

## Committee of Adjustment Decision for: CAV A/034/2024

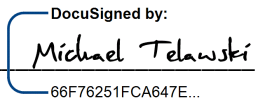
Owner/Applicant	Agent	Location of Land
Venkateswarlu Bollu	Tenhouse Building Workshop c/o Matthew Fratarcangeli 107 Gladstone Avenue Hamilton ON L8M 2H8	PLAN 646 LOT 181 410 Samford Place Town of Oakville

This notice is to inform you that the request for variance made under Section 45(1) of the *Planning Act* has been **Approved** to authorize a minor variance to permit the construction of a two-storey detached dwelling on the subject property proposing the following variance(s) to Zoning By-law 2014-014:

No.	Zoning By-law Regulation RL3-0	Variance Request
1	<b>Section 6.4.1</b> The maximum residential floor area ratio for a detached dwelling on a lot with a lot area between 650.00 m <sup>2</sup> and 742.99 m <sup>2</sup> shall be 41%.	To increase the maximum residential floor area ratio to 47.78%.

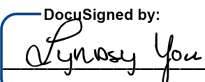
The Committee of Adjustment considered the written submissions in support of the application in coming to this decision. The Committee is of the opinion that the variance is considered minor in nature, desirable for the use of the land and in keeping with the general intent of the town’s official plan – Livable Oakville Plan and the zoning by-law, subject to:

- That the approval expires two (2) years from the date of the decision if a Building Permit has not been issued for the proposed construction.
- That the proposed two-storey dwelling be constructed in general accordance with the submitted site plan and elevation drawings dated January 3, 2024.

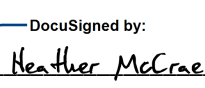
M. Telawski  \_\_\_\_\_  
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\_\_\_\_\_ Absent \_\_\_\_\_ J. Hardcastle

S. Mikhail  \_\_\_\_\_  
Chairperson, Committee of Adjustment

 \_\_\_\_\_ L. You  
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S. Dickie  \_\_\_\_\_  
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 \_\_\_\_\_ H. McCrae  
Secretary-Treasurer, Committee of Adjustment

Dated at the meeting held on March 6, 2024.

Last date of appeal of decision is March 26, 2024.

**NOTE:** It is important that the sign(s) remain on the property until a **FINAL** decision has been rendered regarding your Application. **The sign shall be removed the day following the last date of appeal.**

This is a certified copy of the Committee of Adjustment final decision whereby no appeals filed.

\_\_\_\_\_  
Heather McCrae, ACST  
Secretary-Treasurer