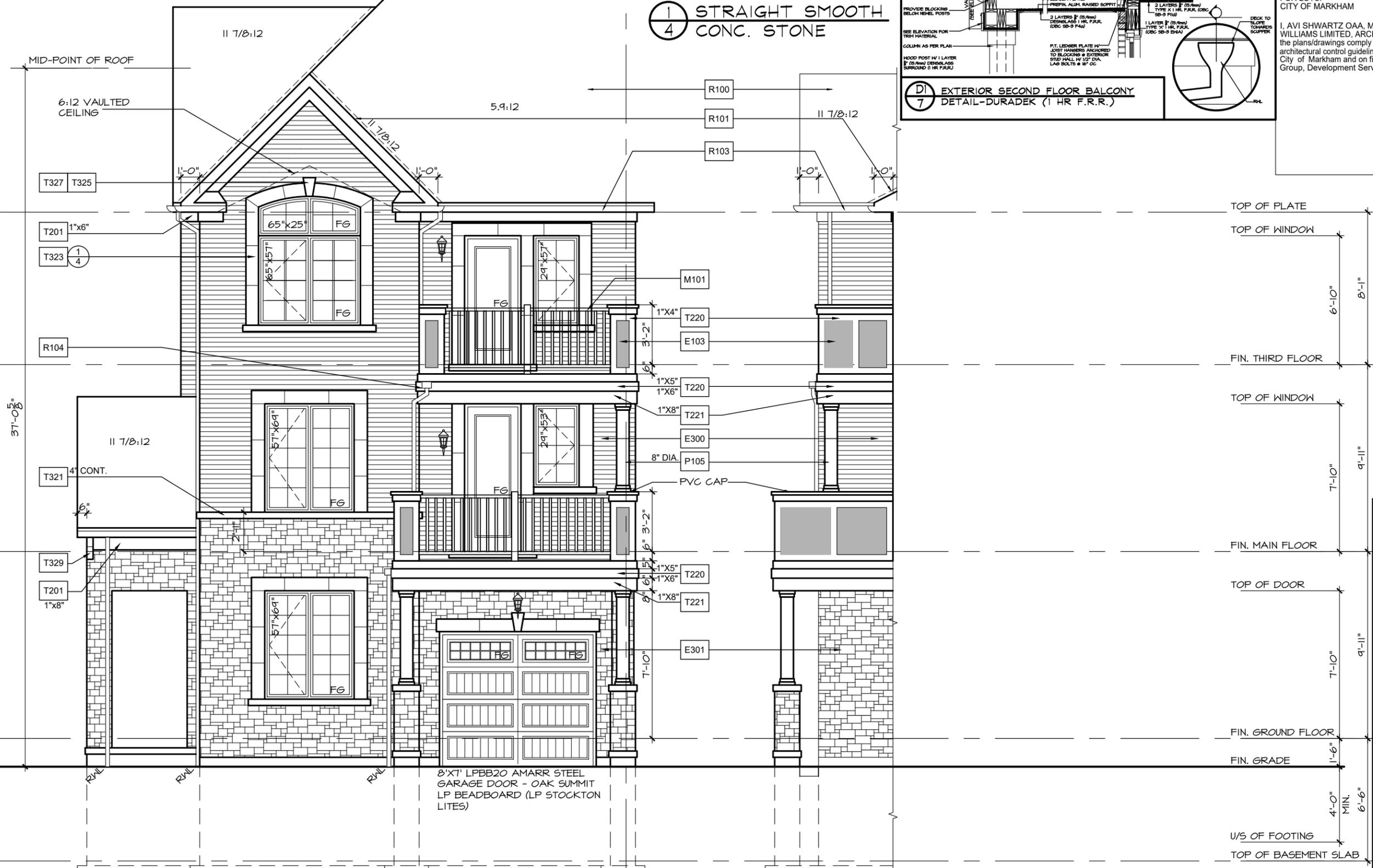


It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

FOR LOTS: CITY OF MARKHAM

I, AVI SHWARTZ OAA, MRAIC of JOHN G. WILLIAMS LIMITED, ARCHITECT certify that the plans/drawings comply with the applicable architectural control guidelines approved by the City of Markham and on file with the Design Group, Development Services Commission.

D1
 7 EXTERIOR SECOND FLOOR BALCONY DETAIL-DURADEK (1 HR F.R.R.)



FRONT ELEVATION 'EM'

PART. RIGHT SIDE ELEVATION 'EM'

These drawings must be read in conjunction with Q4 standard construction details: D1 to D13

ELEVATIONS	
OAKVILLE	
OAKVILLE, ONTARIO	
MATTAMY HOMES	
ISSUED / Revision Chart	
1	ISSUED FOR CLIENT REVIEW 23.07.20 CP

EVHF
 THE MEDALLION CORNER
 ELEVATION 'EM'

Project No. 17039-5
 Scale 3/17" = 1'-0"
 Drawn By OK
 Checked By SW

Q4 ARCHITECTS INC.
 2171 Avenue Road
 Suite 302, Toronto ON,
 M5M 4B4
 T. 416.322.6334
 F. 416.322.7294
 E. info@q4architects.com

Q4A
 ARCHITECTS

PROFESSIONAL STAMP

The contractor / builder must verify all dimensions on the job and report any discrepancy to the designer before proceeding with the work. Drawings are NOT to be scaled. All drawings and specifications are instruments of service and the copyright property of the designer and must be returned upon request.

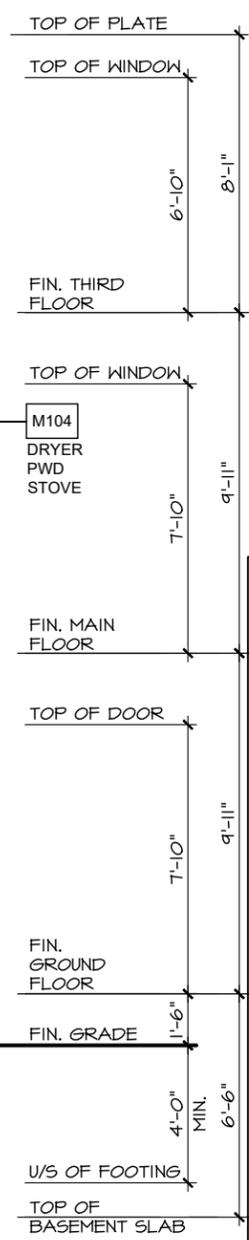
CPALUMBO - P:\2007\17039-5_Joshua Creek Phase 5\DRAWINGS-CAD\03-VILLAGE HOMES\CD\17039-5-EVHB EG02E.dwg - May 30, 2023 3:39:49 PM



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These drawings must be read in conjunction with Q4 standard construction details: **D1 to D13**

WALL AREA LIMITING DISTANCE 865.34 SQ. FT.
OPENINGS ALLOWED 1.55 M (8%)
OPENINGS PROVIDED 69.23 SQ. FT.
OPENINGS PROVIDED 52.25 SQ. FT.

EVHB
THE DAFFODIL END
ELEVATION 'TA'

Project No. 17039-5
Scale 3/16" = 1'-0"
Drawn By HP
Checked By SW

ELEVATIONS

OAKVILLE
OAKVILLE, ONTARIO
MATTAMY HOMES

Issued / Revision Chart	CP
1. INTRODUCED FROM 1905-2	23.04.10
2. ISSUED FOR CLIENT REVIEW	23.04.10
3. MOVE HWT LOCATION	23.05.01
4. ISSUED FOR CLIENT REVIEW	23.07.10

PROFESSIONAL
STAMP

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Suite 302, Toronto ON,
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Q4A
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NOT FOR CONSTRUCTION

SMOOTH PRECAST ELEMENTS TO BE NOMINAL 8" WIDE, CONCRETE SILL ELEMENTS TO BE NOMINAL 4" UNLESS NOTED OTHERWISE.



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FOR LOTS:
CITY OF MARKHAM

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EVHB
THE DAFFODIL END
ELEVATION 'MO'

Project No. 17039-5
Scale 3/16" = 1'-0"
Drawn By HP
Checked By SW

ELEVATIONS

OAKVILLE
OAKVILLE, ONTARIO
MATTAMY HOMES

Issued / Revision Chart	CP
4 ISSUED FOR CLIENT REVIEW	23.07.10
3 MOVE HWT LOCATION	23.05.01
2 ISSUED FOR CLIENT REVIEW	23.04.10
1 INTRODUCED FROM 1905/2	23.04.10

These drawings must be read in conjunction with Q4 standard construction details: D1 to D13

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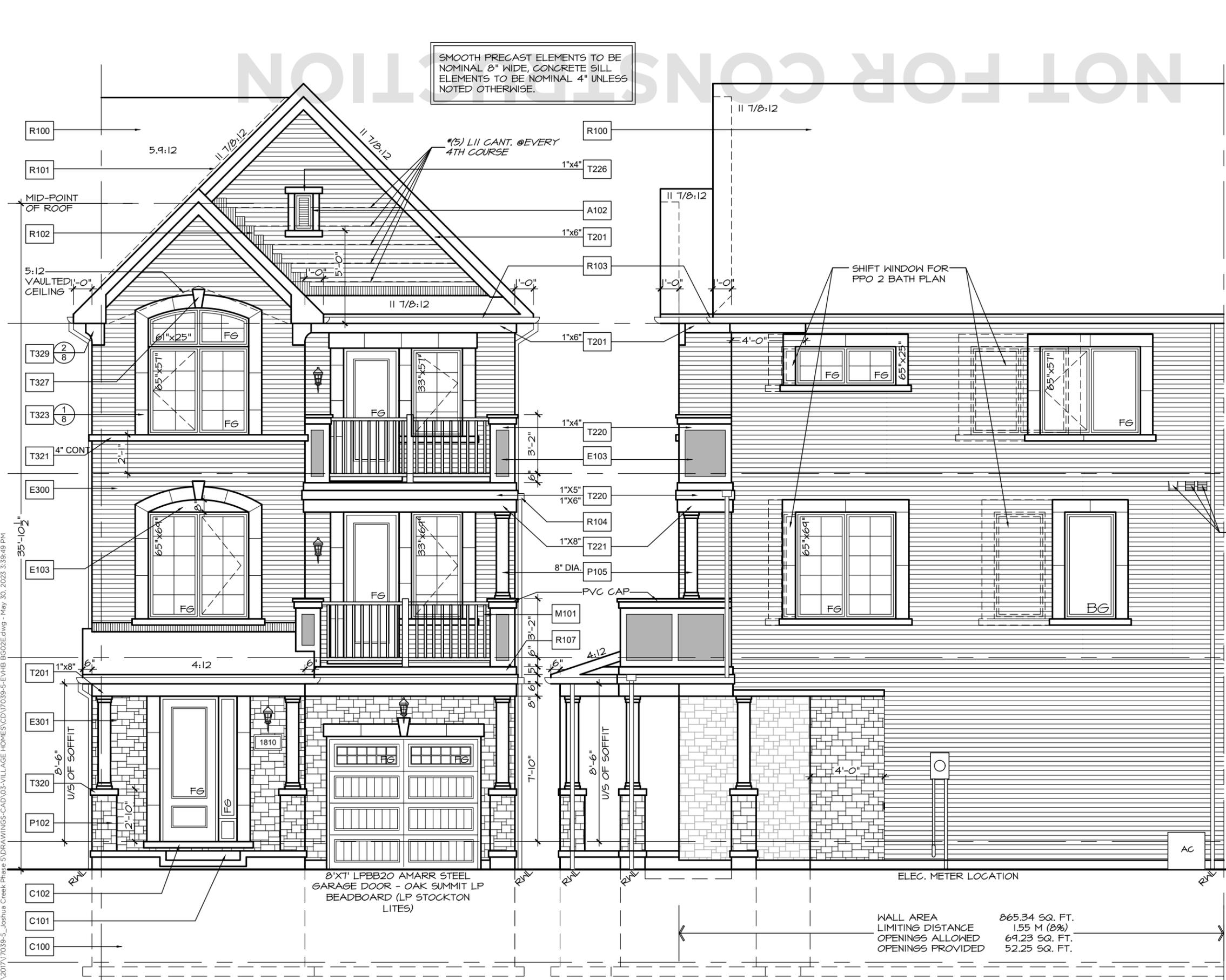
Q4 ARCHITECTS INC.
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FOR LOTS:
CITY OF MARKHAM

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EVHB
THE DAFFODIL END
ELEVATION 'EM'

Project No. 17039-5
Scale 3/16" = 1'-0"
Drawn By HP
Checked By SW

ELEVATIONS

OAKVILLE
OAKVILLE, ONTARIO
MATTAMY HOMES

Issued / Revision Chart	CP
4 ISSUED FOR CLIENT REVIEW	23.07.10
3 MOVE HWT LOCATION	23.05.01
2 ISSUED FOR CLIENT REVIEW	23.04.10
1 INTRODUCED FROM 1909/5-2	23.04.10

PROFESSIONAL
STAMP

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These drawings must be read in conjunction with
Q4 standard construction details: **D1 to D13**

WALL AREA	865.34 SQ. FT.
LIMITING DISTANCE	1.55 M (8%)
OPENINGS ALLOWED	69.23 SQ. FT.
OPENINGS PROVIDED	52.25 SQ. FT.

CPALUMBO - P:\2017\17039-5_Joshua Creek Phase 5\DRAWINGS-CAD\03-VILLAGE HOMES\CD\17039-5-EVHB EGG2Edwg - May 30, 2023 3:39:49 PM

NOT FOR CONSTRUCTION

ENERGY STAR CALCULATION ELEV. 'TA'			
ELEVATION	WALL AREA sq.ft.	WINDOW RSO AREA sq.ft.	WINDOW %
FRONT	678.46	141.46	
LEFT SIDE	1049.00	11.23	
RIGHT SIDE	1049.00	0.00	
REAR	661.87	0.00	
TOTAL	3438.33	152.69	4.44 %

1
4
STRAIGHT
SMOOTH CONC.
STONE

SMOOTH PRECAST ELEMENTS TO BE NOMINAL 8" WIDE, CONCRETE SILL ELEMENTS TO BE NOMINAL 4" UNLESS NOTED OTHERWISE.

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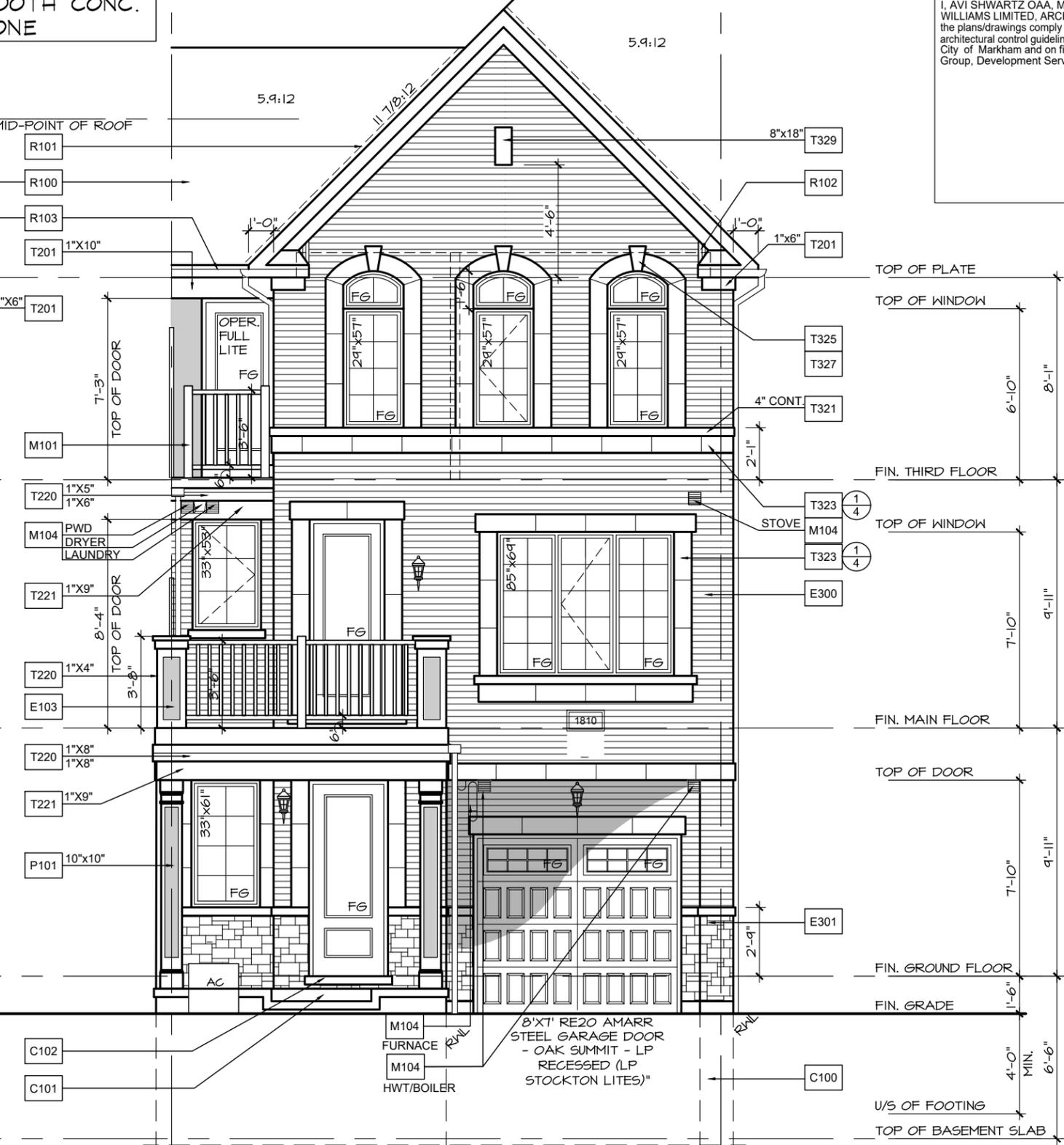
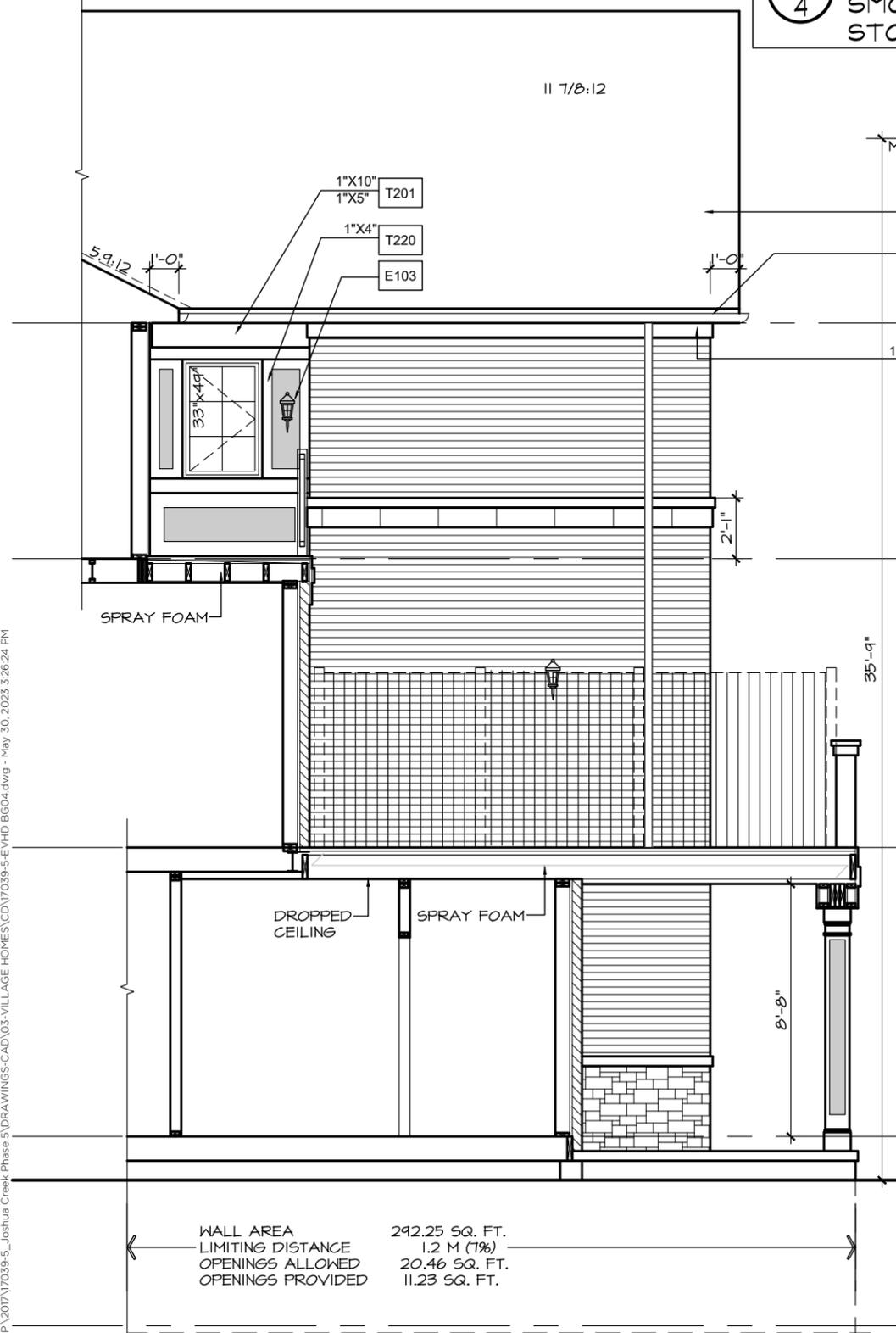
FOR LOTS:
CITY OF MARKHAM

I, AVI SHWARTZ OAA, MRAIC of JOHN G. WILLIAMS LIMITED, ARCHITECT certify that the plans/drawings comply with the applicable architectural control guidelines approved by the City of Markham and on file with the Design Group, Development Services Commission.

EVHD
THE HONEY
ELEVATION 'TA'

Project No. 17039-5
Scale 3/16" = 1'-0"
Drawn By KR
Checked By SW

7 OF 10



These drawings must be read in conjunction with Q4 standard construction details: **D1 to D13**

ELEVATIONS

OAKVILLE
OAKVILLE, ONTARIO
MATTAMY HOMES

Issued / Revision Chart	CP
4 ISSUED FOR CLIENT REVIEW	23.07.10
3 MOVE HWT/LOCATION	23.05.01
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1 INTRODUCED FROM 19015-2	23.04.10

PROFESSIONAL
STAMP

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Q4A
ARCHITECTS

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WALL AREA LIMITING DISTANCE OPENINGS ALLOWED OPENINGS PROVIDED 292.25 SQ. FT. 1.2 M (7%) 20.46 SQ. FT. 11.23 SQ. FT.

8'X7' RE20 AMARR STEEL GARAGE DOOR - OAK SUMMIT - LP RECESSED (LP STOCKTON LITES)"

NOT FOR CONSTRUCTION

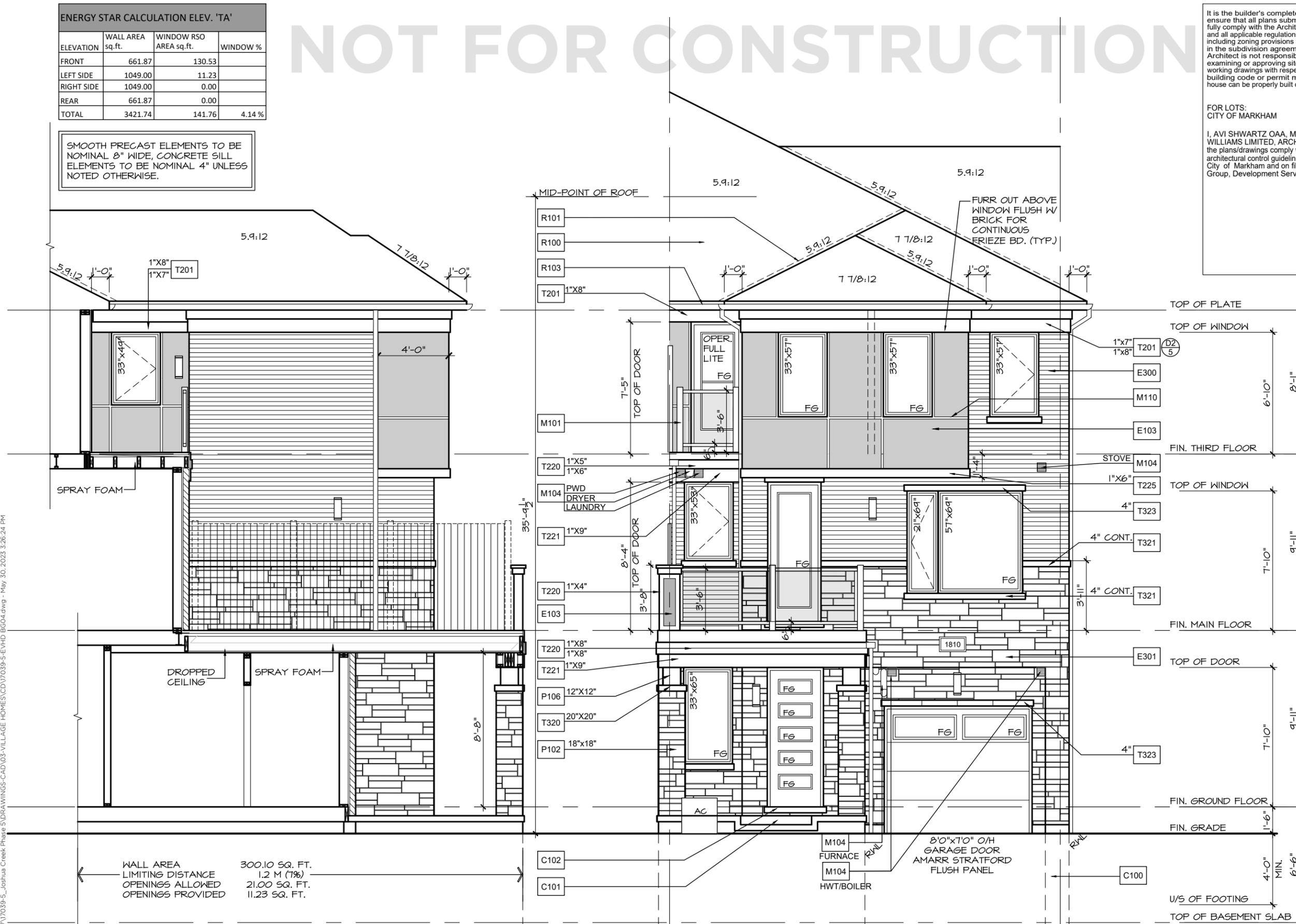
ENERGY STAR CALCULATION ELEV. 'TA'			
ELEVATION	WALL AREA sq.ft.	WINDOW RSO AREA sq.ft.	WINDOW %
FRONT	661.87	130.53	
LEFT SIDE	1049.00	11.23	
RIGHT SIDE	1049.00	0.00	
REAR	661.87	0.00	
TOTAL	3421.74	141.76	4.14 %

SMOOTH PRECAST ELEMENTS TO BE NOMINAL 8" WIDE, CONCRETE SILL ELEMENTS TO BE NOMINAL 4" UNLESS NOTED OTHERWISE.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

FOR LOTS:
CITY OF MARKHAM

I, AVI SHWARTZ OAA, MRAIC OF JOHN G. WILLIAMS LIMITED, ARCHITECT certify that the plans/drawings comply with the applicable architectural control guidelines approved by the City of Markham and on file with the Design Group, Development Services Commission.



These drawings must be read in conjunction with Q4 standard construction details: **D1 to D13**

PART. LEFT SIDE ELEVATION 'MO'

FRONT ELEVATION 'MO'

ELEVATIONS

EVHD
THE HONEY
ELEVATION 'MO'

Project No. 17039-5
Scale 3/16" = 1'-0"
Drawn By KR
Checked By SW

OAKVILLE

OAKVILLE, ONTARIO

MATTAMY HOMES

Issued / Revision Chart	CP
4 ISSUED FOR CLIENT REVIEW	23.07.10
3 MOVE HW LOCATION	23.05.01
2 ISSUED FOR CLIENT REVIEW	23.04.10
1 INTRODUCED FROM 19015-2	23.04.10

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PROFESSIONAL
STAMP

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CPALUMBO - P:\2017\039-5_Joshua_Creek_Phase_5\DRAMINGS-CAD\03-VILLAGE_HOMES\CD\17039-5-EVHD_EG04.dwg - May 30, 2023 3:26:24 PM

ENERGY STAR CALCULATION ELEV. 'TA'

ELEVATION	WALL AREA sq.ft.	WINDOW RSO AREA sq.ft.	WINDOW %
FRONT	669.87	156.04	
LEFT SIDE	1049.00	11.23	
RIGHT SIDE	1049.00	0.00	
REAR	661.87	0.00	
TOTAL	3429.74	167.27	4.88 %

NOT FOR CONSTRUCTION

1
4 STRAIGHT SMOOTH CONC. STONE

SMOOTH PRECAST ELEMENTS TO BE NOMINAL 8" WIDE, CONCRETE SILL ELEMENTS TO BE NOMINAL 4" UNLESS NOTED OTHERWISE.

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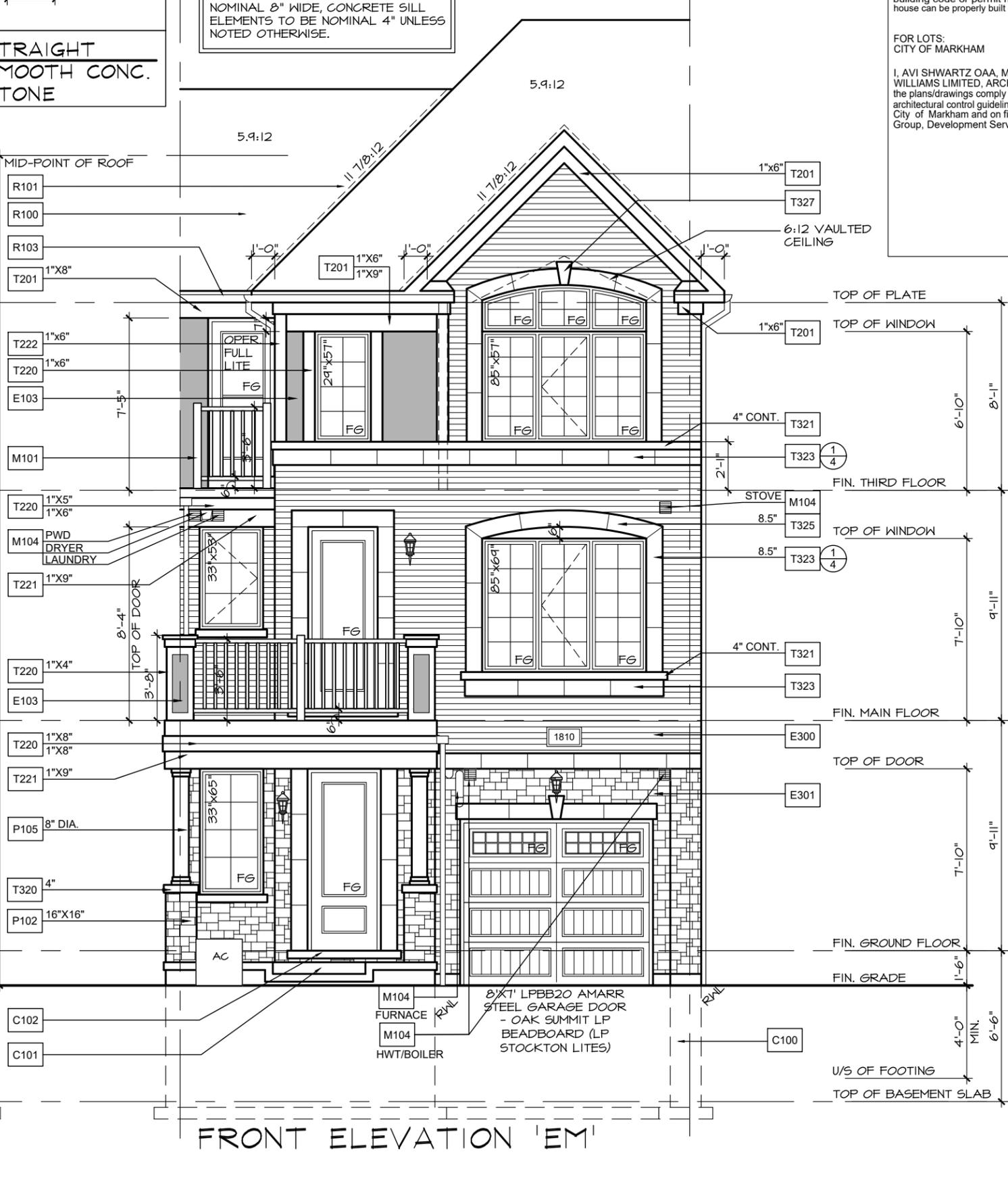
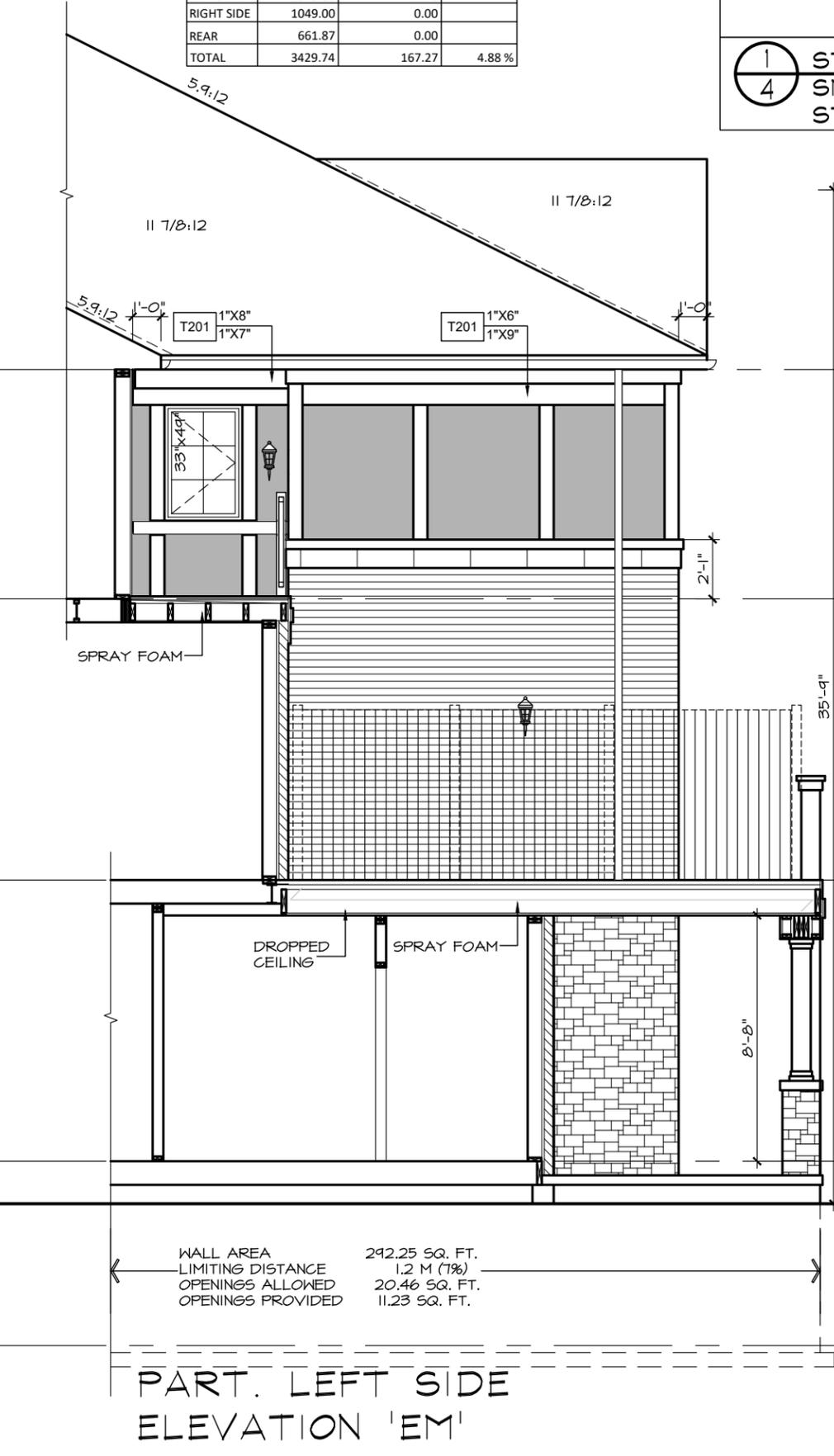
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EVHD
THE HONEY
ELEVATION 'EM'

Project No. 17039-5
Scale 3/16" = 1'-0"
Drawn By KR
Checked By SW

7 OF 10



These drawings must be read in conjunction with Q4 standard construction details: D1 to D13

ELEVATIONS

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Issued / Revision Chart

NO.	DESCRIPTION	DATE
4	ISSUED FOR CLIENT REVIEW	23.07.10
3	ISSUED FOR CLIENT REVIEW	23.05.01
2	ISSUED FOR CLIENT REVIEW	23.04.10
1	INTRODUCED FROM 19015-2	23.04.10

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