

Cara Josie - Ben Homes
4325 Harvester Road, Unit 17
Burlington, ON L7N 1L7

June 4, 2024

Committee of Adjustments
1225 Trafalgar Road,
Oakville, ON L6H 0H3

Dear Committee of Adjustments,

We are submitting the attached Minor Variance application on behalf of the homeowners at 358 Pinehurst Drive. We are proposing encroachment upon the rear yard and one side-yard setback (some of which are existing) in order to create a more functional living space for the homeowners. These variances are minor in nature and have been designed to work with the existing lot and maintain the look and charm of the home.

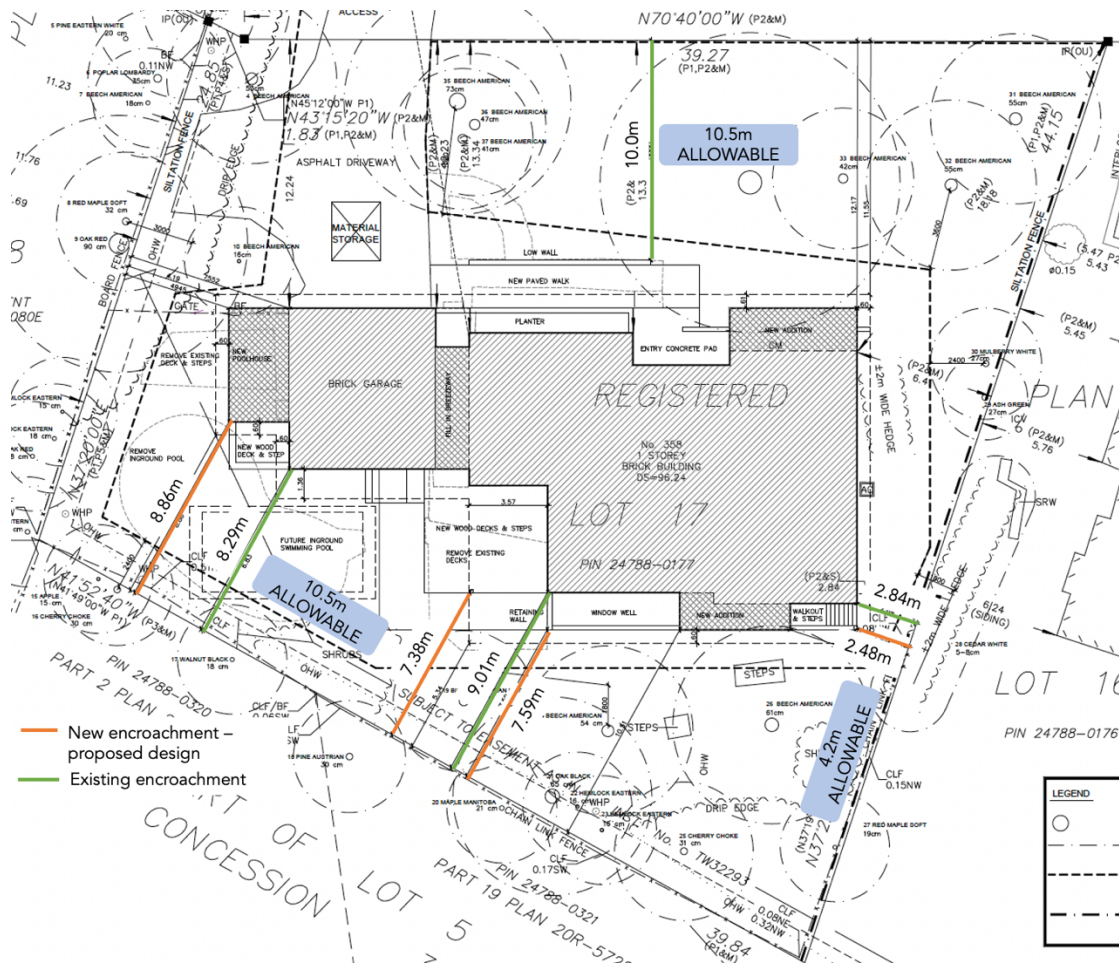
We have maintained the aesthetic of the original home while making some minor adjustments that improve the interior space and how it functions for the homeowners. The trees on the property are very important to both us and the homeowners and we have designed the home to ensure their protection and preservation. For example, the small addition on the front elevation of the house has been designed to cantilever on the upper level-only to ensure minimal impact to the root structure of the large tree in front. We have worked on many iterations of the rear of the property to achieve the homeowners desire for a basement walk-out while minimizing the impact on the property. Throughout the design process, we have had many conversations with an Arborist to discuss the best practices for construction and to minimize the impact on the trees and surrounding vegetation. The arborist will continue to be involved through the design and construction process.

The existing home is currently encroaching on the rear and side yard in three places, so the construction of a new roof requires review of these areas as a minor variance to the zoning by-law. In addition to these areas, we have one encroachment on the same side lot line. This variance is required for a proposed basement walk-out and retaining wall which is proposed to be 2.48m from the side lot line (zoning by-law allows 4.5m from side lot lines). We are proposing an encroachment of 7.59m from the rear lot line for a window well to the basement to give natural light and egress access

from the basement bedroom. As well as an encroachment of 7.38m from the rear lot line to a column supporting the roof over the rear deck. We are proposing an encroachment of 8.86m from the rear lot line for a new pool house structure to store the pool equipment and yard maintenance tools (zoning by-law allows 10.5m from rear lot line). We maintained the allowable front yard setback to the dwelling but are proposing a minor encroachment for a low decorative wall along the front walkway at 10.0m from the front lot line.

Although the rear, front and side yard setbacks have been encroached upon in some areas, we feel that the encroachments are minor based on the size and position of the home on the lot. In the case of the basement walk-out, window well and support column, these elements will result in little visual impact to the property. The pool house encroachment is also minor but feel that it is an important element to keep the property clear of the visual and audible disruption caused by exposed pool equipment. The screen wall at the front of the house is an important design element for the home that only falls slightly outside of the allowable setback.

Please find a site plan diagram below illustrating the existing yard encroachments and the proposed encroachments showing their minimal impact on the property.



We feel that this is a lovey home on a beautiful, mature lot and have created a design that honors the original home and property. Both us and the homeowners are very much of the same mindset to preserve the home and property as much as possible, while creating the perfect family home. We appreciate your time and consideration.

Kind Regards,

A handwritten signature in black ink that reads "Cara Josie". The script is cursive and fluid, with the first letters of "Cara" and "Josie" being capitalized and prominent.

Cara Josie
Ben Homes

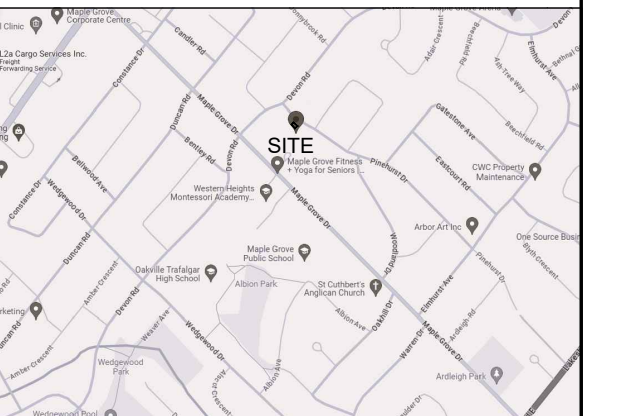
PINEHURST DRIVE
(DEDICATED BY REGISTERED PLAN 581)
PIN 24788-0178

(LOCATION NOT TO SCALE)
STM-MH

DRAWING NOTES
SURVEY INFORMATION TAKEN FROM SURVEYOR'S REAL PROPERTY REPORT, PART 1 PLAN OF SURVEY SHOWING TOPOGRAPHY OF LOT 17, REGISTERED PLAN 581, IN THE TOWN OF OAKVILLE, REGIONAL MUNICIPALITY OF HALTON, BY MCKAY MCKAY & PETERS LIMITED, ONTARIO LAND SURVEYORS, DATED 30 JANUARY 2024.

SITE STATISTICS


ZONING	RL1
LOT AREA	1334.28 M ² (14,362 SF)
LOT COVERAGE	
EXISTING BUILDING	232.25 M ² (2500 SF)
ADDITIONS	40.79 M ² (439 SF)
TOTAL FOOTPRINT	273.04 M ² (2939 SF)
LOT COVERAGE	20.46%
GROSS FLOOR AREA	
GROSS FLOOR AREA	273.04 M ² (2939 SF)
FLOOR AREA RATIO	20.46%



KEY PLAN
NTS

No	Date	Description	By
5	09 JUL/24	REISSUED FOR COA	BA
4	13 MAY/24	DIMENSIONS ADDED	BA
3	08 MAY/24	ISSUED FOR COA	BA
2	05 MAY/24	TREE INFO ADDED	BA
1	22 APR/24	ISSUED FOR REVIEW	BA

REVISIONS



This drawing is not to be used for construction until signed by the Architect.

Date	Revision No	Description
APRIL 2024		

Drawn
Checked
Approved
CAD Version
AUTOCAD 2022

These drawings shall not be scaled. The Contractor shall verify all dimensions, datums, and levels prior to beginning the Work. All errors and omissions to be reported immediately to the Architect. Variations and modifications to work shown on this drawing shall not be carried out without the written consent of the Architect. This drawing is the exclusive property of the Architect and shall not be reproduced without the Architect's consent.

ben homes

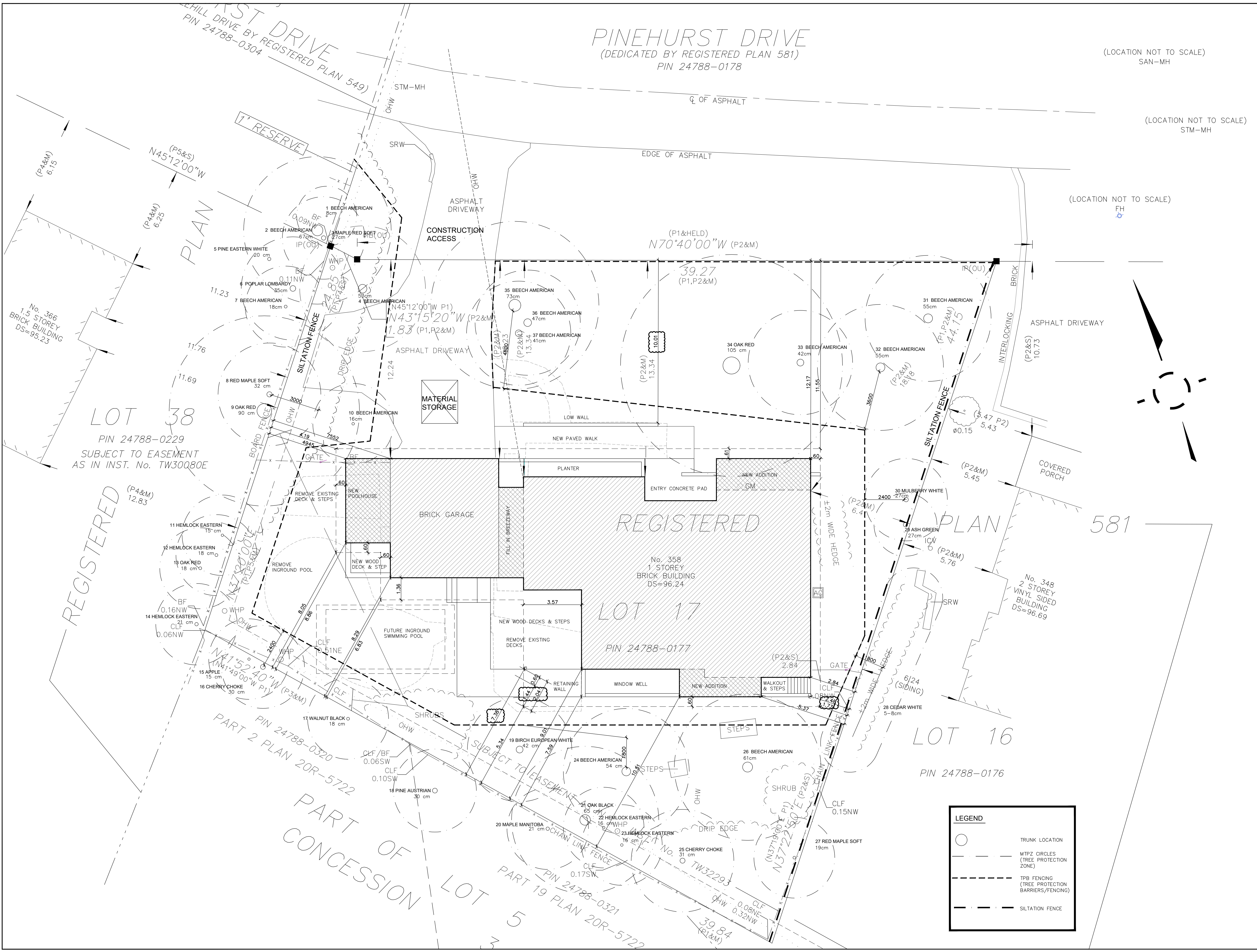
Brian Awde Architect Inc.
628 Cummer Avenue North York
Ontario M2K 2M8
Tel: (416) 580-3813 Fax: (416) 226-3266
e-mail: brianawde@sympatico.ca

RESIDENCE RENOVATION

358 PINEHURST DRIVE
OAKVILLE ONTARIO

Drawing Name:
SITE PLAN

Scale	1:100	Revision No	
Project No	23.11	Drawing No	A100



LEGEND

- TRUNK LOCATION
- MTPZ CIRCLES (TREE PROTECTION ZONE)
- TPB FENCING (TREE PROTECTION BARRIERS/FENCING)
- SILTATION FENCE

SURVEYOR'S REAL PROPERTY REPORT
PART 1 - PLAN OF SURVEY SHOWING TOPOGRAPHY OF
LOT 17
REGISTERED PLAN 581
 IN THE
TOWN OF OAKVILLE
 REGIONAL MUNICIPALITY OF HALTON
 SCALE 1 : 200

0 5 10 20 metres
 THE INTENDED PLOT SIZE OF THIS PLAN IS 590mm IN WIDTH BY 430mm IN HEIGHT WHEN PLOTTED AT A SCALE OF 1:200 (INCLUDING 15mm BEYOND EACH BORDER)
MackKAY, MackKAY & PETERS LIMITED - ONTARIO LAND SURVEYORS
 © 2024

KNOWN AS MUNICIPAL No. 358 PINEHURST DRIVE

PART 2 - REPORT SUMMARY (TO BE READ IN CONJUNCTION WITH PART 1)
 LAND REGISTRY OFFICE TITLE INFORMATION ON SUBJECT PROPERTY INCLUDING BOUNDARIES, EASEMENTS AND RIGHT OF WAYS - NOVEMBER 22, 2023

REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY:
 - SUBJECT TO EASEMENT AS IN INST. No. TW32293

ADDITIONAL REMARKS:
 - REFER TO PART 1 OF SURVEY FOR THE LOCATION OF BUILDINGS, STRUCTURES, FENCES & UTILITIES

MackKAY, MackKAY & PETERS LIMITED grants AGNES ZUKOWSKI & NICK PLASKOS ("The Client"), their solicitor and other related parties permission to use "Original Copies" of the Surveyor's Real Property Report in transactions involving "The Client"

METRIC DISTANCES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

ASSOCIATION OF ONTARIO LAND SURVEYORS
 PLAN SUBMISSION FORM
V-70584


 THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR IN ACCORDANCE WITH REGULATION 1026, SECTION 29(3)

LEGEND

- DENOTES A SURVEY MONUMENT FOUND
- IB DENOTES IRON BAR
- IP DENOTES IRON PIPE
- P1 DENOTES REGISTERED PLAN 581
- P2 DENOTES PLAN BY J.H. GELBLOOM SURVEYING LIMITED DATED SEPTEMBER 7, 2017
- P3 DENOTES PLAN 20R-5722
- P4 DENOTES PLAN BY McCONNELL-JACKSON DATED JUNE 5, 1968
- P5 DENOTES REGISTERED PLAN 549
- PIN DENOTES PROPERTY IDENTIFICATION NUMBER
- (OU) DENOTES ORIGIN UNKNOWN
- DS DENOTES DOOR SILL
- GF DENOTES GARAGE FLOOR
- DR DENOTES DRAIN
- ICV DENOTES IRRIGATION CONTROL VALVE
- FH DENOTES FIRE HYDRANT
- SAN-MH DENOTES SANITARY MANHOLE
- STM-MH DENOTES STORM MANHOLE
- GM DENOTES GAS METER
- BF DENOTES BOARD FENCE
- CLF DENOTES CHAIN LINK FENCE
- CRW DENOTES CONCRETE RETAINING WALL
- SRW DENOTES STONE RETAINING WALL
- WHP DENOTES WOOD HYDRO POLE
- OHW DENOTES OVERHEAD WIRE
- ⊙ DENOTES CENTRELINE
- AC DENOTES AIR CONDITIONER
- DENOTES DECIDUOUS TREE SCALED TO CANOPY TRUNK SIZE SHOWN IN METRES
- ✪ DENOTES CONIFEROUS TREE SCALED TO CANOPY TRUNK SIZE SHOWN IN METRES

ALL BUILDING TIES ARE TO FOUNDATION AND ARE PERPENDICULAR TO PROPERTY LINES UNLESS OTHERWISE NOTED

A ROTATION OF 00°35'00" HAS BEEN APPLIED TO BEARINGS ON P5
FIXED GRADE WAS INTERPOLATED AND ADDED BY MMP LTD. MAY 1, 2024

BENCHMARK NOTE

TOWN OF OAKVILLE BENCHMARK No. 32
 ELEVATION = 96.089 METRES
 SOUTHERLY EDGE OF SOUTHERLY CONCRETE GARAGE DOOR SILL AT No. 379 MAPLE GROVE ROAD

BEARING REFERENCE


BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE SOUTHERLY LIMIT OF PINEHURST DRIVE AS SHOWN ON REGISTERED PLAN 581 HAVING A BEARING OF N70°40'00"W

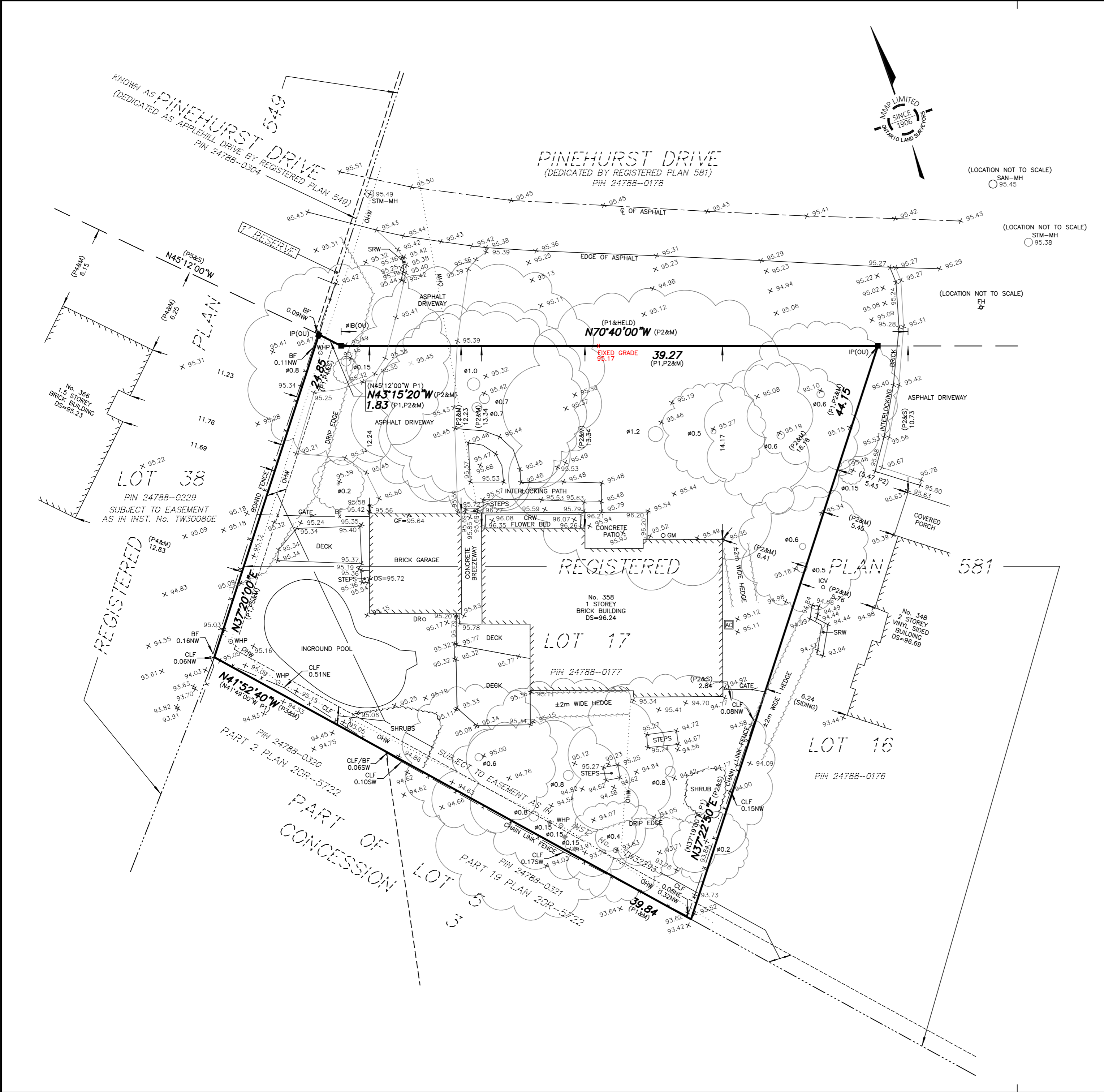
SURVEYOR'S CERTIFICATE

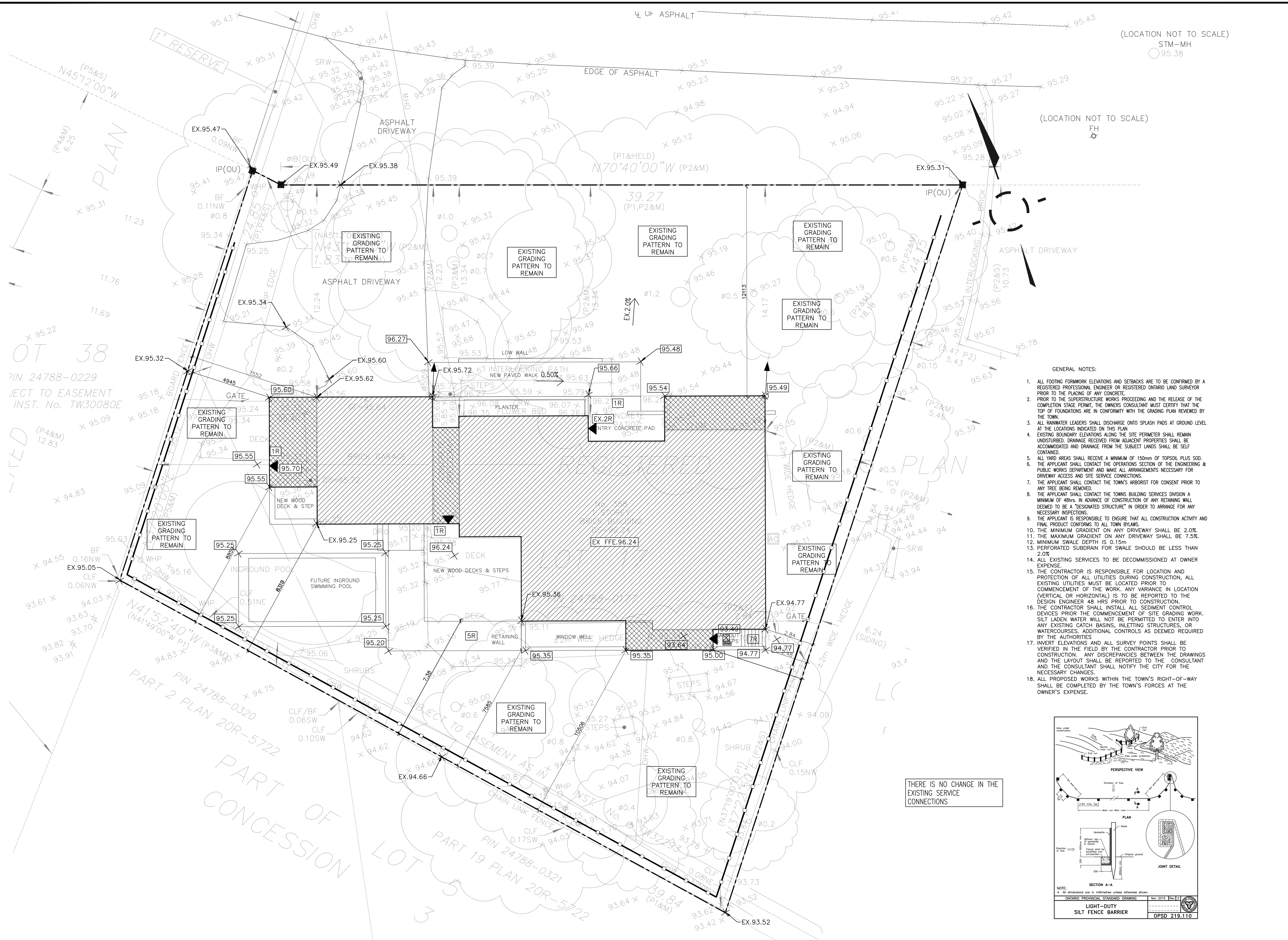
- I CERTIFY THAT:
- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
 - THE SURVEY WAS COMPLETED ON THE 22nd DAY OF DECEMBER, 2023.

JANUARY 30, 2024
 DATE

ROY C. MAYO
 ONTARIO LAND SURVEYOR
 FOR MACKAY, MACKAY & PETERS LIMITED

 MackKAY, MackKAY & Peters Limited LAND SURVEYORS & MAPPERS SINCE 1906	3380 South Service Road Unit 101 Burlington, ON L7N 3J5 (905) 639-1375	DRAWN BY: G.S.
	halton@mmplimited.com mmplimited.com	PARTY CHIEF: W.Y.
		CHECKED BY:
		PROJECT No.: 23-293





(LOCATION NOT TO SCALE)

(LOCATION NOT TO SCALE)

KEY MAP NOT TO SCALE

ADDRESS: 358 PINEHURST DRIVE, OAKVILLE ONTARIO

LEGEND

- 287.75 EXISTING ELEVATION
- 289.75 PROPOSED ELEVATION
- EX.FFE EXISTING FINISHED FIRST FLOOR ELEVATION
- PROPERTY LINE
- SILT FENCE
- ROOF DOWNSPOUTS & SPLASH PAD

GENERAL NOTES:

1. ALL FOOTING FORMWORK ELEVATIONS AND SETBACKS ARE TO BE CONFIRMED BY A REGISTERED PROFESSIONAL ENGINEER OR REGISTERED ONTARIO LAND SURVEYOR PRIOR TO THE PLACING OF ANY CONCRETE.
2. PRIOR TO THE SUPERSTRUCTURE WORKS PROCEEDING AND THE RELEASE OF THE COMPLETION STAGE PERMIT, THE OWNERS CONSULTANT MUST CERTIFY THAT THE TOP OF FOUNDATIONS ARE IN CONFORMITY WITH THE GRADING PLAN REVIEWED BY THE TOWN.
3. ALL RAINWATER LEADERS SHALL DISCHARGE ONTO SPLASH PADS AT GROUND LEVEL AT THE LOCATIONS INDICATED ON THIS PLAN.
4. EXISTING BOUNDARY ELEVATIONS ALONG THE SITE PERIMETER SHALL REMAIN UNDISTURBED. DRAINAGE RECEIVED FROM ADJACENT PROPERTIES SHALL BE ACCOMMODATED AND DRAINAGE FROM THE SUBJECT LANDS SHALL BE SELF CONTAINED.
5. ALL YARD AREAS SHALL RECEIVE A MINIMUM OF 150mm OF TOPSOIL PLUS SOD.
6. THE APPLICANT SHALL CONTACT THE OPERATIONS SECTION OF THE ENGINEERING & PUBLIC WORKS DEPARTMENT AND MAKE ALL ARRANGEMENTS NECESSARY FOR DRIVEWAY ACCESS AND SITE SERVICE CONNECTIONS.
7. THE APPLICANT SHALL CONTACT THE TOWN'S ARBORIST FOR CONSENT PRIOR TO ANY TREE BEING REMOVED.
8. THE APPLICANT SHALL CONTACT THE TOWN'S BUILDING SERVICES DIVISION A MINIMUM OF 48hrs. IN ADVANCE OF CONSTRUCTION OF ANY RETAINING WALL DEEMED TO BE A "DESIGNATED STRUCTURE" IN ORDER TO ARRANGE FOR ANY NECESSARY INSPECTIONS.
9. THE APPLICANT IS RESPONSIBLE TO ENSURE THAT ALL CONSTRUCTION ACTIVITY AND FINAL PRODUCT CONFORMS TO ALL TOWN BYLAWS.
10. THE MINIMUM GRADIENT ON ANY DRIVEWAY SHALL BE 2.0%.
11. THE MAXIMUM GRADIENT ON ANY DRIVEWAY SHALL BE 7.5%.
12. MINIMUM SWALE DEPTH IS 0.15m
13. PERFORATED SUBDRAIN FOR SWALE SHOULD BE LESS THAN 2.0%
14. ALL EXISTING SERVICES TO BE DECOMMISSIONED AT OWNER EXPENSE.
15. THE CONTRACTOR IS RESPONSIBLE FOR LOCATION AND PROTECTION OF ALL UTILITIES DURING CONSTRUCTION, ALL EXISTING UTILITIES MUST BE LOCATED PRIOR TO COMMENCEMENT OF THE WORK. ANY VARIANCE IN LOCATION (VERTICAL OR HORIZONTAL) IS TO BE REPORTED TO THE DESIGN ENGINEER 48 HRS PRIOR TO CONSTRUCTION.
16. THE CONTRACTOR SHALL INSTALL ALL SEDIMENT CONTROL DEVICES PRIOR TO THE COMMENCEMENT OF SITE GRADING WORK. SILT LADEN WATER WILL NOT BE PERMITTED TO ENTER INTO ANY EXISTING CATCH BASINS, INLETTING STRUCTURES, OR WATERCOURSES. ADDITIONAL CONTROLS AS DEEMED REQUIRED BY THE AUTHORITIES.
17. INVERT ELEVATIONS AND ALL SURVEY POINTS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND THE LAYOUT SHALL BE REPORTED TO THE CONSULTANT AND THE CONSULTANT SHALL NOTIFY THE CITY FOR THE NECESSARY CHANGES.
18. ALL PROPOSED WORKS WITHIN THE TOWN'S RIGHT-OF-WAY SHALL BE COMPLETED BY THE TOWN'S FORCES AT THE OWNER'S EXPENSE.

BENCHMARK NOTE
TOWN OF OAKVILLE BENCHMARK No. 32
ELEVATION = 96.089 METRES
SOUTHERLY EDGE OF SOUTHERLY CONCRETE GARAGE DOOR SILL AT No. 379 MAPLE GROVE ROAD

SURVEYOR INFORMATION
MacKay, MacKay & Peters Limited
LAND SURVEYORS & MAPPERS
1380 South Service Road
Oakville, Ont.
L6M 3R5
(905) 839-1315

BEARING REFERENCE
BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE SOUTHERLY LIMIT OF PINEHURST DRIVE AS SHOWN ON REGISTERED PLAN 581 HAVING A BEARING OF N70°40'00"W

LIST OF THE DRAWINGS

REV	DATE	REVISION	INITIAL	SIGNED

Elmid Design Inc.
13025 Yonge Street, Suite 201G,
Richmond Hill, ON, L4E1A5

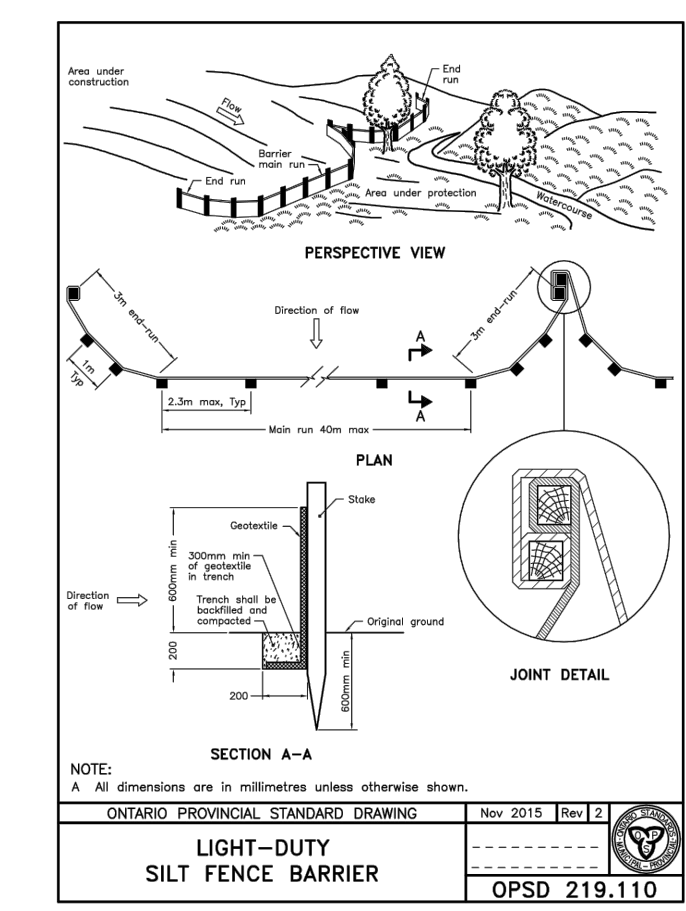
05.06.2024
H. AKBARI
1001200660
PROVINCE OF ONTARIO

PROJECT ADDRESS
358 PINEHURST DRIVE,
OAKVILLE ONTARIO

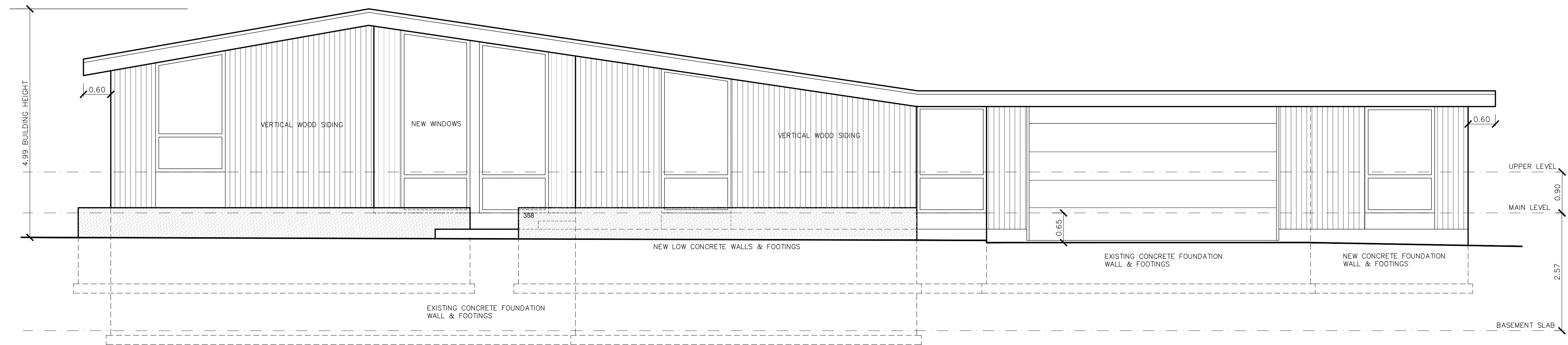
GRADING PLAN

PROPOSED NEW ADDITION

DESIGN:	E.S	DRAFTING:	E.S	CHECK:	H.A
SCALE:	1:100	DRAWING NUMBER:			
DATE:	05.06.2024				



THERE IS NO CHANGE IN THE EXISTING SERVICE CONNECTIONS



1 NORTH ELEVATION
A200

DRAWING NOTES

No	Date	Description	By
2	03 JUN/24	ISSUED FOR COA	BA
1	08 MAY/24	ISSUED FOR COA	BA

REVISIONS



This drawing is not to be used for construction until signed by the Architect.

Date	MARCH 2024
Drawn	BA
Checked	
Approved	
CAD Version	AUTOCAD 2022

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ben homes

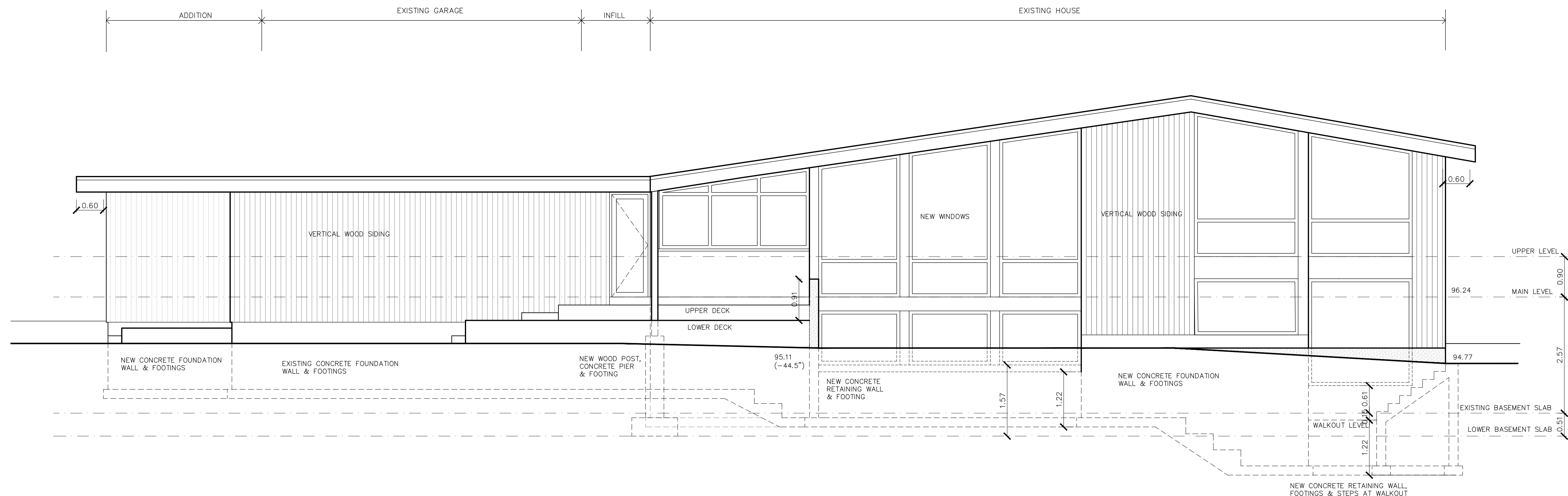
Brian Awde Architect Inc.
628 Cummer Avenue North York
Ontario M2K 2M8
Tel: (416) 226-5183 Fax: (416) 226-3266
e-mail: brianawde@sympatico.ca

Project
RESIDENCE RENOVATION
358 PINEHURST DRIVE
OAKVILLE ONTARIO

Drawing Name
PROPOSED NORTH ELEVATION

Scale 1:50 Revision No 2


Project No 23.11 Drawing No A200



1 SOUTH ELEVATION
A201

DRAWING NOTES

No	Date	Description	By
2	03 JUN/24	ISSUED FOR COA	BA
1	08 MAY/24	ISSUED FOR COA	BA

REVISIONS	
	This drawing is not to be used for construction until signed by the Architect.
	Date MARCH 2024
	Drawn BA
	Checked
	Approved
CAD Version AUTOCAD 2022	

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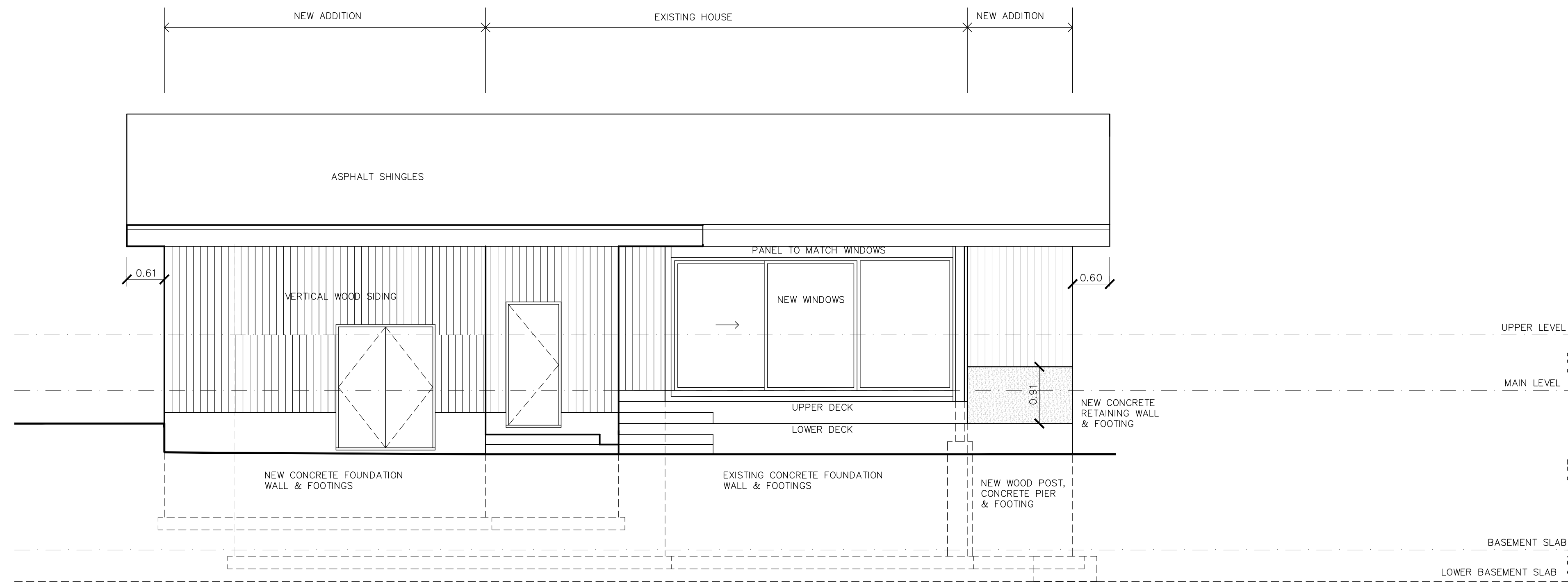
ben homes

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e-mail: brianawde@sympatico.ca

Project
RESIDENCE RENOVATION
358 PINEHURST DRIVE
OAKVILLE ONTARIO

Drawing Name
PROPOSED SOUTH ELEVATION

Scale	1:50	Revision No	2
Project No	23.11	Drawing No	A201



1 WEST ELEVATION
A202

DRAWING NOTES

No	Date	Description	By
2	03 JUN/24	ISSUED FOR COA	BA
1	08 MAY/24	ISSUED FOR COA	BA

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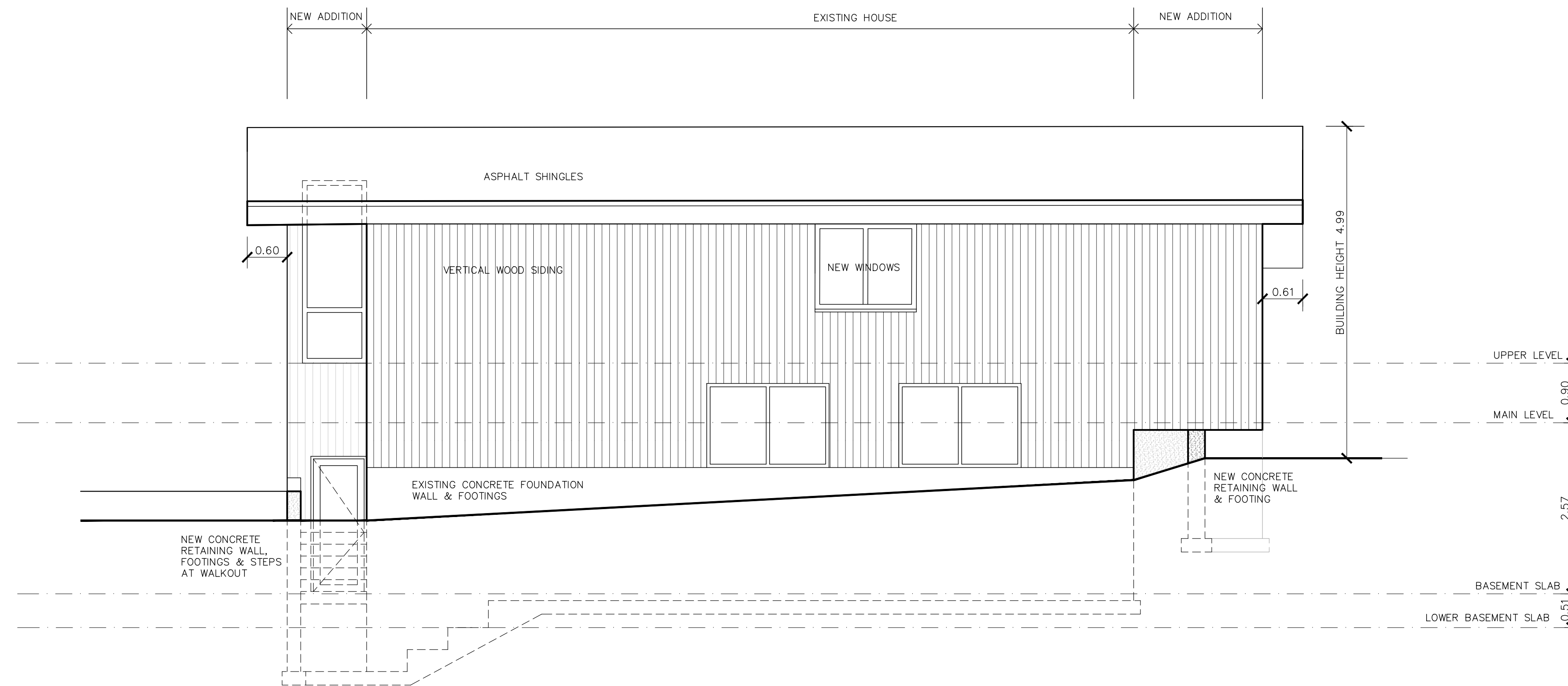
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Project
RESIDENCE RENOVATION
358 PINEHURST DRIVE
OAKVILLE ONTARIO

Drawing Name
PROPOSED WEST ELEVATION

Scale	1:50	Revision No	2
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Project No	23.11	Drawing No	A202
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1 EAST ELEVATION
A203

DRAWING NOTES

No	Date	Description	By
2	03 JUN/24	ISSUED FOR COA	BA
1	08 MAY/24	ISSUED FOR COA	BA

REVISIONS



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Approved	
CAD Version	AUTOCAD 2022

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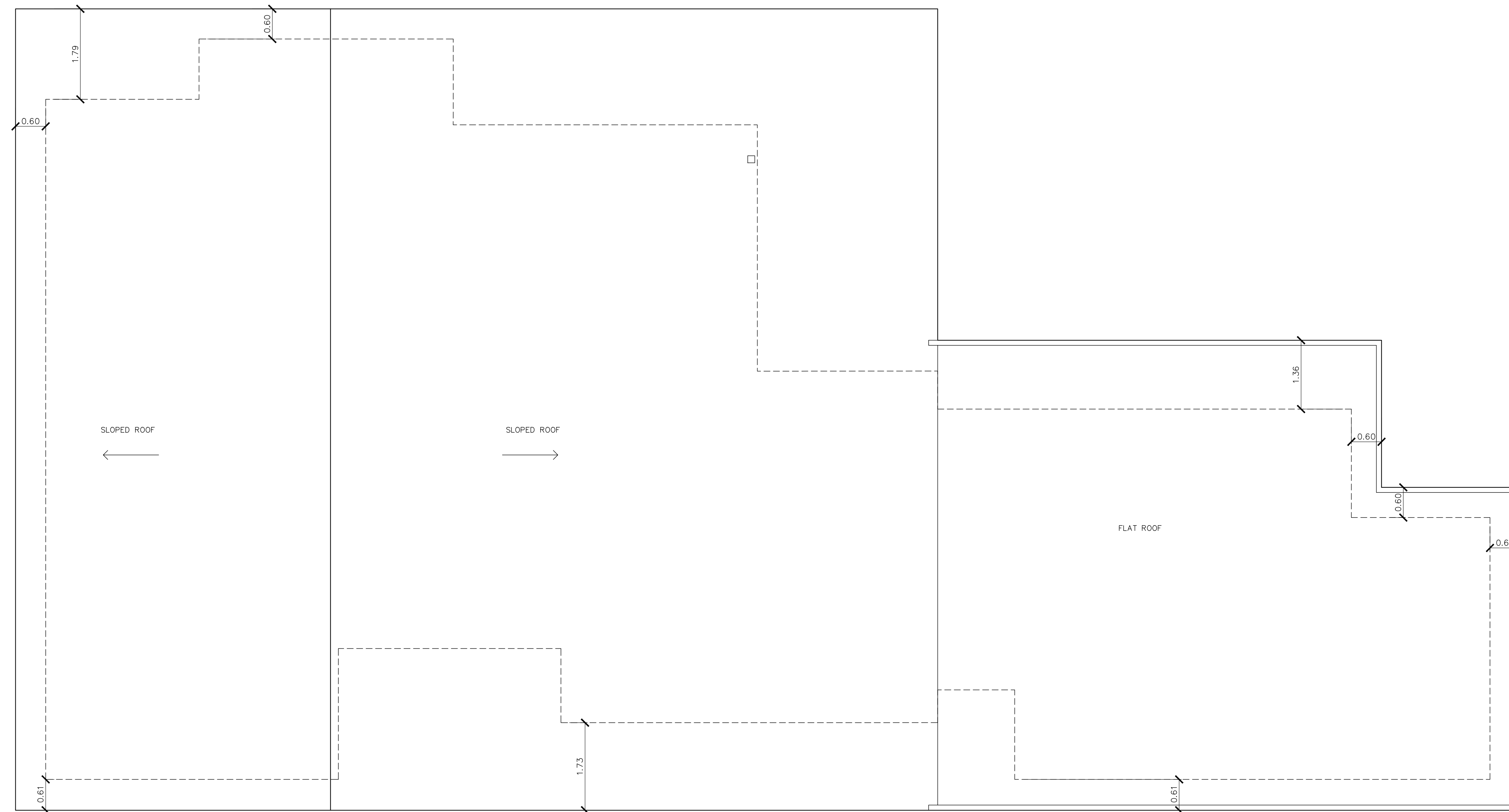
Brian Awde Architect Inc.
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Tel: (416) 226-5183 Fax: (416) 226-3266
e-mail: brianawde@sympatico.ca

Project
RESIDENCE RENOVATION
358 PINEHURST DRIVE
OAKVILLE ONTARIO

Drawing Name
PROPOSED EAST ELEVATION

Scale 1:50 Revision No 2

Project No 23.11 Drawing No A203



1
A302 ROOF PLAN

DRAWING NOTES

No	Date	Description	By
2	03 JUN/24	ISSUED FOR COA	BA
1	08 MAY/24	ISSUED FOR COA	BA

REVISIONS

	This drawing is not to be used for construction until signed by the Architect.	
	Date	APRIL 2024
	Drawn	
	Checked	
	Approved	
CAD Version		AUTOCAD 2022

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 e-mail: brianawde@sympatico.ca

Project
RESIDENCE RENOVATION
 358 PINEHURST DRIVE
 OAKVILLE ONTARIO

Drawing Name
PROPOSED ROOF PLAN

Scale	1:50	Revision No	2
Project No	23.11	Drawing No	A302



Arborist Report and Tree Preservation Plan for:

358 Pinehurst Dr.
Oakville, ON

Prepared for:

Ben Homes
4325 Harvester Rd.
Unit 17
Burlington, ON
L7L 5M4

Data Collected and Report Prepared by:

Gillies Cunningham ON-0378AT
496 Pettit Trail
Milton, ON
L9T 6N9
(905) 827-9103
gillies@arborcorp.ca

9 May 2024



Table of Contents

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Background Information

This report has been prepared in preparation for the application for a building permit in the Town of Oakville. The Arborcorp Tree Experts have been retained to provide an inventory of the existing trees, to give an overview of their current state of health and structure and to monitor the trees condition throughout the construction process. At the time of this inspection no construction activities had been started on this property. This report summarizes our findings and recommendations.

Methodology

The tree inventory and assessment was conducted on 14 April 2024. There are thirty seven (37) trees included in this report. The existing trees have been numbered and identified on the site plan provided by Ben Homes. Each tree was assigned a unique number and detailed data was collected.

A preservation priority rating was assigned to each tree based on its current health and structure. Typically, under existing conditions, trees having a high or moderate preservation priority rating are recommended for preservation, and those with a low rating are recommended for removal. Recommendations were assigned to preserve or remove each tree based on its current health and/or structure, and the expected impact from the proposed development. A final recommendation has been made of each tree that takes into account the tree's current biological health, structural condition, and the anticipated development impacts.

The scope of this report involves the identification of the existing trees on the property and to identify tree protection methods throughout the construction process.

Tree valuations for the municipal trees were calculated using the Replacement Cost Method as described in the Guide to Plant Appraisal 9th Edition. Species ratings were determined from the Ontario Supplement of this text.

Municipal Trees

There are three (3) municipal trees included in this report.

Tree number one (1) is an 8cm dbh American Beech that is located at 366 Pinehurst Dr. This tree is in fair condition and protective measures have been recommended.

Tree number two (2) is a 67cm dbh American Beech that is located at 366 Pinehurst Dr. This tree is in good condition and protective measures have been recommended.

Tree number three (3) is a 27cm dbh Red Maple that is located at 366 Pinehurst Dr. This tree is in good condition and protective measures have been recommended.

Additional information on this tree can be found in Appendix 1, and a valuation can be found in Appendix 6.



Neighbouring Trees

There are fifteen (15) neighbouring trees within 6m of the property line.

Tree number five (5) is an approximate 20cm dbh White Pine that is located on the south side of the property at 366 Pinehurst Dr. This tree is in good condition and protective measures have been recommended.

Tree number six (6) is an approximate 35cm dbh Poplar that is located on the south side of the property at 366 Pinehurst Dr. This tree is in good condition and protective measures have been recommended.

Tree number seven (7) is an approximate 18cm dbh American Beech that is located on the south side of the property at 366 Pinehurst Dr. This tree is in good condition and protective measures have been recommended.

Tree number eight (8) is an approximate 30/8cm dbh split stem Red Maple (adjusted dbh of 32cm) that is located on the south side of the property at 366 Pinehurst Dr. This tree is in good condition and protective measures have been recommended.

Tree number nine (9) is an approximate 90cm dbh Red Oak that is located on the south side of the property at 366 Pinehurst Dr. This tree is in good condition and protective measures have been recommended.

Tree number eleven (11) is an approximate 15cm dbh Hemlock that is located on the south side of the property at 366 Pinehurst Dr. This tree is in good condition and protective measures have been recommended.

Tree number twelve (12) is an approximate 18cm dbh Hemlock that is located on the south side of the property at 366 Pinehurst Dr. This tree is in good condition and protective measures have been recommended.

Tree number thirteen (13) is an approximate 18cm dbh Red Oak that is located on the south side of the property at 366 Pinehurst Dr. This tree is in good condition and protective measures have been recommended.

Tree number fourteen (14) is an approximate 18/10cm dbh split stem Hemlock (adjusted dbh of 21cm) that is located on the south side of the property at 366 Pinehurst Dr. This tree is in good condition and protective measures have been recommended.

Tree number fifteen (15) is an approximate 15cm dbh Apple that is located on the south east side of the property at 355 Balboa Crt. This tree is in poor condition and protective measures have been recommended.

Tree number sixteen (16) is an approximate 30cm dbh Choke Cherry that is located on the south east side of the property at 355 Balboa Crt. This tree is in poor condition and protective measures have been recommended.

Tree number seventeen (17) is an approximate 18cm dbh Black Walnut that is located on the east side of the property at 355 Balboa Crt. This tree is in good condition and protective measures have been recommended.

Tree number eighteen (18) is an approximate 30cm dbh Austrian Pine that is located on the east side of the property at 355 Balboa Crt. This tree is in fair condition and protective measures have been recommended.

Tree number twenty (20) is an approximate 18/8cm dbh split stem Manitoba Maple (adjusted dbh of 21cm) that is located on the east side of the property at 351 Balboa Crt. This tree is in good condition and protective measures have been recommended.



Tree number twenty eight (28) is an approximate 5-8cm dbh Cedar Hedge that is located on the north side of the property at 348 Pinehurst Dr. This tree is in good condition and protective measures have been recommended.

Additional information on these trees can be found in Appendix 1.

Observations

There are nineteen (19) privately owned trees on this property.

Tree number four (4) is a 53 cm dbh American Beech that is located on the south side of the property. This tree is in good condition and protective measures have been recommended.

Tree number ten (10) is a 16cm dbh American Beech located on the south east side of the property. This tree is in good and protective measures have been recommended.

Tree number nineteen (19) is a 42cm dbh White Birch located on the east side of the property. This tree is in good condition and protective measures have been recommended.

Tree number twenty one (21) is a 65cm dbh Black Oak located on the east side of the property. This tree is in good condition and protective measures have been recommended.

Tree number twenty two (22) is a 16cm dbh Hemlock located on the east side of the property. This tree is in good condition and protective measures have been recommended.

Tree number twenty three (23) is a 16cm dbh Hemlock located on the east side of the property. This tree is in good condition and protective measures have been recommended.

Tree number twenty four (24) is a 54cm dbh American Beech located on the south east side of the property. This tree is in good and protective measures have been recommended.

Tree number twenty five (25) is a 31cm dbh Choke Cherry located on the south east side of the property. This tree is in good and protective measures have been recommended.

Tree number twenty six (26) is a 61cm dbh American Beech located on the south east side of the property. This tree is in good and protective measures have been recommended.

Tree number twenty seven (27) is a 19cm dbh Red Maple located on the northwest side of the property. This tree is in good and protective measures have been recommended.

Tree number twenty nine (29) is a 27cm dbh Green Ash located on the north side of the property. This tree is in poor and protective measures have been recommended.

Tree number thirty (30) is an 18/16/12cm dbh multi stem Mulberry (adjusted dbh 27) located on the north side of the property. This tree is in good and protective measures have been recommended.



Tree number thirty one (31) is a 55cm dbh American Beech located on the north side of the property. This tree is in good and protective measures have been recommended.

Tree number thirty two (32) is a 55cm dbh American Beech located on the west side of the property. This tree is in good and protective measures have been recommended.

Tree number thirty three (33) is a 42cm dbh American Beech located on the west side of the property. This tree is in good and protective measures have been recommended.

Tree number thirty four (34) is a 105cm dbh Red Oak located on the west side of the property. This tree is in fair and protective measures have been recommended.

Tree number thirty five (35) is a 73cm dbh American Beech located on the west side of the property. This tree is in good and protective measures have been recommended.

Tree number thirty six (36) is a 47cm dbh American Beech located on the west side of the property. This tree is in good and protective measures have been recommended.

Tree number thirty seven (37) is a 41cm dbh American Beech located on the west side of the property. This tree is in good and protective measures have been recommended.

Additional information on these trees can be found in Appendix 1.



Tree Protection Recommendations

The Following recommendations shall serve as guidelines for specific trees. These recommendations are intended to protect specific trees throughout the construction process. Protective tree hoarding shall be constructed according to Town of Oakville specifications and will consist of orange snow fencing with two by four frame top and bottom. The Arborcorp Tree Experts have been retained to ensure that all tree protection measures are being followed.

Tree number one (1) through thirty seven (37) shall have protective tree hoarding erected on the subject property as a one piece unit adhering to the guidelines set out in Appendix 1. Where necessary the hoarding can be installed up against any existing hard edged surface.

Trees number twenty four (24) twenty six (26) and thirty one (31) through thirty four (34) shall have horizontal root protection installed by way of a 4'x8' plywood sheet placed lengthwise between the trunk and limit of excavation on top of a 10cm depth layer of mulch to allow for the construction access route. Trees should be watered frequently during construction.

The Arborcorp Tree Experts have been retained to ensure that all tree protection measures are being followed

Owner's Name _____ Signature (to acknowledge) _____ Date _____

In addition to these specific recommendations all of the guidelines indicated in Appendix 4 shall be adhered to throughout the construction process. The Arborcorp Tree Experts have been retained to complete all required arboricultural actions.

Conclusions

There are thirty seven (37) trees associated with this property, zero (0) of which will be affected by the proposed construction. There are three (3) municipal tree associated with this project. Tree preservation recommendations have been made for all trees affected by the proposed construction. Tree removals shall be carried out in accordance with the Town of Oakville's Private Tree Protection By-Law.



Appendix 1 Detailed Tree Data Graph

Tree No.	Tree Species	Latin Name	Municipal Address	DBH (cm)	Height (m)	Crown Reserve (m)	Crown Height (m)	Biological Health	Structural Health	Minimum Condition	Municipal Tree	Recommendation Based on Health & Structure	Recommendation Based on Development Impact	Final Recommendation	
1	Beech American	<i>Fragus grandifolia</i>	366	8	3	2	2	F	P	1.8	Y	P	P	P	ESTIMATED
2	Beech American	<i>Fragus grandifolia</i>	366	67	23	19	18	G	F	4.2	Y	P	P	P	ESTIMATED
3	Maple Red (soft maple)	<i>Acer rubrum</i>	366	27	23	18	7	G	F	2.4	Y	P	P	P	ESTIMATED
4	Beech American	<i>Fragus grandifolia</i>	358	53	23	13	16	G	F	3.6	N	P	P	P	
5	Pine Eastern White	<i>Pinus strobus</i>	366	20	15	5	10	G	G	2.4	N	P	P	P	ESTIMATED
6	Poplar lombardy	<i>Populus nigra "Italica"</i>	366	35	25	8	15	G	G	3	N	P	P	P	ESTIMATED
7	Beech American	<i>Fragus grandifolia</i>	366	18	7	4	4	G	F	2.4	N	P	P	P	ESTIMATED
8	Maple Red (soft maple)	<i>Acer rubrum</i>	366	32	15	10	11	G	G	3	N	P	P	P	ESTIMATED, ADJUSTED DBH
9	Oak Red	<i>Quercus rubra</i>	366	90	23	19	19	G	G	5.4	N	P	P	P	ESTIMATED
10	Beech American	<i>Fragus grandifolia</i>	358	16	10	6	8	G	G	2.4	N	P	P	P	
11	Hemlock Eastern	<i>Tsuga canadensis</i>	366	15	7	6	7	G	G	2.4	N	P	P	P	ESTIMATED
12	Hemlock Eastern	<i>Tsuga canadensis</i>	366	18	7	6	7	G	G	2.4	N	P	P	P	ESTIMATED
13	Oak Red	<i>Quercus rubra</i>	366	18	15	5	11	G	G	2.4	N	P	P	P	ESTIMATED
14	Hemlock Eastern	<i>Tsuga canadensis</i>	366	21	7	6	7	G	G	2.4	N	P	P	P	ESTIMATED, ADJUSTED DBH
15	Apple	<i>Malus spp.</i>	355 Balboa Ct	15	3	2	1	P	P	2.4	N	P	P	P	ESTIMATED
16	Cherry Choke	<i>Prunus virginiana</i>	355 Balboa Ct	30	4	1	1	P	P	2.4	N	P	P	P	ESTIMATED
17	Walnut Black	<i>Juglans nigra</i>	355 Balboa Ct	18	17	5	13	G	G	2.4	N	P	P	P	ESTIMATED
18	Pine Austrian	<i>Pinus nigra</i>	355 Balboa Ct	30	16	7	14	F	P	2.4	N	P	P	P	ESTIMATED
19	Birch European White	<i>Betula pendula</i>	358	42	20	18	17	F	P	3	N	P	P	P	
20	Maple Manitoba	<i>Acer negundo</i>	351 Balboa Ct	21	10	10	8	G	P	2.4	N	P	P	P	ESTIMATED, ADJUSTED DBH
21	Oak Black	<i>Quercus velutina</i>	358	65	21	19	18	G	G	4.2	N	P	P	P	
22	Hemlock Eastern	<i>Tsuga canadensis</i>	358	16	9	5	8	G	G	2.4	N	P	P	P	
23	Hemlock Eastern	<i>Tsuga canadensis</i>	358	16	9	5	8	G	G	2.4	N	P	P	P	
24	Beech American	<i>Fragus grandifolia</i>	358	54	24	18	20	G	G	3.6	N	P	P	P	
25	Cherry Choke	<i>Prunus virginiana</i>	358	31	19	10	15	G	G	3	N	P	P	P	
26	Beech American	<i>Fragus grandifolia</i>	358	61	23	21	19	G	F	4.2	N	P	P	P	
27	Maple Red (soft maple)	<i>Acer rubrum</i>	358	19	11	5	9	G	F	2.4	N	P	P	P	
28	Cedar White	<i>Thuja occidentalis</i>	348	5-8	4	1	4	G	G	1.8	N	P	P	P	ESTIMATED
29	Ash Green	<i>Fraxinus pennsylvanica</i>	358	27	20	9	18	P	P	2.4	N	P	P	P	
30	Mulberry White	<i>Morus alba</i>	358	27	6	8	5	G	P	2.4	N	P	P	P	ADJUSTED DBH
31	Beech American	<i>Fragus grandifolia</i>	358	55	22	16	18	G	G	3.6	N	P	P	P	
32	Beech American	<i>Fragus grandifolia</i>	358	55	20	14	16	G	F	3.6	N	P	P	P	
33	Beech American	<i>Fragus grandifolia</i>	358	42	17	12	13	G	F	3	N	P	P	P	
34	Oak Red	<i>Quercus rubra</i>	358	105	26	20	19	F	G	6.3	N	P	P	P	
35	Beech American	<i>Fragus grandifolia</i>	358	73	26	13	21	G	G	4.8	N	P	P	P	
36	Beech American	<i>Fragus grandifolia</i>	358	47	25	12	20	G	F	3	N	P	P	P	
37	Beech American	<i>Fragus grandifolia</i>	358	41	23	12	18	G	F	3	N	P	P	P	

Trees highlighted in blue are municipally owned
 Trees highlighted in red are recommended for removal

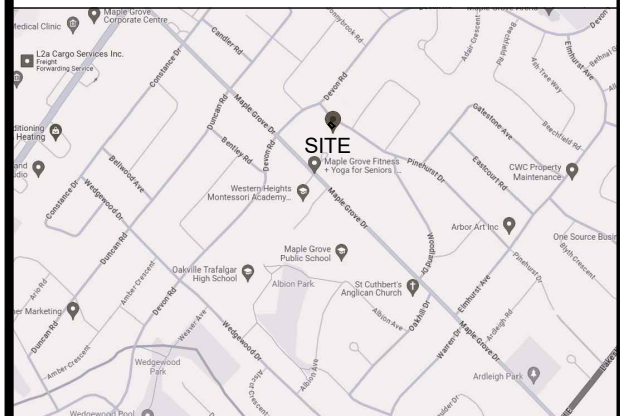
PINEHURST DRIVE
(DEDICATED BY REGISTERED PLAN 581)
PIN 24788-0178

(LOCATION NOT TO SCALE)
SAN-MH

DRAWING NOTES
SURVEY INFORMATION TAKEN FROM SURVEYOR'S REAL PROPERTY REPORT, PART 1 PLAN OF SURVEY SHOWING TOPOGRAPHY OF LOT 17, REGISTERED PLAN 581, IN THE TOWN OF OAKVILLE, REGIONAL MUNICIPALITY OF HALTON, BY MCKAY MCKAY & PETERS LIMITED, ONTARIO LAND SURVEYORS, DATED 30 JANUARY 2024.

SITE STATISTICS

ZONING	RL1
LOT AREA	1334.28 M ² (14,362 SF)
EXISTING BUILDING	232.25 M ² (2500 SF)
ADDITIONS	40.79 M ² (439 SF)
TOTAL FOOTPRINT	273.04 M ² (2939 SF)
LOT COVERAGE	20.46%
GROSS FLOOR AREA	273.04 M ² (2939 SF)
FLOOR AREA RATIO	20.46%



KEY PLAN
NTS

No	Date	Description	By
5	03 JUN/24	REISSUED FOR COA	BA
4	13 MAY/24	DIMENSIONS ADDED	BA
3	08 MAY/24	ISSUED FOR COA	BA
2	05 MAY/24	TREE INFO ADDED	BA
1	22 APR/24	ISSUED FOR REVIEW	BA

REVISIONS

No	Date	Description	By
5	03 JUN/24	REISSUED FOR COA	BA
4	13 MAY/24	DIMENSIONS ADDED	BA
3	08 MAY/24	ISSUED FOR COA	BA
2	05 MAY/24	TREE INFO ADDED	BA
1	22 APR/24	ISSUED FOR REVIEW	BA

These drawings shall not be scaled. The Contractor shall verify all dimensions, datums, and levels prior to beginning the Work. All errors and omissions to be reported immediately to the Architect. Variations and modifications to work shown on this drawing shall not be carried out without the written consent of the Architect. This drawing is the exclusive property of the Architect and shall not be reproduced without the Architect's

ben homes

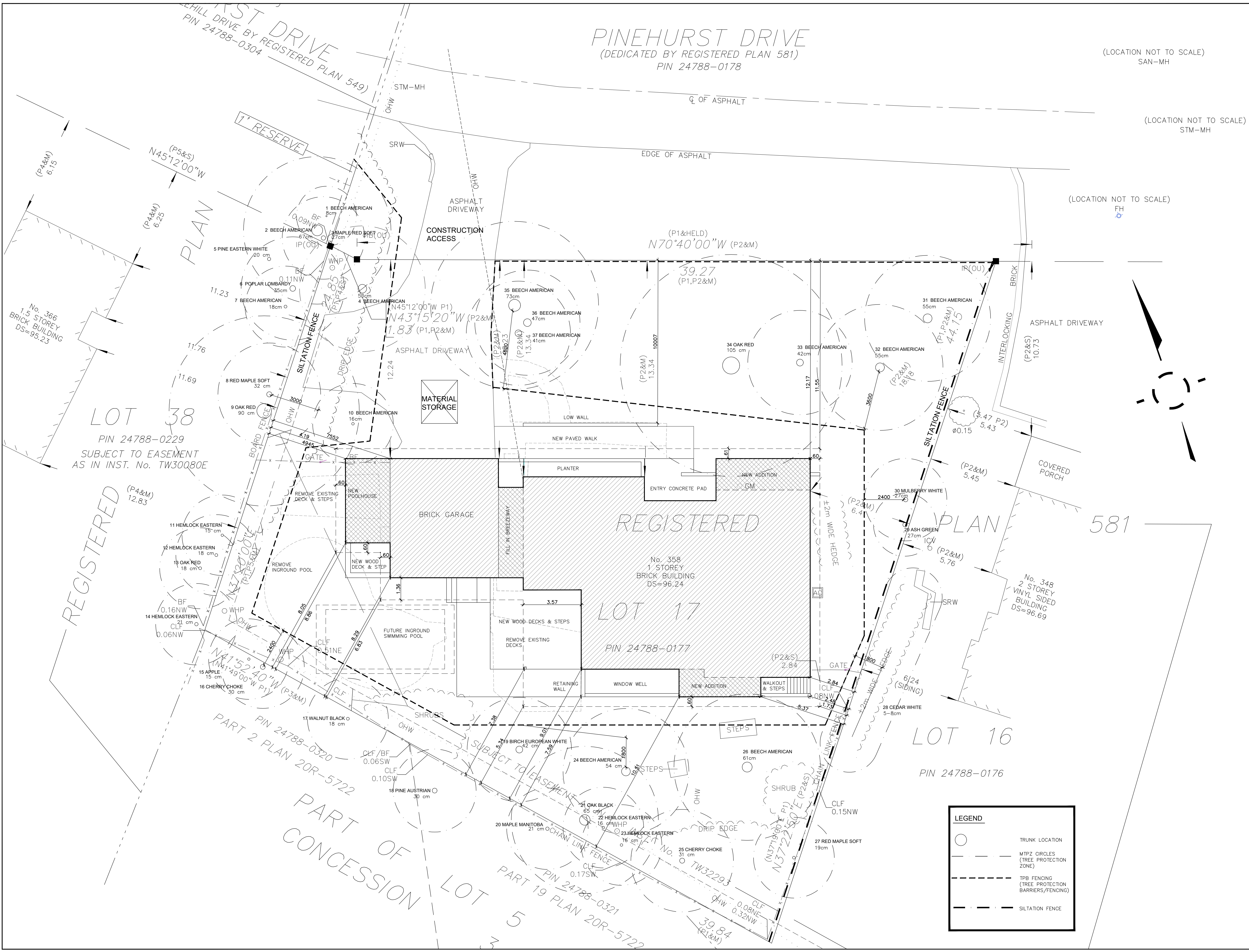
Brian Awde Architect Inc.
628 Cummer Avenue North York
Ontario M2K 2M8
Tel: (416) 580-3813 Fax: (416) 226-3266
e-mail: brianawde@sympatico.ca

RESIDENCE RENOVATION

358 PINEHURST DRIVE
OAKVILLE ONTARIO

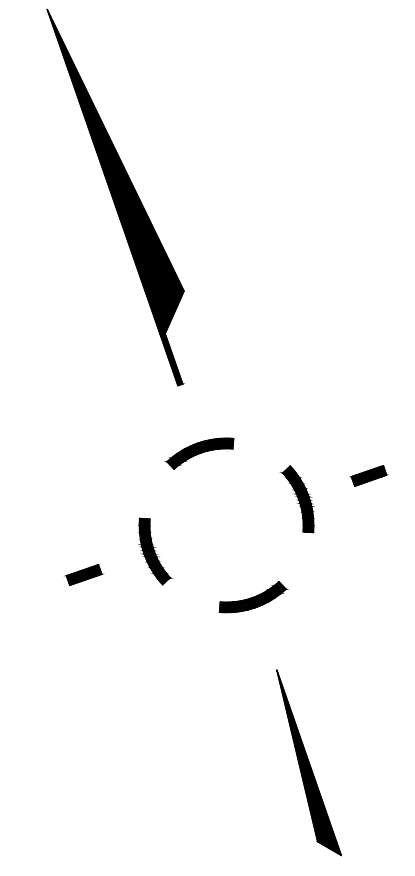
Drawing Name:
SITE PLAN

Scale	1:100	Revision No	5
Project No	23.11	Drawing No	A100



LEGEND

	TRUNK LOCATION
	MTPZ CIRCLES (TREE PROTECTION ZONE)
	TPB FENCING (TREE PROTECTION BARRIERS/FENCING)
	SILTATION FENCE



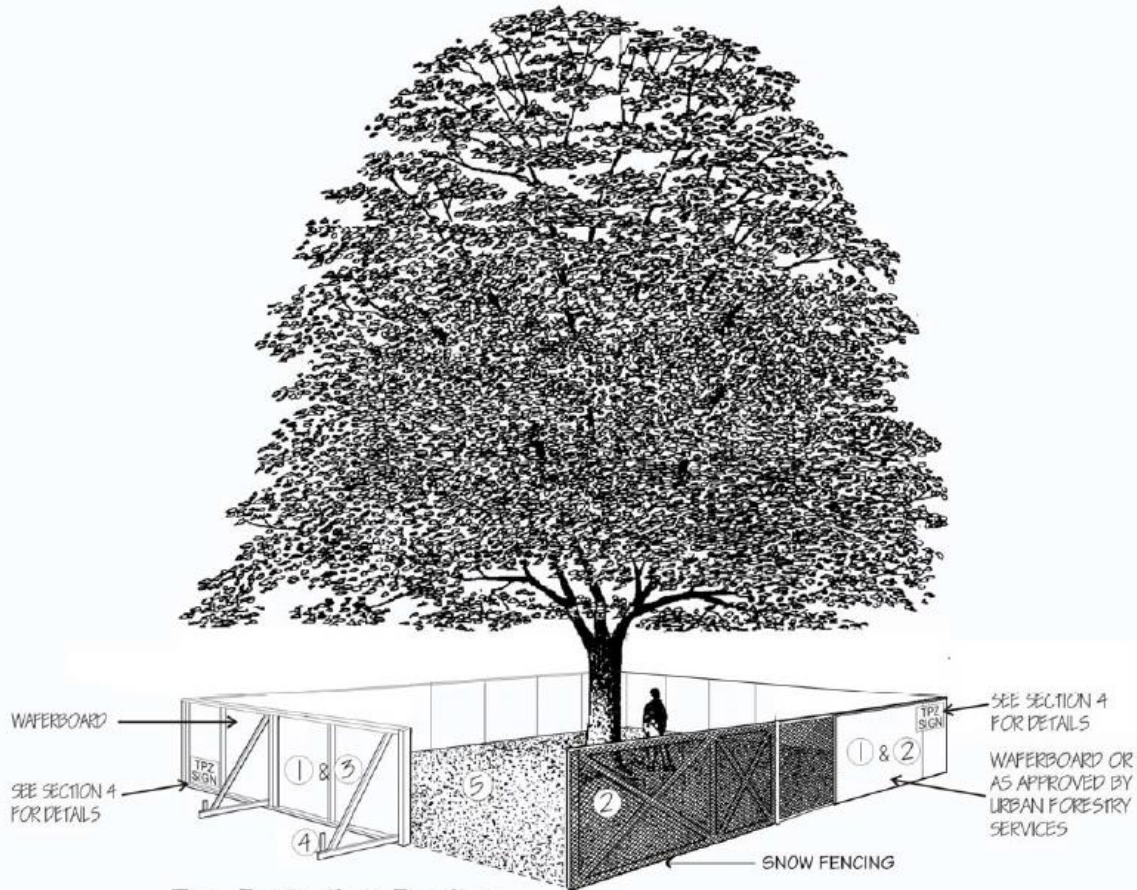


Appendix 3 Tree Inventory Methodology

DBH (cm)	Diameter at breast height, 1.4m above ground, measured in centimeters.
Height (m)	Height of tree from ground to top of crown.
Crown Reserve (m)	Crown diameter (tree's canopy) measured at intervals of 1, 3, 5, 7.5, 10, 15 meters.
Biological Health	<p>Related to presence and extent of disease/disease symptoms and the vigour of the tree.</p> <p>G (Good) - No disease or disease symptoms present, moderate to high vigour.</p> <p>F (Fair) - Presence of minor diseases/disease symptoms, and/or moderate vigour.</p> <p>P (Poor) - Presence of diseases/disease symptoms, and/or severely poor vigour.</p>
Structure Condition	<p>Related to defects in a tree's structure, (i.e., lean, co dominant stems).</p> <p>G (Good) - No structural defects, well-developed crown.</p> <p>F (Fair) - Presence of minor structural defects.</p> <p>P (Poor) - Presence of major structural defects.</p>
Position on Site	AP—above ground planter; ED - edge of forest or woodland; IN— interior of forest or woodland; HR - hedgerow, or group of trees in a line; OG-open grown; PI - planting island.
Preservation Priority	<p>A rating of each tree's projected survival related to existing conditions.</p> <p>1 (high) - high to moderate biological health, and well developed crown. Well suited as a shade tree of screen planting. Will survive existing conditions indefinitely.</p> <p>2 (moderate) - one or more moderate to severe defects in biological health and/or structural condition. Marginally suited as a shade tree or screen planting. Can survive at least 3 - 5 years under existing conditions. This category also includes stock planted within past 2 years that is not yet established.</p> <p>3 (low) - low biological health and/or severely damaged/defective structural condition, and/or unsuitable for urban uses. If biologically defective, survival for more than 1 - 3 years under existing conditions is unlikely.</p>
Municipal tree	Tree is located on the property of the local municipality/town. Y = Municipal tree.
Site Dev. Impact	Impact to tree is anticipated from proposed development at or near the tree, and/or grade changes (cut/fill) of which the tree is not likely to survive.
Rec. Action	<p>A recommendation to preserve or remove a tree based on i) anticipated impacts from proposed development, ii) the tree's current biological health and structural condition, and iii) having a moderate to high hazard potential.</p> <p>P (preserve) - tree having moderate to high biological health and moderate to low structural defects. Tree is likely to survive at least 3-5 years.</p> <p>R (remove) - tree having low biological health and/or severe structural defects, and is not likely to survive more than 1-3 years, and/or will not survive proposed development.</p> <p>C (conditional) - tree's preservation or removal is related to potential relocation/modification of the limit of construction, and/or known treatments that will likely improve the biological health and/or structural condition of the tree. May require review of tree's condition, e.g., roots, at time of construction/excavation. Also applies to trees that may require further or regular evaluation.</p>
Action Priority	A rating which relates to the urgency of treatment(s). H - high (immediate), M - moderate (within 2 years), L - low (little or no action required)



Appendix 4 Tree Protection Barriers



Tree Protection Barriers

PLYWOOD

- ① Tree protection barriers must be 1.2m (4ft) high, waferboard hoarding or an equivalent approved by Urban Forestry Services.
- ② Tree protection barriers for trees situated on the Town road allowance where visibility must be maintained can be 1.2m (4ft.) high and consist of plastic web snow fencing on a wood frame made of 2"x 4"s .
- ③ Where some excavate or fill has to be temporarily located near a tree protection barrier, plywood must be used to ensure no material enters the Tree Protection Zone.
- ④ All supports and bracing should be outside the Tree Protection Zone. All such supports should minimize damaging roots outside the Tree Protection Barrier.
- ⑤ No construction activity, grade changes, surface treatment or excavations of any kind is permitted within the Tree Protection Zone.



Appendix 5 Municipal Tree Photo(s)

Tree #1



Tree #2 & 3






Appendix 6 Appraisal Calculations


Tree Number	Tree Species	Diameter of Appraised Tree (cm)	Area Of Appraised Tree (cm)	Diameter of Replacement Tree (cm)	Area of the Replacement Tree (cm)	Cost of Replacement Tree	Basic Price	Species Rating	Basic Value	Location Rating	Conditions Rating	Appraised Value
1	American Beech	8	50.24	6	28.26	410	14.508139	70.00%	633.22222	80.00%	80.00%	\$405.26
2	American Beech	67	3523.865	6	28.26	410	14.508139	70.00%	35910.306	80.00%	80.00%	\$22,982.60
3	Red Maple	27	572.265	6	28.26	235	8.3156405	66.00%	3220.675	80.00%	80.00%	\$2,061.23







Appendix 7 Staff Credentials and Qualifications




The International Society of Arboriculture
Hereby Announces That
Gillies Cunningham
Has Earned the Credential
ISA Certified Arborist®
By successfully meeting ISA Certified Arborist certification requirements through demonstrated attainment of relevant competencies as supported by the ISA Credentialing Council


Caitlyn Polihan
CEO & Executive Director


5 April 1997	30 June 2024	ON-0378AT
Issue Date	Expiration Date	Certification Number



The International Society of Arboriculture
Hereby Announces That
Gillies Cunningham
Has Earned the Credential
ISA Tree Risk Assessment Qualification®
By successfully meeting ISA Tree Risk Assessment Qualification certification requirements through demonstrated attainment of relevant competencies as supported by the ISA Credentialing Council


Caitlyn Polihan
CEO & Executive Director

18 November 2021	18 November 2026
Issue Date	Expiration Date





Appendix 8 Limitations of Assessment

It is the policy of Arborcorp Tree Experts Ltd. to attach the following clause regarding limitations. We do this to ensure that developers, agencies, municipalities and owners are clearly aware what is technically and professionally realistic in retaining trees.

The assessment of the trees presented in this report has been made using accepted arboricultural techniques. These include a visual examination of the above ground parts of each tree for structural defects, scars, external indications of decay such as fungal fruiting bodies, evidence of insect attack and crown dieback, discolored foliage, the condition of any visible root structures, the degree and direction of lean, the general condition of the trees and the surrounding site, and the proximity of property and people. Except where specifically noted in the report, none of the trees examined were dissected, cored, probed, or climbed, and detailed root crown examinations involving excavation were not undertaken.

Trees greater than 100 mm in DBH have been assessed for structural integrity by following the methodology in the International Society of Arboriculture's (ISA) "Evaluation of Hazard Trees in Urban Areas", Second Edition. Monetary values for trees have been determined using the Guide for Plant Appraisal 9th Edition's replacement cost method.

Notwithstanding the recommendations and conclusions made in this report, it must be realized that trees are living organisms, and their health and vigour constantly change over time. They are not immune to changes in site conditions, or seasonal variations in the weather conditions, including severe storms with high-speed winds.

While reasonable efforts have been made to ensure that the trees recommended for retention are healthy no guarantees are offered, or implied, that these trees, or any parts of them, will remain standing. It is both professionally and practically impossible to predict with absolute certainty the behavior of any single tree or group of trees or their component parts in all circumstances. Inevitably, a standing tree will always pose some risk. Most trees have the potential for failure in the event of adverse weather conditions, and this risk can only be eliminated if the tree is removed.

Although every effort has been made to ensure that this assessment is reasonably accurate, the trees should be re-assessed periodically. The assessment presented in this report is valid at the time of the inspection.

This 15 Page report was prepared by

Gillies Cunningham
Arborcorp Tree Experts
ISA Certified Arborist ON-0378AT
ISA Tree Risk Assessment Qualified