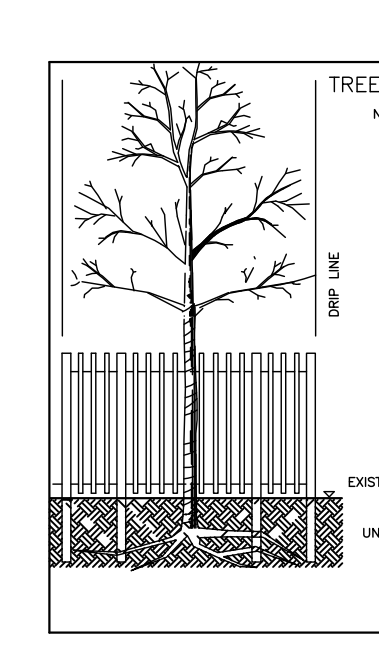


TREE PROTECTION NOTE

- ALL EXISTING TREES WHICH ARE TO REMAIN SHALL BE FULLY PROTECTED WITH HOARDING, ERECTED BEFORE THEIR DRIP LINE PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT. GROUPS OF TREES AND OTHER EXISTING PLANTS TO BE PROTECTED SHALL BE TREATED IN A LIKE MANNER, WITH THE HOARDING AROUND THE ENTIRE CLUMP(S). AREAS WITHIN THE PROTECTIVE FENCING SHALL REMAIN UNDISTURBED AND SHALL NOT BE USED FOR THE STORAGE OF THE BUILDING MATERIAL AND EQUIPMENT.
- NO RIGGING CABLES SHALL BE WRAPPED AROUND OR INSTALLED IN TREES AND SURPLUS SOIL, EQUIPMENT, DEBRIS OR MATERIALS SHALL NOT BE PLACED OVER ROOT SYSTEMS OF THE TREES WITHIN THE PROTECTIVE FENCING. NO CONTAMINANTS WILL BE DUMPED OR FLUSHED WHERE FEEDER ROOTS OF TREES EXIST.
- THE DEVELOPER OR HIS/HER/ITS AGENTS SHALL TAKE EVERY PRECAUTION NECESSARY TO PREVENT DAMAGE TO TREES OR SHRUBS TO BE RETAINED.
- WHERE LIMBS OR PORTIONS OF TREES ARE REMOVED TO ACCOMMODATE CONSTRUCTION WORK, THEY WILL BE REMOVED CAREFULLY IN ACCORDANCE WITH ACCEPTED ARBORICULTURAL PRACTICE.
- WHERE ROOT SYSTEMS OF PROTECTED TREES ARE EXPOSED DIRECTLY TO OR DAMAGED BY CONSTRUCTION WORK, THEY SHALL BE TRIMMED NEATLY AND THE AREA BACKFILLED WITH APPROPRIATE MATERIAL TO PREVENT DESICCATION.
- WHERE NECESSARY, THE TREES WILL BE GIVEN AN OVERALL PRUNING TO RESTORE THE BALANCE BETWEEN THE ROOTS AND TOP GROWTH OR TO RESTORE THE APPEARANCE OF THE TREES.
- IF GRADES AROUND TREES TO BE PROTECTED ARE LIKELY TO CHANGE, THE OWNER SHALL BE REQUIRED TO TAKE SUCH PRECAUTIONS AS DRY WELLING, RETAINING WALLS TO THE SATISFACTION OF THE PLANNING AND BUILDING DEPARTMENT OF THE TOWN OF OAKVILLE.
- GRADE CHANGES WILL NOT OCCUR WITHIN THE TREE PROTECTION ZONE (TPZ).
- UTILITY ACCESS CORRIDOR MUST BE OUTSIDE THE TPZ AND/OR NO OPEN TRENCH METHOD OF CONSTRUCTION BELOW-GROUND AS WELL AS NO ABOVE-GROUND LINES WITHIN THE TPZ.



NOTE: TREE PROTECTION ZONES FOR THE PURPOSES OF THIS BY-LAW, THE TREE PROTECTION ZONE (TPZ) FOR ANY TREE SHALL BE DETERMINED AS FOLLOWS:

TRUNK DIAMETER (DBH)	MINIMUM PROTECTION DISTANCES REQUIRED
<10 CM	1.8 M
11-30 CM	2.4 M
31-50 CM	3.0 M
51-60 CM	3.6 M
61-70 CM	4.2 M
71-80 CM	4.8 M
81-90 CM	5.4 M
91-100+ CM	6.0 M

OPEN TRENCHING WILL NOT BE PERMITTED WITHIN TREE PRESERVATION AREA

PROPOSED CONNECTIONS TO BE HORIZONTALLY BORED ONLY NO OPEN TRENCHING

STANDARD DEVELOPMENT NOTES:

- TRANSPORTATION AND WORKS DEPARTMENT
- MUNICIPAL BOULEVARD TO BE RESTORED TO THE SATISFACTION OF ENGINEERING CONSTRUCTION STAFF.
- RESTORE THE PUBLIC ROADWAY TO TOWN STANDARDS AND CLEARLY INDICATE ON THE ENGINEERING DRAWINGS ALL RESTORATION, TO THE SATISFACTION OF THE ENGINEERING & CONSTRUCTION DEPARTMENT.
- DRIVEWAYS ON THE MUNICIPAL RIGHT-OF-WAY SHALL BE PAVED BY THE APPLICANT.
- AT THE ENTRANCES TO THE SITE, THE MUNICIPAL CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY AND A CURB DEPRESSION WILL BE PROVIDED FOR THE ENTRANCE.
- THE TOPS OF ANY CURBS BORDERING THE DRIVEWAYS WITHIN THE MUNICIPAL BOULEVARD WILL BE FLUSH WITH THE MUNICIPAL SIDEWALK AND ROAD CURB.

(B) GENERAL NOTES

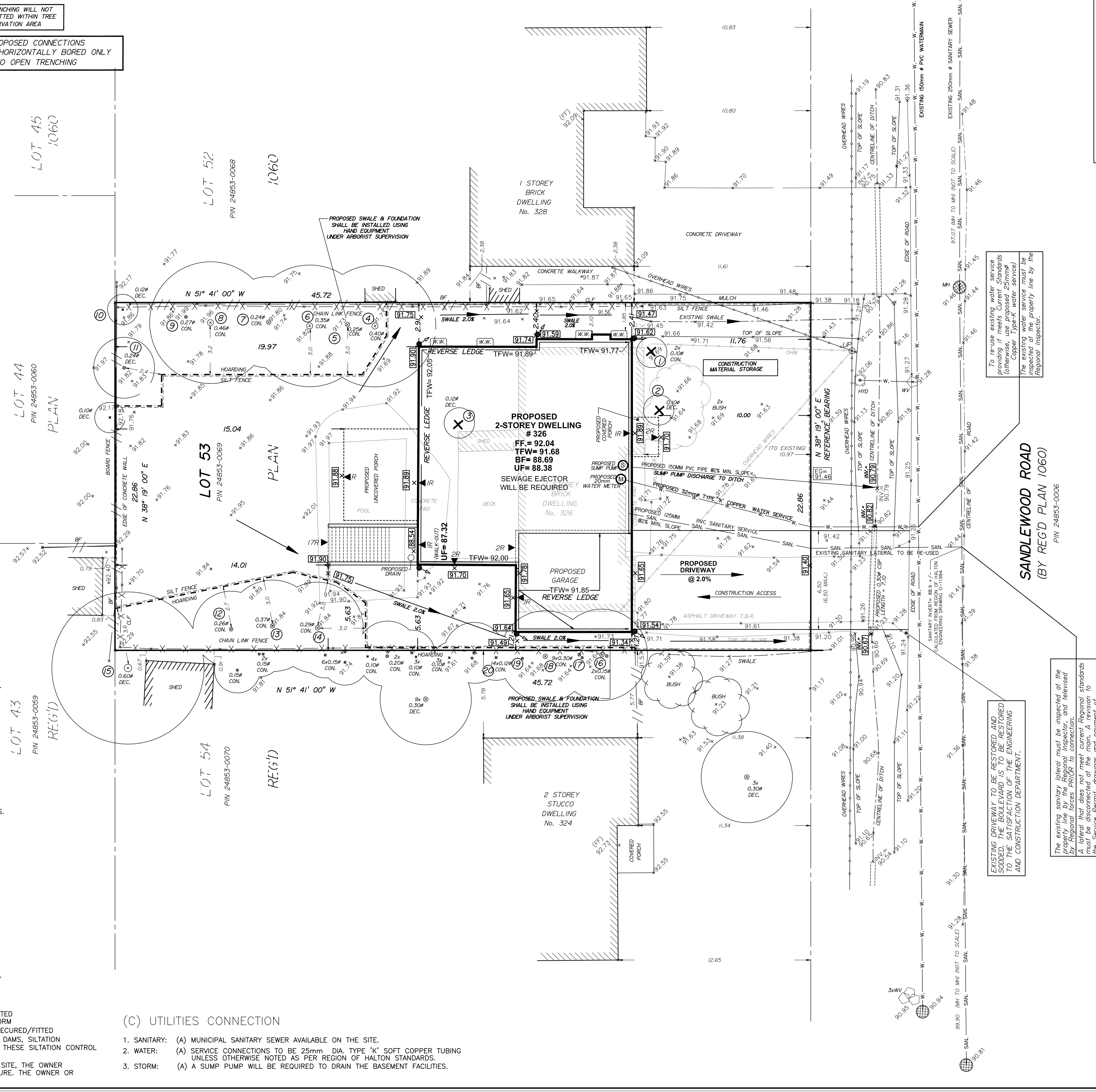
- THE EXISTING GRADES SHOWN ON THIS DRAWING ARE TO REMAIN UNCHANGED.
- THERE IS NO EASEMENTS REGISTERED ON TITLE AND AFFECTING THE SUBJECT LANDS.
- THE STOCKPILING OF CONSTRUCTION MATERIAL TO BE DONE AT THE FRONT OF THE PROPOSED DWELLING ON THE EXISTING DRIVEWAY.
- ALL ROOF DOWNSPOUTS FROM EAVESTROUGH TO DISCHARGE ONTO SURFACE AND THE RUNOFF DIRECTED TOWARDS THE REAR WHERE POSSIBLE AND TO THE ROAD.
- ROOF DOWNSPOUT IS LOCATED IN SUCH MANNER AS TO DIRECT DRAINAGE AWAY FROM WALKWAYS, DRIVEWAYS OR PATIO AREAS.
- MAINTAIN EXISTING GRADES IN AREA AROUND TREES TO BE PRESERVED.
- PRIOR TO CONSTRUCTION, CONTRACTOR TO VERIFY IN FIELD THE EXACT SIZE AND INVERTS OF THE EXISTING WATER SERVICE CONNECTION AND SEWER CONNECTIONS AND REPORT IT TO THE ENGINEER.
- ALL SURPLUS/EXCAVATED MATERIAL TO BE REMOVED FROM THE SITE.
- CONTRACTOR TO MATCH EXISTING GRADES ALONG PROPERTY LINES.
- ALL DISTURBED AREAS WITHIN EXISTING ROAD ALLOWANCE TO BE REINSTATED WITH TOPSOIL AND SOD TO THE SATISFACTION OF THE TOWN OF OAKVILLE.
- THE CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS, IF ANY DISCREPANCIES, THEY MUST BE REPORTED TO THE ENGINEER IMMEDIATELY PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES DURING CONSTRUCTION, GAS, HYDRO, TELEPHONE OR ANY OTHER UTILITIES THAT MAY EXIST ON THE SITE OR WITHIN THE STREETLINE MUST BE LOCATED BY ITS OWN UTILITIES AND VERIFIED PRIOR TO CONSTRUCTION.
- ALL CONNECTIONS SHALL BE INSTALLED AS PER REGION OF HALTON STANDARDS AND SPECIFICATIONS.
- BUILDER IS TO VERIFY TO THE ENGINEER THAT THE FINAL FOOTING ELEVATION AND TOP OF FOUNDATION WALL ELEVATION ARE IN CONFORMITY WITH THE BUILDING CODE AND THE CERTIFIED GRADING PLAN PRIOR TO PROCEEDING.
- OUTSIDE FINISHED GRADE TO BE A MINIMUM OF 150 mm BELOW BRICK/STONE VENEER ELEVATION.
- PRIOR TO ANY SODDING, THE BUILDER IS TO ENSURE TO THE SOIL CONSULTANT AND/OR THE ENGINEER THAT THE LOT HAS BEEN GRADED AND TOPSOILED AND SODDED COMPLETELY WITH A MINIMUM DEPTH OF 200 mm OF TOPSOIL AND N°1 NURSERY SOD AND A MINIMUM DEPTH OF 150 mm CRUSHED STONE TO BE PROVIDED ON THE ENTIRE LENGTH OF EACH DRIVEWAY AND THE DRIVEWAY TO BE PAVED WITH A MINIMUM COMPACTED DEPTH OF 75 mm OF ASPHALT BETWEEN THE CURB AND THE GARAGE.
- NO SODDING ON ANY LOT IS PERMITTED UNTIL PRELIMINARY INSPECTION IS DONE BY THE ENGINEER AND THE BUILDER.
- DRIVEWAY GRADES SHOULD BE NOT LESS THAN 1.0% AND NOT GREATER THAN 7.0%.
- LAWN AND SWALES SHALL HAVE MINIMUM SLOPE OF 2.0% AND A MAXIMUM SLOPE OF 5.0% AND HAVE A MINIMUM DEPTH OF 150mm.
- GRADE CHANGES IN EXCESS OF 5.0% ARE REQUIRED, THE MAXIMUM SLOPE SHALL BE 3:1. GRADE CHANGES IN EXCESS OF 1.0 m ARE TO BE ACCOMPLISHED BY USE OF A RETAINING WALL. RETAINING WALLS HIGHER THAN 0.6 m SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE.
- THE SERVICE CONNECTION TRENCH THROUGH THE TRAVELLED PORTION OF THE ROAD ALLOWANCE SHALL BE BACKFILLED WITH UNSHRINKABLE BACKFILL MATERIAL AS PER TOWN OF OAKVILLE STANDARDS UNLESS OTHERWISE SPECIFIED PRIOR APPROVAL FOR OTHER BACKFILL MATERIAL HAS BEEN OBTAIN.
- ALL WATERMANS AND WATER SERVICE MATERIALS AND CONSTRUCTION METHODS MUST CORRESPOND TO CURRENT REGION OF HALTON STANDARDS AND SPECIFICATIONS.
- WATERMANS AND/OR WATER SERVICES ARE TO HAVE A MINIMUM DEPTH OF 1.7 m WITH A MINIMUM HORIZONTAL SPACING OF 2.5 m FROM THEMSELVES AND OTHER SERVICES.
- SEDIMENT CONTROL FENCE TO BE INSTALLED AS PER THE TOWN OF OAKVILLE STANDARDS.
- ALL DAMAGED AND DISTURBED AREAS TO BE REINSTATED WITH TOPSOIL AND SOD.

EROSION AND SILTATION NOTES

- ALL EROSION AND SEDIMENT CONTROLS ARE TO BE INSTALLED ACCORDING TO APPROVED PLANS TO COMMENCEMENT OF ANY EARTH MOVING WORK ON THE SITE AND SHALL REMAIN IN PLACE UNTIL A DISTURBED AREAS ARE STABILIZED WITH THE INTENDED FINAL GROUND COVER.
- EROSION AND SEDIMENT CONTROLS SHALL BE INSPECTED BY THE BUILDER/DEVELOPER.
 - WEEKLY
 - BEFORE AND AFTER ANY PREDICTED RAINFALL EVENT
 - FOLLOWING AN UNPREDICTED RAINFALL EVENT
 - DAILY, DURING EXTENDED DURATION RAINFALL EVENTS
 - AFTER SIGNIFICANT SNOW MELT EVENTS
- EROSION AND SEDIMENT CONTROLS SHALL BE MAINTAINED IN PROPER WORKING ORDER AT ALL TIMES. DAMAGED OR CLOGGED DEVICES SHALL BE REPAIRED WITH 48 HOURS.
- WHERE A SITE REQUIRES DEWATERING AND WHERE THE EXPULSED WATER CAN BE FREELY RELEASED TO A SUITABLE RECEIVER, THE EXPULSED WATER SHALL BE TREATED TO CAPTURE SUSPENDED PARTICLES GREATER THAN 40 MICRON IN SIZE. THE CAPTURED SEDIMENT SHALL BE DISPOSED OF PROPERLY PER MOECC GUIDELINES. THE CLEAN EXPULSED WATER SHALL BE FREELY RELEASED TO A SUITABLE RECEIVER IN MANNER THAT DOES NOT CREATE DOWNSTREAM ISSUES INCLUDING BUT NOT LIMITED TO EROSION, FLOODING- NUISANCE OR OTHERWISE. INTERFERENCE ISSUES, ETC.
- EXISTING STORM SEWERS AND DRAINAGE DITCHES ADJACENT TO THE WORKS SHALL BE PROTECTED AT ALL TIMES FROM THE ENTRY OF SEDIMENT/SILT THAT MAY MIGRATE FROM THE SITE. FOR STORM SEWERS: ALL INLETS(REAR LOT CATCHBASINS, ROAD CATCHBASINS, PIPE INLETS, ETC.) MUST BE SECURED/FITTED WITH SILTATION CONTROL MEASURES. FOR DRAINAGE DITCHES: THE INSTALLATION OF ROCK CHECK DAMS, SILTATION FENCING, SEDIMENT CONTAINERS MUST BE INSTALLED TO TRAP AND CONTAIN SEDIMENT. THESE SILTATION CONTROL DEVICES SHALL BE INSPECTED AND MAINTAINED PER ITEMS 2 AND 3 ABOVE.
- IN THE EVENT OF A SPILL(RELEASE OF DELETERIOUS MATERIAL) ON OR EMANATING FROM THE SITE, THE OWNER AGENT SHALL IMMEDIATELY NOTIFY THE MOECC AND FOLLOW ANY PRESCRIBED CLEAN UP PROCEDURE. THE OWNER OR OWNERS AGENT WILL ADDITIONALLY IMMEDIATELY NOTIFY THE TOWN.

(C) UTILITIES CONNECTION

- SANITARY: (A) MUNICIPAL SANITARY SEWER AVAILABLE ON THE SITE.
- WATER: (A) SERVICE CONNECTIONS TO BE 25mm DIA. TYPE 'K' COFFER COPPER TUBING UNLESS OTHERWISE NOTED AS PER REGION OF HALTON STANDARDS.
- STORM: (A) A SUMP PUMP WILL BE REQUIRED TO DRAIN THE BASEMENT FACILITIES.



REGIONAL APPROVAL
 REGION DESIGN OF WATER AND/OR WASTEWATER SERVICES APPROVAL SUBJECT TO DETAIL CONSTRUCTION CONFORMING TO HALTON REGION STANDARDS & SPECIFICATIONS & LOCAL APPROVAL FROM AREA MUNICIPALITY.

SIGNED: _____ DATED: _____
 Development Services

The approval of the water system on private property is the responsibility of the Local Municipality. Regardless, the Applicant must ensure that the Region of Halton's standards and specifications are met, the Water and Wastewater Linear Design Manual may be obtained on Halton.ca or by calling 311 at water quality. Tests must be completed to the Region of Halton's satisfaction before the water supply can be turned on.

SCHEDULE 1 TREE PROTECTION BARRIER

Tree Protection Barriers

- Tree protection barriers must be 1.5m (4ft) high, self-storing, self-repairing or approved by the Region of Halton.
- The barrier must be located outside the Tree Protection Zone.
- The barrier must be supported by posts driven into the ground.
- All supports and bracing should be outside the Tree Protection Zone. All such supports must be located outside the Tree Protection Zone.
- No construction activity, grade changes, surface treatment or excavations of any kind is permitted within the Tree Protection Zone.

PERSPECTIVE VIEW

SECTION A-A

NOTE: A. All dimensions are in millimetres unless otherwise shown.
 B. Silt fence barrier must be constructed with 200mm (8in) nominal diameter aggregate in a 150mm (6in) sand subgrade.
 C. The barrier must be installed on a firm surface.

ONTARIO PROVINCIAL STANDARD DRAWING Nov 2015 Rev 2

LIGHT-DUTY SILT FENCE BARRIER OPSD 219.110

NOTE
 EAVES DO NOT PROJECT MORE THAN 0.60M INTO PROPOSED SETBACKS.

All NEW water and sanitary main taps are to be performed by Region of Halton forces only

NOTE
 DOWN SPOUT DISCHARGE LOCATIONS ARE TO BE DISCHARGED ONTO SPLASH PADS.

ANY WATER OR SANITARY SERVICE THAT DOES NOT MEET CURRENT REGIONAL STANDARDS MUST BE DISCONNECTED AT THE MAIN, AND A NEW SERVICE CONSTRUCTED AT THE SITE DEVELOPERS EXPENSE.

NOTE
 Sewer contractor to verify in the field and provide 2.5m (MIN.) separation between the Water and Sanitary Lines.
 Contractor to use existing services.

NOTE
 If the existing sanitary service lateral is used, it must be inspected at the property line by the Regional Inspector, and televised by Regional forces PRIOR to connection

NOTE
 THIS LOT REQUIRES A SUMP PUMP FOR THE FOUNDATION DRAINS AND SHALL DISCHARGE TO THE DITCH. COMPLETE WITH BACKFLOW PREVENTER.

NOTE
 Service sizes, inverts and types are derived from the Region of Halton Engineering Department Dwg. No. O-11984
 The contractor must verify inverts.

J. H. Gelbloom Surveying Limited
 Ontario Land Surveyor
 476 Morden Road, Unit 102, Oakville, Ont, L6K 3W4
 office@jhsurveying.ca
 Phone: (905) 338-8210

Project: 21-121
 Drawn By: M.K.K.
 Checked By: A.M.
 Party Chief: _____



SITE, GRADING & SERVICING PLAN

LOT 53
 REGISTERED PLAN 1060
 TOWN OF OAKVILLE
 REGIONAL MUNICIPALITY OF HALTON

SCALE 1 : 150
J.H. Gelbloom Surveying Limited
 Ontario Land Surveyor
 2024

METRIC
 Distances shown on this plan are in metres and can be converted to feet dividing by 0.3048.

ITEM DESCRIPTION	PERMITTED (METERS)	ACTUAL OR PROPOSED (METERS)
OAKVILLE BY-LAW	2014-014	
ZONING DESIGNATION	RL-2-O	
LOT AREA (MINIMUM)	636.50 SQ.M.	1045.16 SQ.M.
LOT FRONTAGE (MINIMUM)	22.50	22.96
LOT COVERAGE (MAXIMUM)	261.29 SQ.M.	242.82 SQ.M.
LOT COVERAGE % (MAXIMUM)	25.0%	23.23%
RFA (MAXIMUM)	386.71 SQ.M.	401.31 SQ.M.*
RFA/LOT RATIO (MAXIMUM)	37.0%	38.39%*
FRONT YARD SETBACK (MINIMUM)	9.97	10.00
SIDE YARD SETBACK (MINIMUM)	1.20 & 2.40	1.21 & 2.40
REAR YARD SETBACK (MINIMUM)	7.50	19.97
OVERALL HEIGHT	9.00	8.98

*SUBJECT TO COMMITTEE OF ADJUSTMENTS FILE NO.

LEGEND

CLF Chain Link Fence	INV. Invert Elevation
BF Board Fence	EG Established Grade
TF Top of Foundation Wall	EG.S Proposed Elevation
MH Maintenance Hole	T.B.R. To Be Removed
F Finished Floor	TOS Top of Slope
LP Utility Pole	T.CS Top of Curbs
DEC. Deciduous Tree	BOS Bottom of Slope
CON. Coniferous Tree	CSP Corrugated Steel Pipe
Ø Diameter	WV Water Valve
TOP Top of Curb	HO Hoarding
BOC Bottom of Curb	EX Existing Elevation
ENT Entrance	HL High Point
HP High Point	RWL Rain Water Leader
TRW Top of Retaining Wall	TTTI Embankment
BRW Bottom of Retaining Wall	X Tree to be Removed
③ Arborist's Tree Number	

SITE ADDRESS
 326 SANDEEWOOD ROAD
 OAKVILLE, ONTARIO

ZAINA YASSEN
 520 SPENCER ROAD
 OAKVILLE, ONTARIO

No.	Date	Description	By
1	AUG. 25, 2023	SITE & GRADING	M.K.
2	APRIL 4, 2024	REVISED BUILDING PLAN	M.S.
3	APRIL 15, 2024	REVISED SITE PLAN	R.H.
4	JUNE 17, 2024	REVISED BUILDING PLAN	M.K.

REVISIONS

INFORMATION TAKEN FROM A SURVEY PREPARED BY J.H. GELBLOOM SURVEYING LTD., O.L.S.
 DATED : JUNE 23, 2021

BENCHMARK
 Elevations are Referenced to the Town of Oakville Benchmark No. 36 having an Elevation of 90,284 m.

SURVEYOR'S CERTIFICATE
 I HAVE REVIEWED THE PLANS FOR THE CONSTRUCTION OF A TWO STOREY DWELLING LOCATED AT 326 SANDEEWOOD RD AND HAVE PREPARED THIS PLAN TO INDICATE THE COMPATIBILITY OF THE PROPOSAL WITH ALL ADJACENT PROPERTIES AND EXISTING MUNICIPAL SERVICES. IT IS MY BELIEF THAT ADHERENCE TO THE PROPOSED ELEVATIONS AND GRADIENTS SHOWN WILL PRODUCE ADEQUATE SURFACE DRAINAGE AND PROPER FACILITY OF THE MUNICIPAL SERVICES WITHOUT DETRIMENTAL EFFECT TO THE EXISTING DRAINAGE PATTERNS OR ADJACENT PROPERTIES.

I HEREBY CERTIFY THAT THE DIMENSIONS AND SET-BACKS ARE CORRECTLY SHOWN.

AS PER OBC 9.14.6.1(i) I CERTIFY THAT THE BUILDING WILL BE LOCATED AND THE SITE GRADING HAS BEEN DESIGNED SO THAT IT WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES.

June 20, 2024
 DATE
 Andrew Musick, O.L.S.
 2030

J. H. Gelbloom Surveying Limited
 Ontario Land Surveyor
 476 Morden Road, Unit 102, Oakville, Ont, L6K 3W4
 office@jhsurveying.ca
 Phone: (905) 338-8210



5 FOUNDATION (BASEMENT) WALLS, BELOW GRADE AND FOOTINGS

1. A DRAINAGE LAYER IS REQUIRED FOR FOUNDATION WALLS. WHERE THE INTERIOR INSULATION EXTENDS MORE THAN 2'-11" BELOW EXTERIOR GRADE.
2. COATS OF BITUMINOUS DAMPPROOFING ON 10" REINFORCED POURED CONCRETE WALLS.
3. PROVIDE 1/4" PARGING COVERED OVER POURED CONCRETE FOOTING.
4. PROVIDE 2" x 3" WOOD STRAPPING @ 16" O.C. ON INTERIOR FACE OF CONCRETE FOUNDATION WALL. R-20 INSULATION W/ INTEGRAL VAPOUR BARRIER. FULL HEIGHT 1/2" GYPSUM BOARD TAPED, SANDED & PRIMED READY FOR PAINT.
5. CONT. 2" x 6" WOOD SILL PLATE FASTENED W/ 1/2" DIAMETER x 12" LONG ANCHOR BOLTS EMBEDDED 6" IN CONCRETE @ 6'-0" O.C. MAX. & PROVIDE A FLEXIBLE SILL GASKET BETWEEN PLATE AND FOUNDATION.

6C CUT STONE VENEER CONSTRUCTION

4" CUT STONE VENEER FACE WITH HAIR LINE JOINT BETWEEN STONE MODULES. 1" AIR SPACE. TYVEK HOUSE WRAP (AIR BARRIER/ MOISTURE BARRIER). LAYERS TO OVERLAP. JOINTS TAPED & SEALED ON 1/2" DENSE GLASS GOLD SHEATHING ON 2" x 6" @ 16" O.C. SPR STUD WALLS W/ R-24 BATT INSULATION W/ VAPOUR BARRIER (WARM SIDE). DOUBLE TOP PLATE & SINGLE SOLE PLATE. 1/2" GYPSUM BOARD TAPED, SANDED & PRIMED, READY FOR PAINT FINISH. USE METAL WALL TIES FOR LARGE CUT STONE ANCHORAGE.

PROVIDE 0.03 THICK x 7/8" WIDE GALVANIZED METAL VENEER TIES @ 32" O.C. HORIZONTALLY AND 16" O.C. VERTICALLY FASTENED WITH CORROSION RESISTANT 0.125" DIAMETER SCREWS OR SPIRAL NAILS WHICH PENETRATE A MINIMUM OF 1-3/16" INTO STUD.

AT FOUNDATION WALLS PROVIDE 20 MIL POLY FLASHING MIN. 6" UP BEHIND SHEATHING PAPER WEEP HOLES. MINIMUM 2'-7" APART AT BOTTOM COURSE OF VENEER AND ABOVE ALL OPENINGS.

10 BRICK VENEER CONSTRUCTION

4" BRICK FACE. 1" AIR SPACE. TYVEK HOUSE WRAP (AIR BARRIER/ MOISTURE BARRIER). LAYERS TO OVERLAP. JOINTS TAPED & SEALED ON 1/2" DENSE GLASS GOLD SHEATHING ON 2" x 6" @ 16" O.C. SPR STUD WALLS W/ R-20 BATT INSULATION W/ VAPOUR BARRIER (WARM SIDE). DOUBLE TOP PLATE & SINGLE SOLE PLATE. 1/2" GYPSUM BOARD TAPED, SANDED & PRIMED, READY FOR PAINT FINISH.

PROVIDE 0.03 THICK x 7/8" WIDE GALVANIZED METAL VENEER TIES @ 32" O.C. HORIZONTALLY AND 16" O.C. VERTICALLY FASTENED WITH CORROSION RESISTANT 0.125" DIAMETER SCREWS OR SPIRAL NAILS WHICH PENETRATE A MINIMUM OF 1-3/16" INTO STUD.

AT FOUNDATION WALLS PROVIDE 20 MIL POLY FLASHING MIN. 6" UP BEHIND SHEATHING PAPER WEEP HOLES. MINIMUM 2'-7" APART AT BOTTOM COURSE OF VENEER AND ABOVE ALL OPENINGS.

32 ROOF SADDLE

PROVIDE STICK FRAME ROOF SADDLE CONSTRUCTION OVER PRE-FABRICATED ROOF TRUSS SYSTEM TO ENSURE POSITIVE DRAINAGE TO PERIMETER EAVES DRAINAGE.

27 CONCRETE PORCH

1. ALLOW 4" BEARING FOR CONCRETE SLAB. PROVIDE DEEP POCKETS TO SUPPORT CONCRETE SLAB BY REMOVING EVERY 2ND PAIR OF FACE BRICKS WHEN BRICK FACING IS USED.
2. WHEN FACE BRICK IS USED ABOVE GRADE LEVEL, PROVIDE 3/16" DIAMETER CORROSION RESISTANT METAL TIES @ 36" HORIZONTALLY, 8" VERTICALLY.
3. MINIMUM 3/4" CLEAR CONCRETE TO COVER RE-BAR. STAIRS AND HANDRAILS TO CONFORM TO NOTES 29. & 30.

34 PRECAST STONE SURROUND

35 PRECAST CONCRETE SILL

30 SLOPED ROOF CONSTRUCTION:

ASPHALT SHINGLES ON 15 LB. BUILDING PAPER ON 1/2" EXTERIOR GRADE PLYWOOD SHEATHING ON PRE-ENGINEERED ROOF TRUSSES AS NOTED ON DRAWINGS. PROVIDE APPROVED EAVES PROTECTION TO MIN. 12" BEYOND INNER FACE OF EXTERIOR WALL. PROVIDE MIN. R40 BATT INSULATION W/ 6 MIL POLY VAPOUR BARRIER (WARM SIDE, ABOVE CEILING) W/ 5/8" GYPSUM BOARD. GYPSUM BOARD TO BE TAPED, SANDED AND PRIMED READY FOR PAINT FINISH. PROVIDE MIN. 1 SQ. FT. OF ROOF VENT AREA FOR EVERY 300 SQ. FT. OF INSULATED CEILING EVENLY DISTRIBUTED W/ MIN. 50% @ EAVES.

ANY UNAUTHORIZED ALTERATION, PUBLICATION, COPYING OR USE OF THE DRAWING WITH THE WRITTEN CONSENT FROM SG&M ARCHITECTS IS STRICTLY PROHIBITED AND SHALL BE DEEMED AN INFRINGEMENT UNDER THE COPYRIGHT ACT.

SG&M ARCHITECTS RESERVES ALL PROPERTY RIGHTS IN AND TO THE DIGITAL DATA INCLUDING COPYRIGHT.

DATE	NO.	DESCRIPTION	BY
MAY.10.2024	2	COMMITTEE OF ADJUSTMENT	DO
MAY.10.2023	2	ISSUED FOR BUILDING PERMIT	DO
FEB.18.2022	1	ISSUED FOR CLIENT REVIEW	LM

FINAL DATE ABOVE SUPERSEDES ALL PREVIOUS ISSUES

REVISIONS

KEY TO DETAIL LOCATION

○ DETAIL NOTATION

○ DRAWING NUMBER

CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB AND REPORT ANY DISCREPANCIES TO THE ARCHITECTS BEFORE PROCEEDING WITH THE WORK.

DRAWINGS ARE NOT TO BE SCALED.



326 SANDLEWOOD RD
OAKVILLE, ON

CUSTOM HOME

FRONT ELEVATION

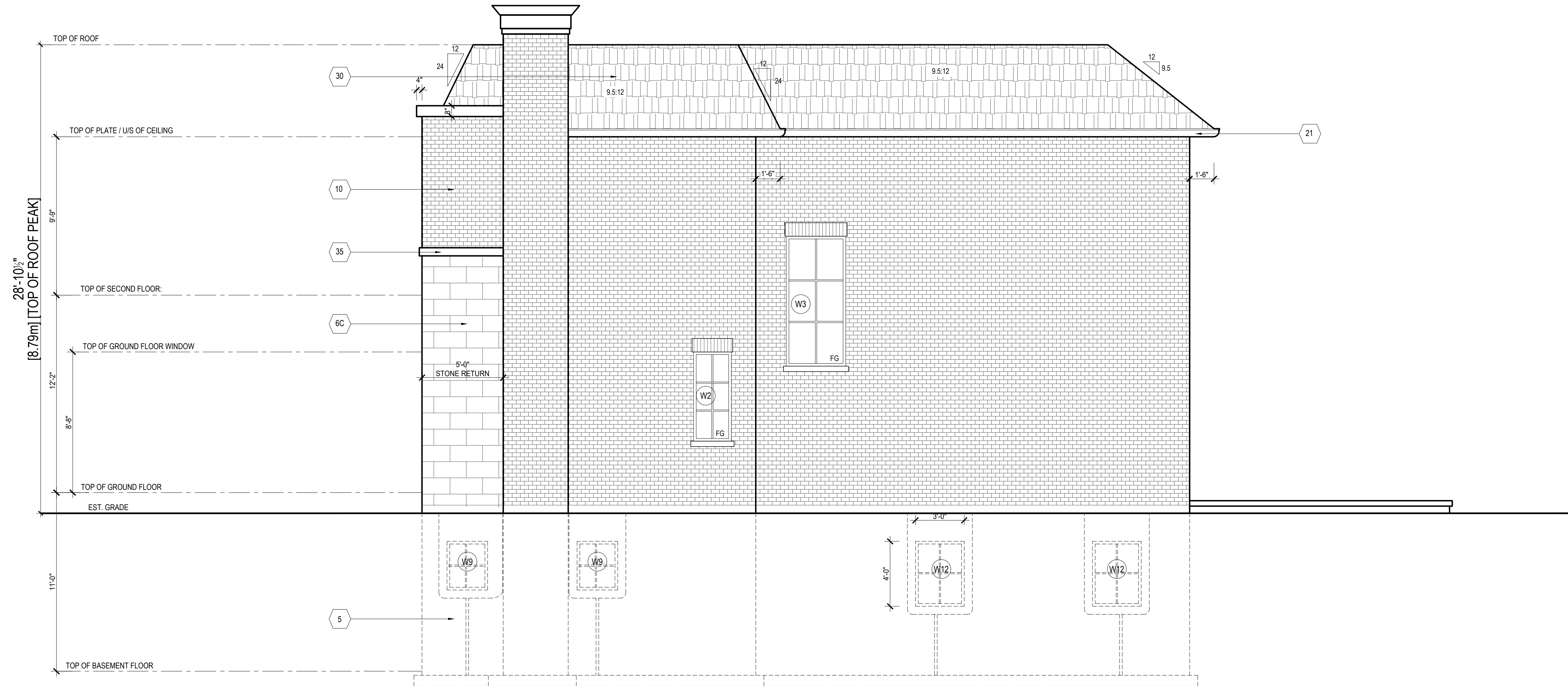
SCALE 1/4" = 1'-0"

DRAWN RS/DO

CHECKED LM

DATE FEB.18.2022

PROJ. NO. 2021-49 DRAWING NO. A3-1



5 FOUNDATION (BASEMENT) WALLS BELOW GRADE AND FOOTINGS

1. A DRAINAGE LAYER IS REQUIRED FOR FOUNDATION WALLS. WHERE THE INTERIOR INSULATION EXTENDS MORE THAN 2'-11" BELOW EXTERIOR GRADE.
2. 2 COATS OF BITUMINOUS DAMPPROOFING ON 10" REINFORCED POURED CONCRETE WALLS.
3. PROVIDE 1/4" PARGING COVERED OVER POURED CONCRETE FOOTING.
4. PROVIDE 2" x 3" WOOD STRAPPING @ 16" O.C. ON INTERIOR FACE OF CONCRETE FOUNDATION WALL. R-20 INSULATION W/ INTEGRAL VAPOUR BARRIER, FULL HEIGHT 1/2" GYPSUM BOARD TAPED, SANDED & PRIMED READY FOR PAINT.
5. CONT. 2" x 6" WOOD SILL PLATE FASTENED W/ 1/2" DIAMETER x 12" LONG ANCHOR BOLTS EMBEDDED 6" IN CONCRETE @ 6'-0" O.C. MAX. & PROVIDE A FLEXIBLE SILL GASKET BETWEEN PLATE AND FOUNDATION.

6C CUT STONE VENEER CONSTRUCTION

4" CUT STONE VENEER FACE WITH HAIR LINE JOINT BETWEEN STONE MODULES 1" AIR SPACE TYVEK HOUSE WRAP (AIR BARRIER/MOISTURE BARRIER), LAYERS TO OVERLAP, JOINTS TAPED & SEALED ON 1/2" DENSE GLASS GOLD SHEATHING ON 2" x 6" @ 16" O.C. SPR STUD WALLS W/ R-24 BATT INSULATION W/ VAPOUR BARRIER (WARM SIDE), DOUBLE TOP PLATE & SINGLE SOLE PLATE, 1/2" GYPSUM BOARD TAPED, SANDED & PRIMED, READY FOR PAINT FINISH USE METAL WALL TIES FOR LARGE CUT STONE ANCHORAGE.

PROVIDE 0.03 THICK x 7/8" WIDE GALVANIZED METAL VENEER TIES @ 32" O.C. HORIZONTALLY AND 16" O.C. VERTICALLY FASTENED WITH CORROSION RESISTANT 0.125" DIAMETER SCREWS OR SPIRAL NAILS WHICH PENETRATE A MINIMUM OF 1-3/16" INTO STUD.

AT FOUNDATION WALLS PROVIDE 20 MIL POLY FLASHING MIN. 6" UP BEHIND SHEATHING PAPER WEEP HOLES, MINIMUM 2-7" APART AT BOTTOM COURSE OF VENEER AND ABOVE ALL OPENINGS.

21 PREFINISHED ALUMINUM RAIN WATER LEADER (RWL)

COLOR TO MATCH EAVESTROUCHING. INSTALL PREFINISHED CONDUCTOR HEADS ON FRONT ELEVATION AS PER DRAWING. DOWNSPOUTS NOT CONNECTED TO STORM SEWER SHALL HAVE EXTENSIONS TO CARRY WATER AWAY FROM THE BUILDING & PROVISIONS SHOULD BE MADE TO PREVENT SOIL EROSION AND DEVERT WATER TO SOFT LANDSCAPING AREAS. PROVIDE PRECAST CONCRETE SPLASH BLOCKS IF REQUIRED TO AVOID RAIN WATER DISCHARGING DIRECTLY ONTO DRIVEWAYS AND WALKWAYS.

32 ROOF SADDLE

PROVIDE STICK FRAME ROOF SADDLE CONSTRUCTION OVER PRE-FABRICATED ROOF TRUSS SYSTEM TO ENSURE POSITIVE DRAINAGE TO PERIMETER EAVES DRAINAGE

27 CONCRETE PORCH

1. ALLOW 4" BEARING FOR CONCRETE SLAB. PROVIDE DEEP POCKETS TO SUPPORT CONCRETE SLAB BY REMOVING EVERY 2ND PAIR OF FACE BRICKS WHEN BRICK FACING IS USED.
2. WHEN FACE BRICK IS USED ABOVE GRADE LEVEL, PROVIDE 3/16" DIAMETER CORROSION RESISTANT METAL TIES @ 36" HORIZONTALLY, 8" VERTICALLY.
3. MINIMUM 3/4" CLEAR CONCRETE TO COVER RE-BAR. STAIRS AND HANDRAILS TO CONFORM TO NOTES 29. & 30.

35 PRECAST CONCRETE SILL

PROVIDE 4" BEARING FOR CONCRETE SLAB. PROVIDE DEEP POCKETS TO SUPPORT CONCRETE SLAB BY REMOVING EVERY 2ND PAIR OF FACE BRICKS WHEN BRICK FACING IS USED.

30 SLOPED ROOF CONSTRUCTION:

ASPHALT SHINGLES ON 15 LB. BUILDING PAPER ON 1/2" EXTERIOR GRADE PLYWOOD SHEATHING ON PRE-ENGINEERED ROOF TRUSSES AS NOTED ON DRAWINGS. PROVIDE APPROVED EAVES PROTECTION TO MIN. 12" BEYOND INNER FACE OF EXTERIOR WALL. PROVIDE MIN. R40 BATT INSULATION W/ 6 MIL POLY VAPOUR BARRIER (WARM SIDE, ABOVE CEILING) W/ 3/8" GYPSUM BOARD, GYPSUM BOARD TO BE TAPED, SANDED AND PRIMED READY FOR PAINT FINISH. PROVIDE MIN. 1 SQ.FT. OF ROOF VENT AREA FOR EVERY 300 SQ.F.T OF INSULATED CEILING EVENLY DISTRIBUTED W/ MIN. 50% @ EAVES.

10 BRICK VENEER CONSTRUCTION

4" BRICK FACE, 1" AIR SPACE, TYVEK HOUSE WRAP (AIR BARRIER/MOISTURE BARRIER), LAYERS TO OVERLAP, JOINTS TAPED & SEALED ON 1/2" EXTERIOR GRADE PLYWOOD SHEATHING ON 2" x 6" @ 16" O.C. SPR STUD WALLS W/ R-20 BATT INSULATION W/ VAPOUR BARRIER (WARM SIDE), DOUBLE TOP PLATE & SINGLE SOLE PLATE, 1/2" GYPSUM BOARD TAPED, SANDED & PRIMED, READY FOR PAINT FINISH.

PROVIDE 0.03 THICK x 7/8" WIDE GALVANIZED METAL VENEER TIES @ 32" O.C. HORIZONTALLY AND 16" O.C. VERTICALLY FASTENED WITH CORROSION RESISTANT 0.125" DIAMETER SCREWS OR SPIRAL NAILS WHICH PENETRATE A MINIMUM OF 1-3/16" INTO STUD.

AT FOUNDATION WALLS PROVIDE 20 MIL POLY FLASHING MIN. 6" UP BEHIND SHEATHING PAPER WEEP HOLES, MINIMUM 2-7" APART AT BOTTOM COURSE OF VENEER AND ABOVE ALL OPENINGS.

ANY UNAUTHORIZED ALTERATION, PUBLICATION, COPYING OR USE OF THE DRAWING WITH THE WRITTEN CONSENT FROM SG&M ARCHITECTS IS STRICTLY PROHIBITED AND SHALL BE DEEMED AN INFRINGEMENT UNDER THE COPYRIGHT ACT.

SG&M ARCHITECTS RESERVES ALL PROPERTY RIGHTS IN AND TO THE DIGITAL DATA INCLUDING COPYRIGHT.

DATE	NO.	DESCRIPTION	BY
MAY.10.2024	2	COMMITTEE OF ADJUSTMENT	DO
MAY.10.2023	2	ISSUED FOR BUILDING PERMIT	DO
FEB.18.2022	1	ISSUED FOR CLIENT REVIEW	LM

FINAL DATE ABOVE SUPERSEDES ALL PREVIOUS ISSUES

REVISIONS

KEY TO DETAIL LOCATION

○ DETAIL NOTATION

○ DRAWING NUMBER

CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB AND REPORT ANY DISCREPANCIES TO THE ARCHITECTS BEFORE PROCEEDING WITH THE WORK.

DRAWINGS ARE NOT TO BE SCALED.

SG & M Architects

193 ROE AVENUE
Toronto, ON M5M 2J1
Tel: (416) 781-6125
Web: WWW.SG&MARCH.COM

326 SANDLEWOOD RD
OAKVILLE, ON

CUSTOM HOME

RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

DRAWN: RS/DO

CHECKED: LM

DATE: FEB.18.2022

PROJ. NO.: 2021-49 DRAWING NO.:

A3-2



5 FOUNDATION (BASEMENT) WALLS BELOW GRADE AND FOOTINGS

1. A DRAINAGE LAYER IS REQUIRED FOR FOUNDATION WALLS. WHERE THE INTERIOR INSULATION EXTENDS MORE THAN 2'-11" BELOW EXTERIOR GRADE.
2. 2 COATS OF BITUMINOUS DAMPPROOFING ON 10" REINFORCED POURED CONCRETE WALLS.
3. PROVIDE 1/4" PARPING COVERED OVER POURED CONCRETE FOOTING.
4. PROVIDE 2" x 3" WOOD STRAPPING @ 16" O.C. ON INTERIOR FACE OF CONCRETE FOUNDATION WALL. R-20 INSULATION W/ INTEGRAL VAPOUR BARRIER. FULL HEIGHT 1/2" GYPSUM BOARD TAPED, SANDED & PRIMED READY FOR PAINT.
5. CONT. 2" x 6" WOOD SILL PLATE FASTENED W/ 1/2" DIAMETER x 12" LONG ANCHOR BOLTS EMBEDDED 6" IN CONCRETE @ 6'-0" O.C. MAX. & PROVIDE A FLEXIBLE SILL GASKET BETWEEN PLATE AND FOUNDATION.

21 PREFINISHED ALUMINUM RAIN WATER LEADER (RWL)

COLOR TO MATCH EAVESTROUCHING. INSTALL PREFINISHED CONDUCTOR HEADS ON FRONT ELEVATION AS PER DRAWING. DOWNSPOUTS NOT CONNECTED TO STORM SEWER SHALL HAVE EXTENSIONS TO CARRY WATER AWAY FROM THE BUILDING & PROVISIONS SHOULD BE MADE TO PREVENT SOIL EROSION AND DEVERT WATER TO SOFT LANDSCAPING AREAS. PROVIDE PRECAST CONCRETE SPLASH BLOCKS IF REQUIRED TO AVOID RAIN WATER DISCHARGING DIRECTLY ONTO DRIVEWAYS AND WALKWAYS.

32 ROOF SADDLE

PROVIDE STICK FRAME ROOF SADDLE CONSTRUCTION OVER PRE-FABRICATED ROOF TRUSS SYSTEM TO ENSURE POSITIVE DRAINAGE TO PERIMETER EAVES DRAINAGE

30 SLOPED ROOF CONSTRUCTION:

ASPHALT SHINGLES ON 15 LB. BUILDING PAPER ON 1/2" EXTERIOR GRADE PLYWOOD SHEATHING ON PRE-ENGINEERED ROOF TRUSSES AS NOTED ON DRAWINGS. PROVIDE APPROVED EAVES PROTECTION TO MIN. 12" BEYOND INNER FACE OF EXTERIOR WALL. PROVIDE MIN. R40 BATT INSULATION W/ 6 MIL. POLY VAPOUR BARRIER (WARM SIDE - ABOVE CEILING) W/ 5/8" GYPSUM BOARD. GYPSUM BOARD TO BE TAPED, SANDED AND PRIMED READY FOR PAINT FINISH. PROVIDE MIN. 1 SQ.FT. OF ROOF VENT AREA FOR EVERY 300 SQ.F.T OF INSULATED CEILING EVENLY DISTRIBUTED W/ MIN. 50% @EAVES.

10 BRICK VENEER CONSTRUCTION

4" BRICK FACE, 1" AIR SPACE, TYVEK HOUSE WRAP (AIR BARRIER/ MOISTURE BARRIER), LAYERS TO OVERLAP. JOINTS TAPED & SEALED ON 1/2" EXTERIOR GRADE PLYWOOD SHEATHING ON 2" x 6" @ 16" O.C. SPR STUD WALLS W/ R-20 BATT INSULATION W/ VAPOUR BARRIER (WARM SIDE), DOUBLE TOP PLATE & SINGLE SOLE PLATE. 1/2" GYPSUM BOARD TAPED, SANDED & PRIMED, READY FOR PAINT FINISH.

PROVIDE 0.03 THICK x 7/8" WIDE GALVANIZED METAL VENEER TIES @ 32" O.C. HORIZONTALLY AND 16" O.C. VERTICALLY FASTENED WITH CORROSION RESISTANT 0.125" DIAMETER SCREWS OR SPIRAL NAILS WHICH PENETRATE A MINIMUM OF 1-3/16" INTO STUD.

AT FOUNDATION WALLS PROVIDE 20 MIL POLY FLASHING MIN. 6" UP BEHIND SHEATHING PAPER WEEP HOLES, MINIMUM 2-7" APART AT BOTTOM COURSE OF VENEER AND ABOVE ALL OPENINGS.

ANY UNAUTHORIZED ALTERATION, PUBLICATION, COPYING OR USE OF THE DRAWING WITH THE WRITTEN CONSENT FROM SG&M ARCHITECTS IS STRICTLY PROHIBITED AND SHALL BE DEEMED AN INFRINGEMENT UNDER THE COPYRIGHT ACT.

SG&M ARCHITECTS RESERVES ALL PROPERTY RIGHTS IN AND TO THE DIGITAL DATA INCLUDING COPYRIGHT.

DATE	NO.	DESCRIPTION	BY
MAY.10.2024	2	COMMITTEE OF ADJUSTMENT	DO
MAY.10.2023	2	ISSUED FOR BUILDING PERMIT	DO
FEB.18.2022	1	ISSUED FOR CLIENT REVIEW	LM

FINAL DATE ABOVE SUPERSEDES ALL PREVIOUS ISSUES

REVISIONS

KEY TO DETAIL LOCATION

○ DETAIL NOTATION

○ DRAWING NUMBER

CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB AND REPORT ANY DISCREPANCIES TO THE ARCHITECTS BEFORE PROCEEDING WITH THE WORK.

DRAWINGS ARE NOT TO BE SCALED.

SG & M Architects

193 ROE AVENUE
Toronto, ON M5M 2J1
Tel: (416) 781-6125
Web: WWW.SG&MARCH.COM

326 SANDLEWOOD RD
OAKVILLE, ON

CUSTOM HOME

REAR ELEVATION

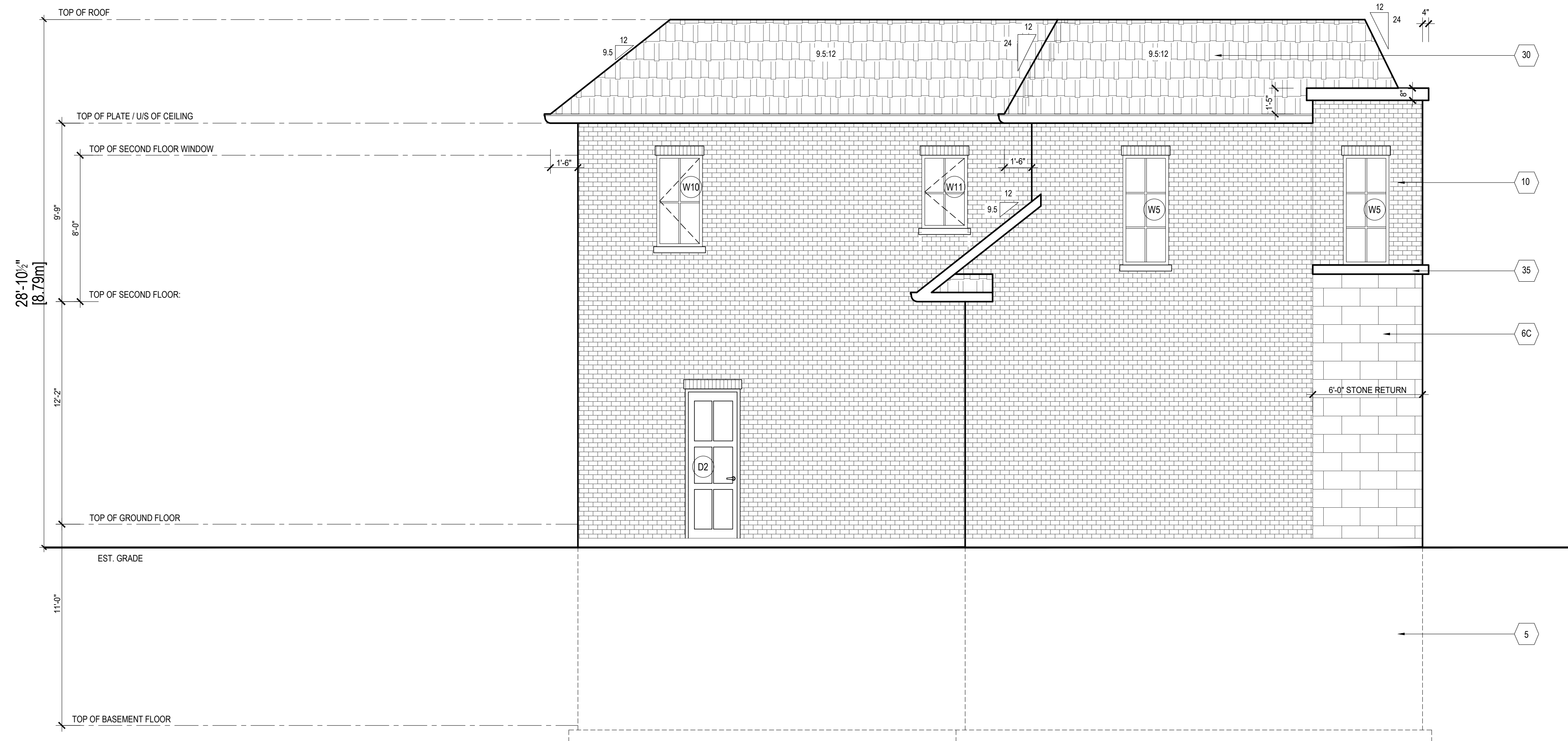
SCALE 1/4" = 1'-0"

DRAWN RS/DO

CHECKED LM

DATE FEB.18.2022

PROJ. NO. 2021-49 DRAWING NO. A3-3



- 5 FOUNDATION (BASEMENT) WALLS BELOW GRADE AND FOOTINGS**
1. A DRAINAGE LAYER IS REQUIRED FOR FOUNDATION WALLS. WHERE THE INTERIOR INSULATION EXTENDS MORE THAN 2'-11" BELOW EXTERIOR GRADE.
 2. COATS OF BITUMINOUS DAMPPROOFING ON 10" REINFORCED POURED CONCRETE WALLS.
 3. PROVIDE 1/4" PARGING COVER POURED CONCRETE FOOTING.
 4. PROVIDE 2" x 3" WOOD STRAPPING @ 16" O.C. ON INTERIOR FACE OF CONCRETE FOUNDATION WALL, R-20 INSULATION W/ INTEGRAL VAPOUR BARRIER, FULL HEIGHT 1/2" GYPSUM BOARD TAPED, SANDED & PRIMED READY FOR PAINT.
 5. CONT. 2" x 6" WOOD SILL PLATE FASTENED W/ 1/2" DIAMETER x 12" LONG ANCHOR BOLTS EMBEDDED 6" IN CONCRETE @ 6'-0" O.C. MAX. & PROVIDE A FLEXIBLE SILL GASKET BETWEEN PLATE AND FOUNDATION.

- 6C CUT STONE VENEER CONSTRUCTION**
- 4" CUT STONE VENEER FACE WITH HAIR LINE JOINT BETWEEN STONE MODULES. 1" AIR SPACE, TYVEK HOUSE WRAP (AIR BARRIER/ MOISTURE BARRIER) LAYERS TO OVERLAP. JOINTS TAPED & SEALED ON 1/2" DENSE GLASS GOLD SHEATHING ON 2" x 6" @ 16" O.C. SPR STUD WALLS W/ R-24 BATT INSULATION W/ VAPOUR BARRIER (WARM SIDE). DOUBLE TOP PLATE & SINGLE SOLE PLATE. 1/2" GYPSUM BOARD TAPED, SANDED & PRIMED, READY FOR PAINT FINISH USE METAL WALL TIES FOR LARGE CUT STONE ANCHORAGE.
- PROVIDE 0.03 THICK x 7/8" WIDE GALVANIZED METAL VENEER TIES @ 32" O.C. HORIZONTALLY AND 16" O.C. VERTICALLY FASTENED WITH CORROSION RESISTANT 0.125" DIAMETER SCREWS OR SPIRAL NAILS WHICH PENETRATE A MINIMUM OF 1-3/16" INTO STUD.
- AT FOUNDATION WALLS PROVIDE 20 MIL POLY FLASHING MIN. 6" UP BEHIND SHEATHING PAPER WEEP HOLES, MINIMUM 2'-7" APART AT BOTTOM COURSE OF VENEER AND ABOVE ALL OPENINGS.

- 21 PREFINISHED ALUMINUM RAIN WATER LEADER (RWL)**
- COLOUR TO MATCH EAVESTROUGHING. INSTALL PREFINISHED CONDUCTOR HEADS ON FRONT ELEVATION AS PER DRAWING. DOWNSPOUTS NOT CONNECTED TO STORM SEWER SHALL HAVE EXTENSIONS TO CARRY WATER AWAY FROM THE BUILDING & PROVISIONS SHOULD BE MADE TO PREVENT SOIL EROSION AND DEVERT WATER TO SOFT LANDSCAPING AREAS. PROVIDE PRECAST CONCRETE SPLASH BLOCKS IF REQUIRED TO AVOID RAIN WATER DISCHARGING DIRECTLY ONTO DRIVEWAYS AND WALKWAYS.

- 27 CONCRETE PORCH**
1. ALLOW 4" BEARING FOR CONCRETE SLAB. PROVIDE DEEP POCKETS TO SUPPORT CONCRETE SLAB BY REMOVING EVERY 2ND PAIR OF FACE BRICKS WHEN BRICK FACING IS USED.
 2. WHEN FACE BRICK IS USED ABOVE GRADE LEVEL, PROVIDE 3/16" DIAMETER CORROSION RESISTANT METAL TIES @ 36" HORIZONTALLY, 8" VERTICALLY.
 3. MINIMUM 3/4" CLEAR CONCRETE TO COVER RE-BAR. STAIRS AND HANDRAILS TO CONFORM TO NOTES 29 & 30.

- 35 PRECAST CONCRETE SILL**

- 30 SLOPED ROOF CONSTRUCTION:**
- ASPHALT SHINGLES ON 15 LB. BUILDING PAPER ON 1/2" EXTERIOR GRADE PLYWOOD SHEATHING ON PRE-ENGINEERED ROOF TRUSSES AS NOTED ON DRAWINGS. PROVIDE APPROVED EAVES PROTECTION TO MIN. 12" BEYOND INNER FACE OF EXTERIOR WALL. PROVIDE MIN. R40 BATT INSULATION W/ 6 MIL POLY VAPOUR BARRIER (WARM SIDE - ABOVE CEILING) W/ 5/8" GYPSUM BOARD. GYPSUM BOARD TO BE TAPED, SANDED AND PRIMED READY FOR PAINT FINISH. PROVIDE MIN. 1 SQ.FT. OF ROOF VENT AREA FOR EVERY 300 SQ.F.T. OF INSULATED CEILING EVENLY DISTRIBUTED W/ MIN. 50% @EAVES.

- 10 BRICK VENEER CONSTRUCTION**
- 4" BRICK FACE. 1" AIR SPACE, TYVEK HOUSE WRAP (AIR BARRIER/ MOISTURE BARRIER) LAYERS TO OVERLAP. JOINTS TAPED & SEALED ON 1/2" EXTERIOR GRADE PLYWOOD SHEATHING ON 2" x 6" @ 16" O.C. SPR STUD WALLS W/ R-20 BATT INSULATION W/ VAPOUR BARRIER (WARM SIDE). DOUBLE TOP PLATE & SINGLE SOLE PLATE. 1/2" GYPSUM BOARD TAPED, SANDED & PRIMED, READY FOR PAINT FINISH.

- PROVIDE 0.03 THICK x 7/8" WIDE GALVANIZED METAL VENEER TIES @ 32" O.C. HORIZONTALLY AND 16" O.C. VERTICALLY FASTENED WITH CORROSION RESISTANT 0.125" DIAMETER SCREWS OR SPIRAL NAILS WHICH PENETRATE A MINIMUM OF 1-3/16" INTO STUD.

- AT FOUNDATION WALLS PROVIDE 20 MIL POLY FLASHING MIN. 6" UP BEHIND SHEATHING PAPER WEEP HOLES, MINIMUM 2'-7" APART AT BOTTOM COURSE OF VENEER AND ABOVE ALL OPENINGS.

ANY UNAUTHORIZED ALTERATION, PUBLICATION, COPYING OR USE OF THE DRAWING WITH THE WRITTEN CONSENT FROM SG&M ARCHITECTS IS STRICTLY PROHIBITED AND SHALL BE DEEMED AN INFRINGEMENT UNDER THE COPYRIGHT ACT.

SG&M ARCHITECTS RESERVES ALL PROPERTY RIGHTS IN AND TO THE DIGITAL DATA INCLUDING COPYRIGHT.

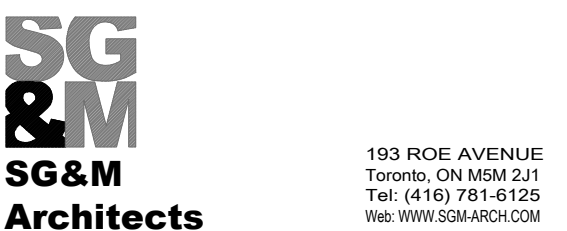
DATE	NO.	DESCRIPTION	BY
MAY.10.2024	2	COMMITTEE OF ADJUSTMENT	DO
MAY.10.2023	2	ISSUED FOR BUILDING PERMIT	DO
FEB.18.2022	1	ISSUED FOR CLIENT REVIEW	LM

FINAL DATE ABOVE SUPERSEDES ALL PREVIOUS ISSUES

REVISIONS

KEY TO DETAIL LOCATION
 ○ DETAIL NOTATION
 ○ DRAWING NUMBER

CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB AND REPORT ANY DISCREPANCIES TO THE ARCHITECTS BEFORE PROCEEDING WITH THE WORK.
 DRAWINGS ARE NOT TO BE SCALED.



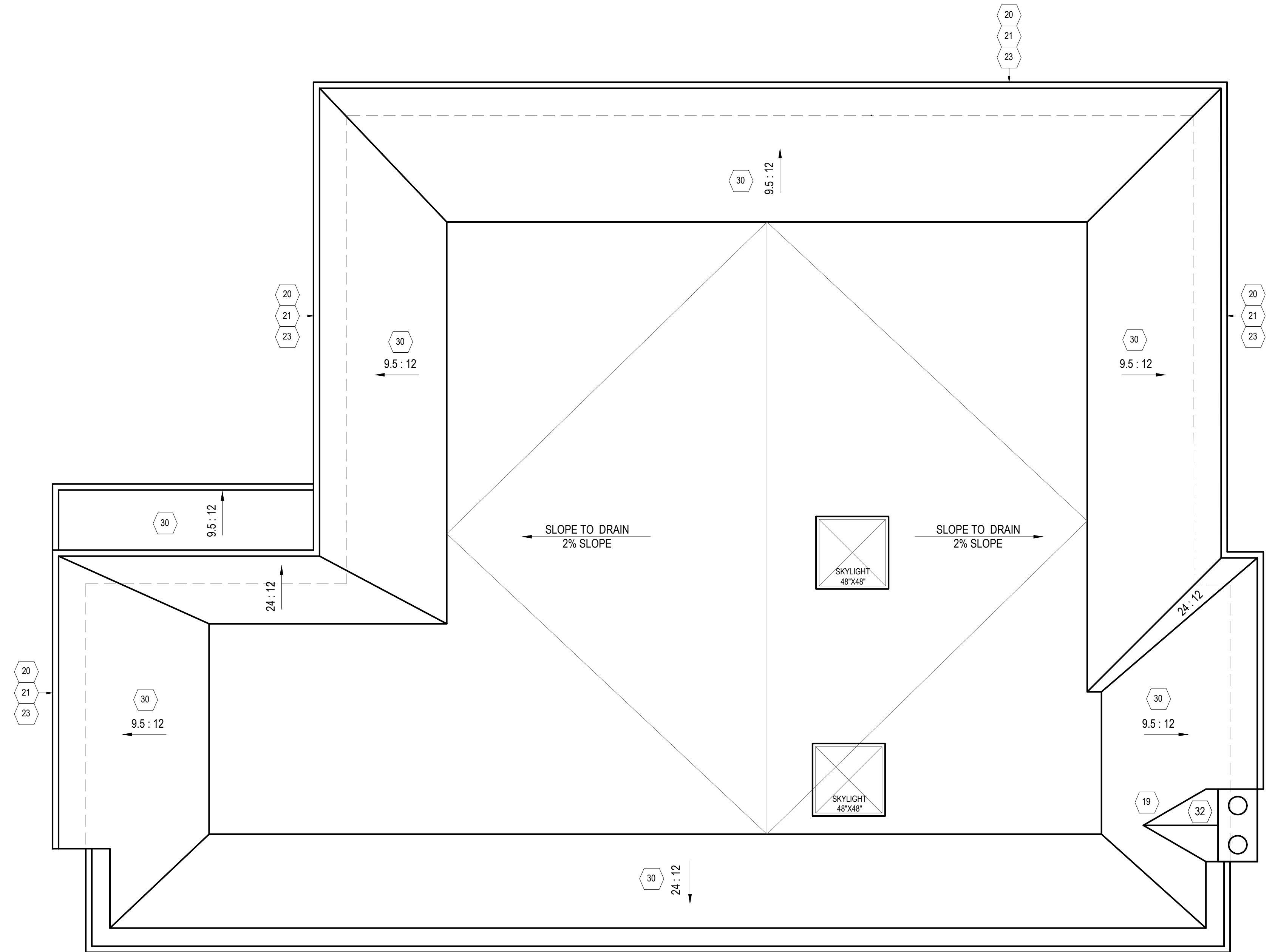
326 SANDLEWOOD RD
 OAKVILLE, ON

CUSTOM HOME

LEFT SIDE ELEVATION

SCALE 1/4" = 1'-0"
 DRAWN RS/DO
 CHECKED LM
 DATE FEB.18.2022
 PROJ. NO. 2021-49 DRAWING NO.

A3-4



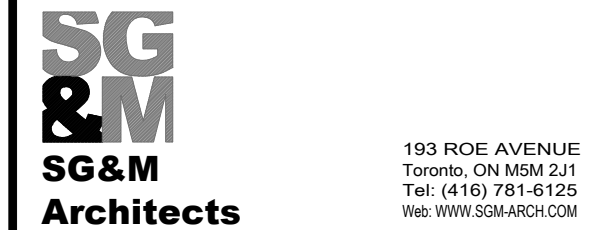
- 19 PREFINISHED METAL FLASHING
PROVIDE PREFINISHED METAL FLASHING AT ALL ROOF PENETRATIONS INCLUDING FLUES, CHIMNEYS, SKYLIGHTS AND ALL OTHER ARCHITECTURAL ROOF FEATURES. ENSURE THAT METAL FLASHING IS INSTALLED A MINIMUM OF 6" ABOVE FINISHED ROOF LINE. PROVIDE STEP THRU WALL FLASHINGS AT SLOPING INTERFACES AS REQUIRED. COLOUR OF FLASHING TO BE SELECTED BY ARCHITECT AT A LATER DATE.
- 20 PREFINISHED ALUMINUM EAVESTROUGHING
ON 1" x 6" WOOD FASCIA
- 21 PREFINISHED ALUMINUM RAIN WATER LEADER (RWL)
COLOUR TO MATCH EAVESTROUGHING. INSTALL PREFINISHED CONDUCTOR HEADS ON FRONT ELEVATION AS PER DRAWING. DOWNSPOUTS NOT CONNECTED TO STORM SEWER SHALL HAVE EXTENSIONS TO CARRY WATER AWAY FROM THE BUILDING & PROVISIONS SHOULD BE MADE TO PREVENT SOIL EROSION AND DEVERT WATER TO SOFT LANDSCAPING AREAS. PROVIDE PRECAST CONCRETE SPLASH BLOCKS IF REQUIRED TO AVOID RAIN WATER DISCHARGING DIRECTLY ONTO DRIVEWAYS AND WALKWAYS.
- 23 VENTED ALUMINUM SOFFIT
- 30 SLOPED ROOF CONSTRUCTION:
ASPHALT SHINGLES ON 15 LB. BUILDING PAPER ON 1/2" EXTERIOR GRADE PLYWOOD SHEATHING ON PRE-ENGINEERED ROOF TRUSSES AS NOTED ON DRAWINGS. PROVIDE APPROVED EAVES PROTECTION TO MIN. 12" BEYOND INNER FACE OF EXTERIOR WALL. PROVIDE MIN. R40 BATT INSULATION W/ 6 MIL POLY VAPOUR BARRIER (WARM SIDE ABOVE CEILING) W/ 1/2" GYPSUM BOARD. PROVIDE MIN. 1 SQ.FT. OF ROOF VENT AREA FOR EVERY 300 SQ.F.T OF INSULATED CEILING EVENLY DISTRIBUTED W/ MIN. 50% @EAVES.
- 32 ROOF SADDLE
PROVIDE STICK FRAME ROOF SADDLE CONSTRUCTION OVER PRE-FABRICATED ROOF TRUSS SYSTEM TO ENSURE POSITIVE DRAINAGE TO PERIMETER EAVES DRAINAGE
- 33 LOW SLOPED ROOF CONSTRUCTION:
4 PLY BUILT UP WATERPROOFING MEMBRANE ON MINIMUM 4" POLYISOCYANURATE RIGID INSULATION BOARD (R30). PROVIDE TAPERED INSULATION BOARD AS REQUIRED TO ENSURE POSITIVE DRAINAGE TO DRAINAGE OUTLET SCUPPERS. INSULATION BOARD PLACED OVER KRAFT PAPER VAPOUR BARRIER AND APPLIED TO 1/2" EXTERIOR GRADE PLYWOOD SHEATHING OVER METAL DECK AND OWSJ. PROVIDE TAPERED INSULATION AT VERTICAL UPSTAND AND/OR PARAPET TO ENSURE DRAINAGE. PROVIDE 2 PLY MODIFIED BIT MEMBRANE SHEET OVER WATER PROOFING MEMBRANE AT PARAPETS AND PROVIDE PREFINISHED METAL FLASHING COPING OVER PARAPET.

ANY UNAUTHORIZED ALTERATION, PUBLICATION, COPYING OR USE OF THE DRAWING WITHOUT THE WRITTEN CONSENT FROM SG&M ARCHITECTS IS STRICTLY PROHIBITED AND SHALL BE DEEMED AN INFRINGEMENT UNDER THE COPYRIGHT ACT.
SG&M ARCHITECTS RESERVES ALL PROPERTY RIGHTS IN AND TO THE DIGITAL DATA INCLUDING COPYRIGHT.

DATE	NO.	DESCRIPTION	BY

DATE	NO.	DESCRIPTION	BY
MAY.10.2024	2	COMMITTEE OF ADJUSTMENT	DO
MAR.10.2023	2	ISSUED FOR BUILDING PERMIT	DO
FEB.18.2022	1	ISSUED FOR CLIENT REVIEW	LM

FINAL DATE ABOVE SUPERSEDES ALL PREVIOUS ISSUES
REVISIONS
KEY TO DETAIL LOCATION
○ DETAIL NOTATION
○ DRAWING NUMBER
CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB AND REPORT ANY DISCREPANCIES TO THE ARCHITECTS BEFORE PROCEEDING WITH THE WORK.
DRAWINGS ARE NOT TO BE SCALED.



326 SANDLEWOOD RD
OAKVILLE, ON

CUSTOM HOME

ROOF PLAN

SCALE 1/4" = 1'-0"
DRAWN RS/DO
CHECKED LM
DATE FEB.18.2022
PROJ. NO. 2021-49 DRAWING NO. A2-4

Re: Proposed Detached Dwelling Unit at 326 Sandeewood Road

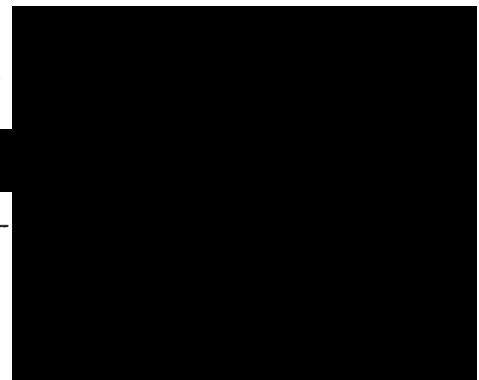
In regard to the 1 minor variance cited in the Committee of Adjustment notice, we are of the opinion that:

- The variance requested is minor in nature;
- The proposal is desirable for the appropriate use of the land and building;
- The general intent and purpose of the City's Zoning Code and/or Bylaw are maintained and;
- The general intent and purpose of the Official Plan are maintained.

Therefore, we have no objections to the proposed new construction of the (2 storey above grade and 1 storey below grade) detached dwelling unit and support the application as submitted.

Home Owner Name: Sawreet Tinna

Home Owner Address: [REDACTED]



Re: Proposed Detached Dwelling Unit at 326 Sandlewood Road

In regard to the 1 minor variance cited in the Committee of Adjustment notice, we are of the opinion that:

- The variance requested is minor in nature;
- The proposal is desirable for the appropriate use of the land and building;
- The general intent and purpose of the City's Zoning Code and/or Bylaw are maintained and;
- The general intent and purpose of the Official Plan are maintained.

Therefore, we have no objections to the proposed new construction of the (2 storey above grade and 1 storey below grade) detached dwelling unit and support the application as submitted.

Home Owner Name: ADOLF AZR

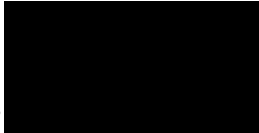
Home Owner Address: 

Re: Proposed Detached Dwelling Unit at 326 Sandewood Road

In regard to the 1 minor variance cited in the Committee of Adjustment notice, we are of the opinion that:

- The variance requested is minor in nature;
- The proposal is desirable for the appropriate use of the land and building;
- The general intent and purpose of the City's Zoning Code and/or Bylaw are maintained and;
- The general intent and purpose of the Official Plan are maintained.

Therefore, we have no objections to the proposed new construction of the (2 storey above grade and 1 storey below grade) detached dwelling unit and support the application as submitted.

Home Owner Name: Sehar Alamgir 

Home Owner Address: 

Re: Proposed Detached Dwelling Unit at 326 Sandlwood Road

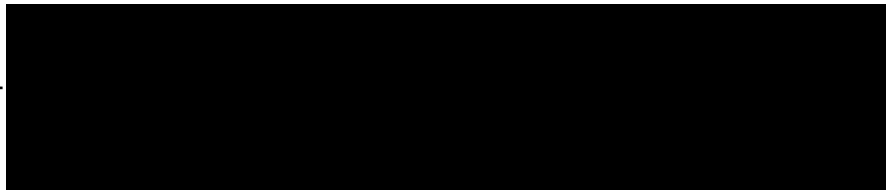
In regard to the 1 minor variance cited in the Committee of Adjustment notice, we are of the opinion that:

- The variance requested is minor in nature;
- The proposal is desirable for the appropriate use of the land and building;
- The general intent and purpose of the City's Zoning Code and/or Bylaw are maintained and;
- The general intent and purpose of the Official Plan are maintained.

Therefore, we have no objections to the proposed new construction of the (2 storey above grade and 1 storey below grade) detached dwelling unit and support the application as submitted.

Home Owner Name: K J Toma

Home Owner Address: _____



Re: Proposed Detached Dwelling Unit at 326 Sandlewood Road

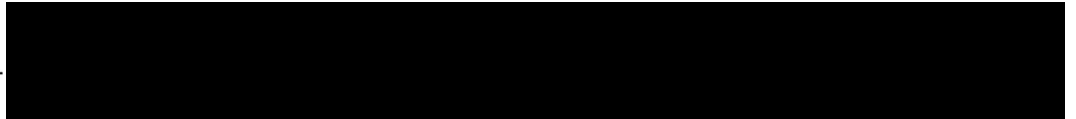
In regard to the 1 minor variance cited in the Committee of Adjustment notice, we are of the opinion that:

- The variance requested is minor in nature;
- The proposal is desirable for the appropriate use of the land and building;
- The general intent and purpose of the City's Zoning Code and/or Bylaw are maintained and;
- The general intent and purpose of the Official Plan are maintained.

Therefore, we have no objections to the proposed new construction of the (2 storey above grade and 1 storey below grade) detached dwelling unit and support the application as submitted.

Home Owner Name: Cuijing Li

Home Owner Address:




Re: Proposed Detached Dwelling Unit at 326 Sandlewood Road

In regard to the 1 minor variance cited in the Committee of Adjustment notice, we are of the opinion that:

- The variance requested is minor in nature;
- The proposal is desirable for the appropriate use of the land and building;
- The general intent and purpose of the City's Zoning Code and/or Bylaw are maintained and;
- The general intent and purpose of the Official Plan are maintained.

Therefore, we have no objections to the proposed new construction of the (2 storey above grade and 1 storey below grade) detached dwelling unit and support the application as submitted.

Home Owner Name: Janann Wydryk Leann Wydryk

Home Owner Address: 

Re: Proposed Detached Dwelling Unit at 326 Sandlwood Road

In regard to the 1 minor variance cited in the Committee of Adjustment notice, we are of the opinion that:

- The variance requested is minor in nature;
- The proposal is desirable for the appropriate use of the land and building;
- The general intent and purpose of the City's Zoning Code and/or Bylaw are maintained and;
- The general intent and purpose of the Official Plan are maintained.

Therefore, we have no objections to the proposed new construction of the (2 storey above grade and 1 storey below grade) detached dwelling unit and support the application as submitted.

Home Owner Name: Jennifer Duhamel

Home Owner Address: _____