



251 North Service Rd. Suite 303. Oakville, ON. L6H 3E7

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June 20, 2024

Town of Oakville  
Committee of Adjustment  
1225 Trafalgar Rd.  
Oakville, ON. L6H OH3

Amendment to A/039/2023 & A/133-2022

Re: 401 Wedgewood Dr.

We would like to make an application to the committee of adjustment for 401 Wedgewood Dr. The variance requested is for **Lot Coverage**.

1-Request for **30.87%** (335.26m<sup>2</sup>), where the maximum Lot coverage allowed is **25%** (271.52m<sup>2</sup>) for a difference of 63.74m<sup>2</sup> (5.87% )

Where the previous approved Variance (A/039/2023) was 28.28% (307.21m<sup>2</sup>) which means that the cabana has increased by 28.05m<sup>2</sup>

Keeping in mind that the combination of the rear covered porch & cabana is 42.75m<sup>2</sup> (3.9%)

The previous approved cabana had been located on the north side of the pool and was completely enclosed by 4 walls, where the new proposed cabana is located at the rear of the property (East) and is open on 3 sides with a cantilevered roof and sheltered by two large trees. This blends the accessory building in the backyard and mimics a pergola, plus it gives privacy to both the neighbor at the rear and the pool at 401 Wedgewood Dr.

As mentioned before, most of the exceeded lot coverage is at the rear property with the cabana and porch, which is not visible from the street and does not affect the building mass.

Therefore, we are of the opinion that this increase of the cabana is minor in nature.

Attached are the drawings and a few 3D renders of the original cabana, and the proposed cabana.

I hope these are satisfactory for your review.

Please let me know if you need anything else from me.

Thank you.

A handwritten signature in black ink, appearing to read "Gerardo Castillo".

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GERARDO CASTILLO

KEYSTONE Home Designs Inc.

251 North Service Rd. W. Suite 303

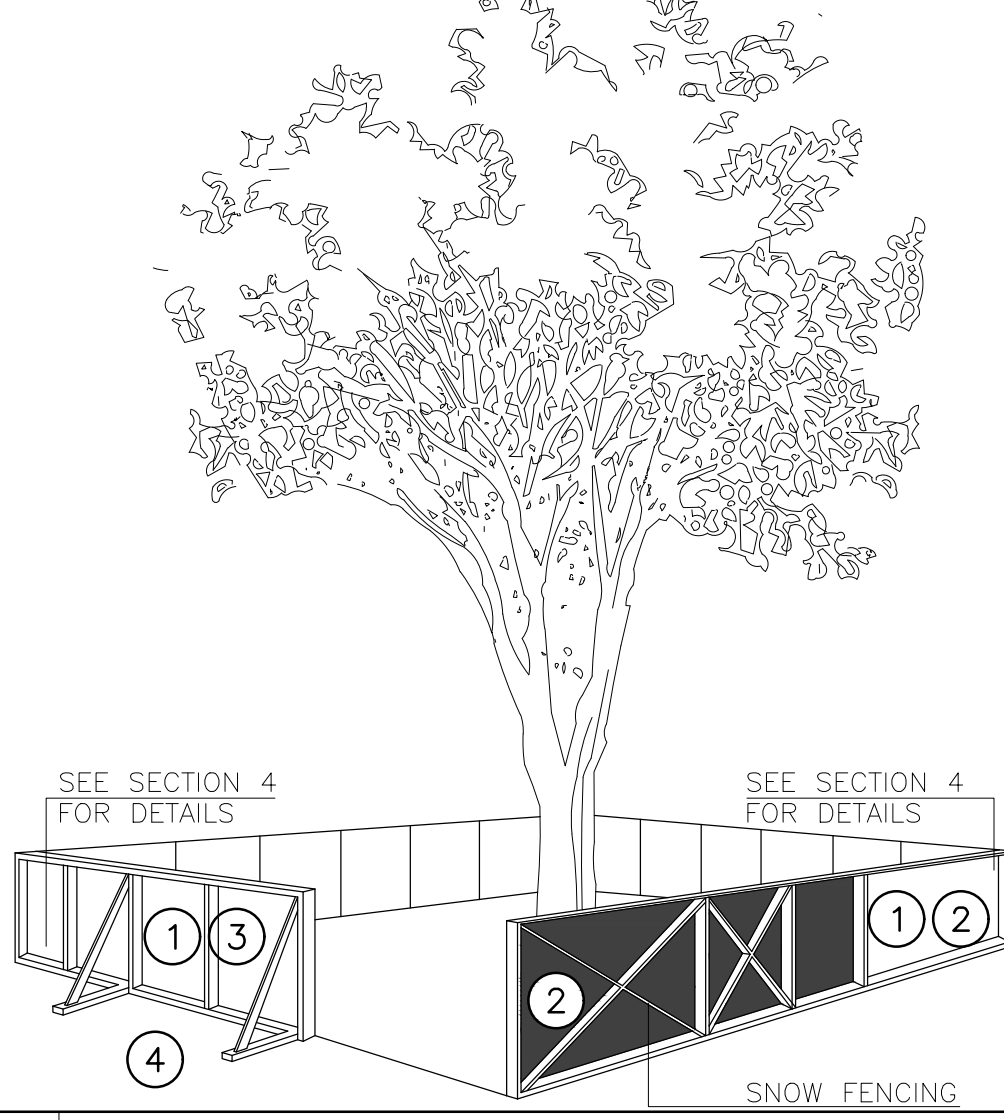
Oakville, ON. L6M 3E7

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**TREE PROTECTION**



**TREE PROTECTION BARRIERS**

- TREE PROTECTION BARRIERS MUST BE 1.2m (4'-0") HIGH, WAFFERBOARD HOARDING OR AN EQUIVALENT APPROVED BY URBAN FORESTRY SERVICES.
- TREE PROTECTION BARRIERS FOR TREES SITUATED ON THE TOWN ROAD ALLOWANCE WHERE VISIBILITY MUST BE MAINTAINED CAN BE 1.2m (4'-0") HEIGHT AND CONSIST OF ORANGE PLASTIC WEB SNOW FENCING ON A WOOD FRAME MADE OF 2"x4"s.
- WHERE SOME EXCAVATE OR FILL HAS TO BE TEMPORARILY LOCATED NEAR A TREE PROTECTION BARRIER, PLYWOOD MUST BE USED TO ENSURE NO MATERIAL ENTERS THE TREE PROTECTION ZONE.
- ALL SUPPORTS AND BRACING SHOULD BE OUTSIDE THE TREE PROTECTION ZONE. ALL SUCH SUPPORTS SHOULD MINIMIZE DAMAGING ROOTS OUTSIDE THE TREE PROTECTION BARRIER.
- NO CONSTRUCTION ACTIVITY, GRADE CHANGES, SURFACE TREATMENT OR EXCAVATIONS OF ANY KIND IS PERMITTED WITHIN THE TREE PROTECTION ZONE.
- ALL LOCATES MUST BE OBTAINED PRIOR TO THE INSTALLATION OF THE PROPOSED HOARDING WITHIN THE MUNICIPAL RIGHT OF WAY.

**SECTION 4, SIGNAGE**

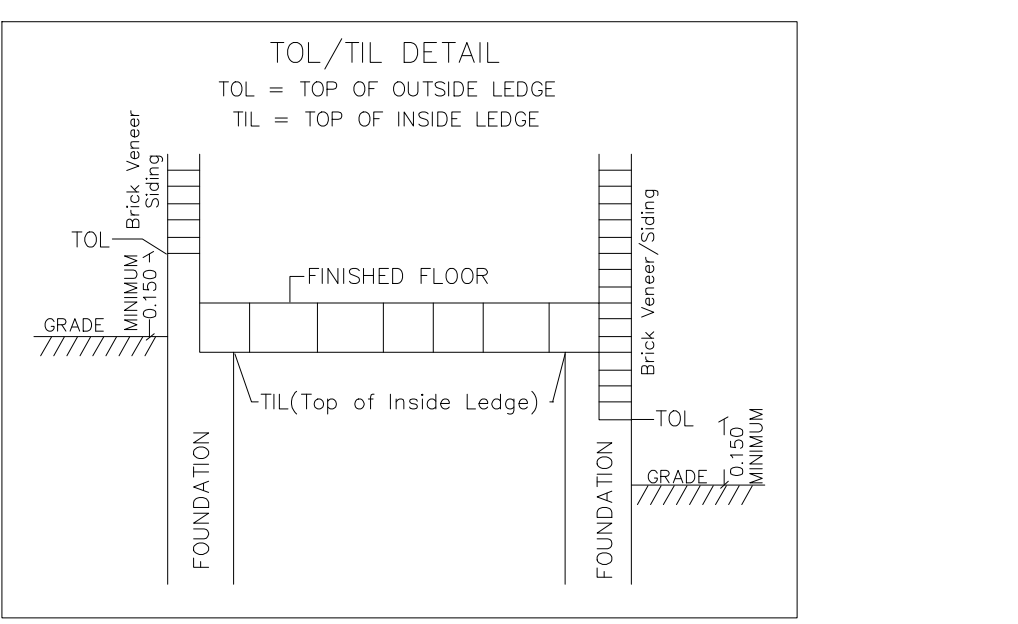
- A SIGN (AS PER BELOW) MUST BE MOUNTED ON ALL SIDES OF A TREE PROTECTION BARRIER FOR THE DURATION OF THE PROJECT. THE SIGN SHOULD BE A MINIMUM OF 40cmX80cm AND MADE OF WHITE GATOR BOARD OR EQUIVALENT MATERIAL.

"TREE PROTECTION ZONE  
NO GRADE CHANGE, STORAGE OF MATERIALS OR EQUIPMENT IS PERMITTED WITHIN THIS AREA. THE TREE PROTECTION BARRIER MUST NOT BE REMOVED WITHOUT THE WRITTEN AUTHORIZATION OF THE TOWN OF OAKVILLE."

**TOWN OF OAKVILLE  
PARKS AND RECREATION  
DEPARTMENT**

NAME: TREE PROTECTION BARRIERS  
DATE:  
FILE NO.:

**1 OAKVILLE SITE REQUIREMENTS**  
A1.2 SCALE: NTS



**2 REVERSE LEDGE DETAIL TYP.**  
A1.2 SCALE: NTS

**CERTIFICATION FOR PROPOSED GRADING**  
AS PER OBC 9.14.6.1(1) I CERTIFY THAT THE BUILDING WILL BE LOCATED AND THE SITE GRADING HAS BEEN DESIGNED SO THAT IT WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES.

APRIL 26, 2023  
MISSISSAUGA, ONTARIO JACKIE HANG, Ontario Land Surveyor  
FILE: 9411  
**TARASICK McMILLAN KUBICKI LIMITED**  
ONTARIO LAND SURVEYORS  
4181 SLADEVIEW CRESCENT, UNIT 42, MISSISSAUGA, ONTARIO L5L 5R2  
TEL: (905) 569-8849 FAX: (905) 569-3160  
E-MAIL: office@tmksurveyors.com

**3 GRADING CERTIFICATE**  
A2.1 SCALE: DNS

**METRIC**  
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048



Drawings must NOT be scaled. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the architect prior to proceeding with any of the work.

THE EXISTING WATER SERVICE MUST BE INSPECTED AT THE PROPERTY LINE BY THE REGIONAL INSPECTOR

NOTE: CONTRACTOR TO DETERMINE EXISTING INVERTS AND REPORT ANY DISCREPANCIES TO THE ENGINEER

ALL WATER AND SANITARY MAIN TAPS ARE TO BE PERFORMED BY REGION OF HALTON FORCES ONLY

ANY GRADING REQUIRED IN THE TREE PROTECTION ZONE SHALL BE COMPLETED UNDER THE SUPERVISION OF AN ARBORIST AND COMPLETED BY HAND.

IT IS THE BUILDER'S RESPONSIBILITY TO ENSURE GRAVITY FLOW OF THE SANITARY SEWER FROM PROPOSED BASEMENT FLOOR ELEVATION. IF A GRAVITY CONNECTION CANNOT BE ESTABLISHED, A SEWAGE EJECTOR PUMP IS TO BE INSTALLED AS PER O.B.C. & MUNICIPAL REQUIREMENTS

LOCATION OF EXISTING SANITARY LATERAL IS APPROXIMATE BASED ON AVAILABLE RECORDS. EXACT LOCATION TO BE FIELD VERIFIED BY CONTRACTOR PRIOR TO EXCAVATION.

**5 SWALE CROSS-SECTION**  
A2.1 SCALE: DNS

**EROSION AND SILTATION NOTES**

- ALL EROSION AND SEDIMENT CONTROLS ARE TO BE INSTALLED ACCORDING TO APPROVED PLANS PRIOR TO COMMENCEMENT OF ANY EARTH MOVING WORK ON THE SITE AND SHALL REMAIN IN PLACE UNTIL ALL DISTURBED AREAS ARE STABILIZED WITH THE INTENDED FINAL GRADING COVER.
- EROSION AND SEDIMENT CONTROLS SHALL BE INSTALLED BY THE BUILDER/DEVELOPER:
  - WEEKLY
  - BEFORE AND AFTER ANY PREDICTED RAINFALL EVENT
  - FOLLOWING AN UNPREDICTED RAINFALL EVENT
  - DAILY, DURING EXTENDED DURATION RAINFALL EVENTS
  - AFTER SIGNIFICANT SNOW MELT EVENTS
- EROSION AND SEDIMENT CONTROLS SHALL BE MAINTAINED IN PROPER WORKING ORDER AT ALL TIMES. DAMAGED OR CLOGGED DEVICES SHALL BE REPAIRED WITHIN 48 HOURS.
- WHERE A SITE REQUIRES DEWATERING AND WHERE THE EXPELLED WATER CAN BE FREELY RELEASED TO A SUITABLE RECEIVER, THE EXPELLED WATER SHALL BE TREATED TO CAPTURE SUSPENDED PARTICLES GREATER THAN 40micron IN SIZE. THE CAPTURED SEDIMENT SHALL BE DISPOSED OF PROPERLY PER MOECC GUIDELINES. THE CLEAN EXPELLED WATER SHALL BE FREELY RELEASED TO A SUITABLE RECEIVER IN A MANNER THAT DOES NOT CREATE DOWNSTREAM ISSUES INCLUDING BUT NOT LIMITED TO: EROSION, FLOODING - NUISANCE OR OTHERWISE, INTERFERENCE ISSUES, ETC.
- EXISTING STORM SEWERS AND DRAINAGE DITCHES ADJACENT TO THE WORKS SHALL BE PROTECTED AT ALL TIMES FROM THE ENTRY OF SEDIMENT/SILT THAT MAY MIGRATE FROM THE SITE. FOR STORM SEWERS: ALL INLETS (REAR LOT CATCHBASINS, ROAD CATCHBASINS, PIPE INLETS, ETC.) MUST BE SECURED/FITTED WITH SILTATION CONTROL MEASURES. FOR DRAINAGE DITCHES: THE INSTALLATION OF ROCK CHECK DAMS, SILTATION FENCING, SEDIMENT CONTAINMENT DEVICES MUST BE INSTALLED TO TRAP AND CONTAIN SEDIMENT. THESE SILTATION CONTROL DEVICES SHALL BE INSPECTED AND MAINTAINED PER ITEMS 2 AND 3 ABOVE.
- IN THE EVENT OF A SPILL (RELEASE OF DELETERIOUS MATERIAL) ON OR EMANATING FROM THE SITE, THE OWNER OR OWNERS AGENT SHALL IMMEDIATELY NOTIFY THE MOECC AND FOLLOW ANY PRESCRIBED CLEAN UP PROCEDURE. THE OWNER OR OWNERS AGENT WILL ADDITIONALLY IMMEDIATELY NOTIFY THE TOWN.

**SEWERS**

DEPTH OF SANITARY SEWER CONNECTION AT THE STREET LINE TO BE CONFIRMED IN FIELD PRIOR TO CONSTRUCTION TO ENSURE GRAVITY FLOW.

**SUMP PUMP**

FOUNDATION WEEPERS AND FLOOR DRAINS WILL BE SUMPED AND PUMPED TO THE MUNICIPAL DITCH ALONG WEDGEWOOD DRIVE

**GENERAL NOTES**

- A SILTATION CONTROL MEASURES SHALL BE IMPLEMENTED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF SITE GRADING WORKS, TO SATISFACTION OF THE CITY AND HALTON CONSERVATION.
- IF BY CONSTRUCTION IS INTERRUPTED AND/OR INACTIVITY EXCESS 30 DAYS, STRIPPED/ BASE AREAS SHALL BE STABILIZED BY SEEDING.
- THE SEDIMENT CONTROL DEVICES SHALL BE INSPECTED AFTER EVERY RAINFALL AND/ OR EVERY WEEK.
- THE SEDIMENT CONTROL DEVICES MUST BE REPAIRED, CLEANED AND/ OR REPLACED IF NECESSARY OR AS DIRECTED BY THE ENGINEER, CONSERVATION AUTHORITY OR THE CITY.
- ALL SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION, GRADING, TOPSOILING AND SOODING ARE COMPLETE.
- WHEN ALL CONSTRUCTION, GRADING AND SOODING IS COMPLETED, THE SEDIMENT CONTROL DEVICES SHALL BE REMOVED AND THE DISTURBED AREAS RENESTATED.
- ALL CATCH BASINS ON SITE SHALL HAVE PROPER SEDIMENT CONTROLS AS NOTED HEREON.
- THE EROSION & SEDIMENT CONTROL FENCE SHALL BE AS DETAILED.
- CONTRACTOR TO OBTAIN ALL NECESSARY ROAD OCCUPANCY PERMITS FOR PROPOSED WORKS WITHIN THE MUNICIPAL ROAD ALLOWANCES.

**REGIONAL APPROVAL**

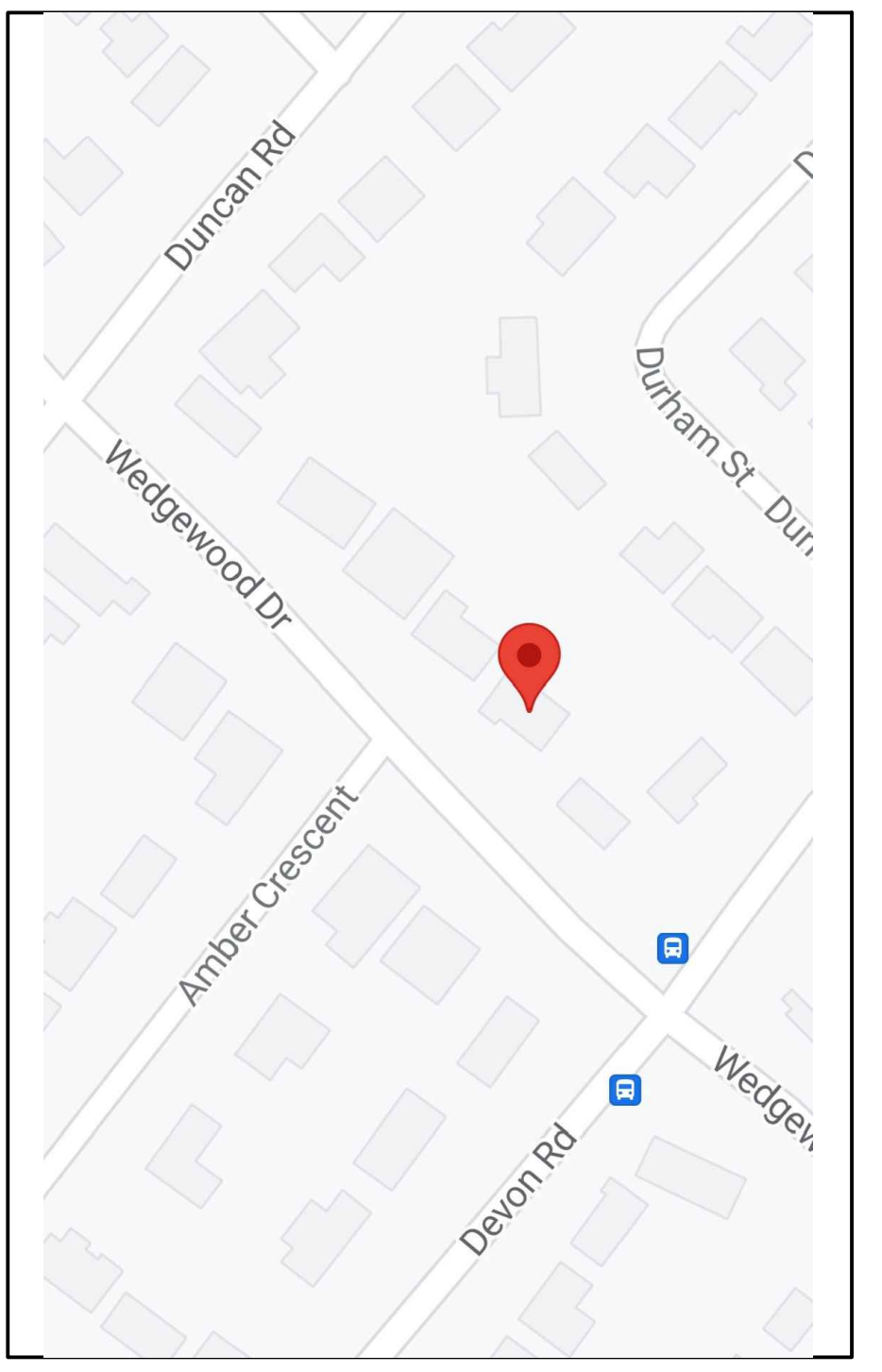
REGION DESIGN OF WATER AND/OR WASTEWATER SERVICES APPROVED SUBJECT TO DETAIL CONSTRUCTION CONFORMING TO HALTON REGION STANDARDS AND SPECIFICATIONS AND LOCATION APPROVAL FROM THE AREA MUNICIPALITY.

DATED: \_\_\_\_\_ SIGNED: \_\_\_\_\_  
INFRASTRUCTURE PLANNING AND POLICY

THE APPLICANT SHOULD BE AWARE THAT THE APPROVAL OF THE WATER SYSTEM ON PRIVATE PROPERTY IS THE RESPONSIBILITY OF THE LOCAL MUNICIPALITY. REGARDLESS, THE APPLICANT MUST ENSURE THAT THE REGION OF HALTON'S STANDARDS AND SPECIFICATIONS ARE MET (THE WATER AND WASTEWATER LINEAR DESIGN MANUAL MAY BE OBTAINED FROM THE DATA MANAGEMENT GROUP AT 905-853-6000). FURTHERMORE, ALL WATER QUALITY TESTS MUST BE COMPLETED TO THE REGION OF HALTON'S SATISFACTION BEFORE THE WATER SUPPLY CAN BE TURNED ON.

ANY WATER OR SANITARY SERVICE THAT DOES NOT MEET CURRENT REGIONAL STANDARDS MUST BE DISCONNECTED AT THE MAIN, AND A NEW SERVICE CONSTRUCTED AT THE SITE DEVELOPER'S EXPENSE.

**4 SITE PLAN**  
A2.1 SCALE: 1:150



**6 KEY PLAN**  
A2.1 SCALE: DNS

**ZONING 401 WEDGEWOOD DR.**

|   |   |
|---|---|
| ZONE RL2-0  |   |
| LOT AREA:   | 1,086.09 m <sup>2</sup> (11,690 s.f.)   |
| LOT FRONTAGE:                                     | 23.16m.                                 |
| MAXIMUM HEIGHT:                                   | 9.0m.                                   |
| MAX. LOT COV. 25% :                               | 271.52m <sup>2</sup> (2,922 s.f.)       |
| MAX. R.F.A. 37% :                                 | 401.85m <sup>2</sup> (4,325 s.f.)       |
| MIN FRONT SETBACK:                                | 10.19m.                                 |
| MIN SIDE SETBACK:                                 | 1.2m. & 2.4m                            |
| MIN REAR SETBACK:                                 | 75 m.                                   |
| MAX. ROOF HEIGHT:                                 | 9.0 m                                   |
| MAX. INT. GARAGE:                                 | 45m <sup>2</sup> (484s.f.)              |
| PROPOSED GROUND FLOOR:                            | (197.79m <sup>2</sup> ) 2,129 s.f.      |
| PROPOSED SECOND FLOOR:                            | (201.87m <sup>2</sup> ) 2,173 s.f.      |
| EXT. GARAGE:                                      | (48.95m <sup>2</sup> ) 527 s.f.         |
| INT. GARAGE:                                      | (44.96m <sup>2</sup> ) 484 s.f.         |
| COVERED PORCHES (& COV'D AREAS):                  | (47.28m <sup>2</sup> ) 509 s.f.         |
| CABANA:   | (41.24m <sup>2</sup> ) 444 s.f.         |
| PROPOSED LOT COV.: 30.87% (335.26m <sup>2</sup> ) | 3,609 s.f. * (GARAGE & PORCHES INCL'D.) |
| PROPOSED R.F.A. 36.80% :                          | 399.66m <sup>2</sup> (4,302 s.f.)       |
| PROPOSED ROOF HEIGHT:                             | 9.0 m                                   |

**7 SITE STATISTICS**  
A2.1 SCALE: DNS

**8 SUMP PUMP DETAIL**  
A2.1 SCALE: DNS

**SITE LEGEND:**

|        |  |
|--------|--|
| ---    | PROPERTY LINE                                      |
| ---    | EXISTING GRADE                                     |
| ---    | FINISHED GRADE                                     |
| F.F.E. | FINISHED FLOOR ELEVATION                           |
| F.B.E. | FINISHED BASEMENT ELEVATION                        |
| F.D.E. | FINISHED DECK ELEVATION                            |
| ▲      | MAIN ENTRANCE                                      |
| ▼      | SECONDARY ENTRANCE                                 |
| ▭      | PROPOSED DWELLING & CABANA                         |
| ▭      | PROPOSED POOL                                      |
| ---    | TO BE DEMOLISHED                                   |
| ---    | SOLID TREE HOARDING (PLYWOOD)                      |
| ---    | FRAMED TREE HOARDING (ORANGE MESH)                 |
| ○      | EXISTING TREE TO REMAIN                            |
| ⊗      | EXISTING TREE TO BE REMOVED                        |
| ○      | NEW REPLACEMENT TREES TO BE AS PER ARBORIST REPORT |
| ○      | RAIN WATER DOWNSPOUT                               |

**SITE ACCREDITATION:**  
LOT 72  
REGISTERED PLAN 628  
TOWN OF OAKVILLE  
(REGIONAL MUNICIPALITY OF HALTON)  
INFORMATION TAKEN FROM A SURVEY PREPARED BY:  
TARASICK McMILLAN KUBICKI LIMITED  
ONTARIO LAND SURVEYORS  
MAY 27, 2022

**METRIC**  
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

**ELEVATION NOTE**  
ELEVATIONS WERE DERIVED FROM TOWN OF OAKVILLE BENCHMARK No. 75, HAVING A PUBLISHED ELEVATION OF 95.234 metres.

|    |          |                            |
|----|----------|----------------------------|
| 12 | 06.13.24 | REVISE FOR C.O.A. (CABANA) |
| 11 | 04.26.23 | REVISE FOR DESP            |
| 10 | 03.05.23 | REVISE FOR DESP            |
| 9  | 02.14.23 | REVISE FOR DESP            |
| 8  | 01.16.23 | REVISE FOR DESP & C.O.A.   |
| 7  | 11.25.22 | REVISE FOR DESP            |
| 6  | 10.28.22 | REVISE FOR DESP            |
| 5  | 10.18.22 | REVISE FOR DESP            |
| 4  | 09.13.22 | GRADING RECERTIFICATION    |
| 3  | 06.15.22 | REVISED FOR INFILTRATION   |
| 2  | 06.01.22 | ISSUED FOR DESP            |

REF. DATE: DESCRIPTION:  
REVISIONS / ISSUANCE:



www.keystonehomedesigns.com

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905.616.2221

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CLIENT:

**SHALLOW RESIDENCE**

ADDRESS: 401 WEDGEWOOD DRIVE  
CITY: OAKVILLE, ON.

DRAWING TITLE:  
**SITE SERVICING & GRADING PLAN**

|                             |                 |
|-----------------------------|-----------------|
| DRAWN: G.CASTILLO           | SCALE: AS SHOWN |
| DATE: 05 / 01 / 22          | SHEET NUMBER:   |
| JOB NUMBER:<br><b>21-24</b> | <b>A2.1</b>     |

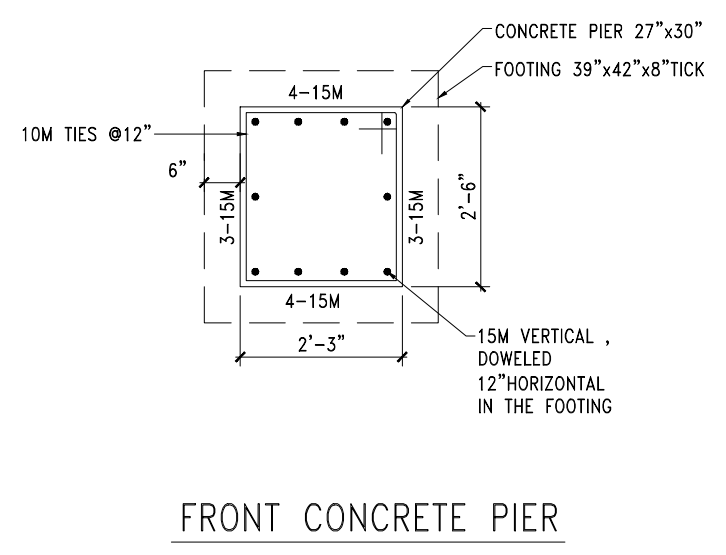
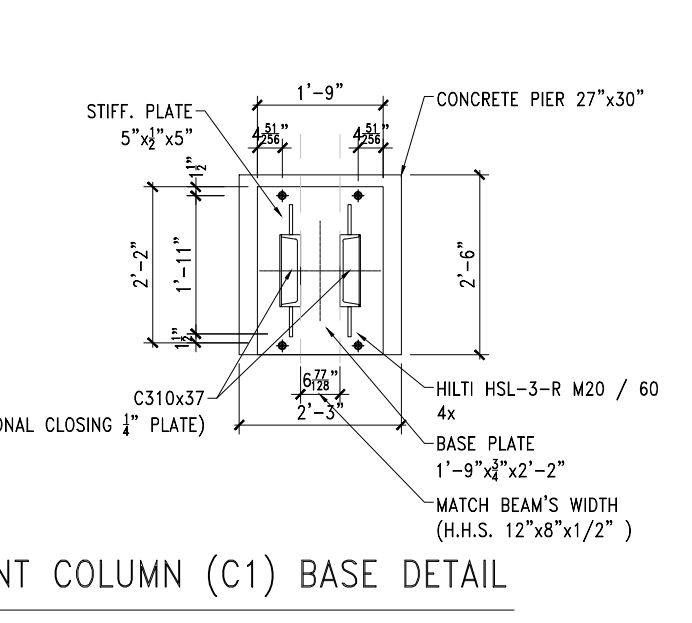
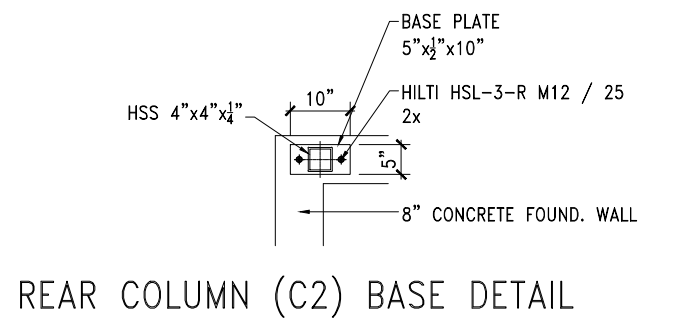
**NOTE SCHEDULE:**

- 8 UPPER AND LOWER CABINETS TO CABINERY MANUFACTURER DETAIL
- 13 MILLWORK TO CABINERY MANUFACTURER DETAIL
- 16 KITCHEN CABINETS AS PER KITCHEN MANUFACTURER'S LAYOUT CONFIRM LOCATION OF APPLIANCES WITH OWNER AND ARCHITECT
- 18 VANITY AS PER CABINET COMPANY DETAILS C/W FULL HEIGHT X VANITY WIDTH MIRROR
- 25 30" X 30" INSULATED ATTIC HATCH
- 29 SQUARE CUT INDIANA LIMESTONE, CONTINUOUS SILL C/W SLOPE, COPPER WALL FLASHING AND DRIP EDGE
- 30 CUT OUT FOUNDATION WALLS FOR OVERHEAD DOOR OR MAN DOOR ABOVE
- 34 PREFINISHED METAL EMETROUGH & 6" HOPPERS DOWNSPOUTS
- 35 EXHAUST FAN: ROOMS WHERE SPECIFIED TO BE MECHANICALLY VENTED TO PROVIDE AT LEAST 1 AIRCHANGE PER HOUR.
- 36 ROOF VENTS TO BE PREFINISHED METAL MUSHROOM TYPE. NO VENTS ON FRONT ELEVATION
- 38 PROVIDE ICE AND WATER SHIELD PROTECTIVE MEMBRANE BY W.R. GRACE & Co. OR APPROVED EQUAL. APPLY MEMBRANE OVER PLYWOOD SHEATHING, MEMBRANE TO EXTEND FROM EDGE OF ROOF OVERHANG (AT LOW SIDE) TO A POINT MINIMUM 5'-0" BEYOND INSIDE FACE OF EXTERIOR WALLS. ALSO INSTALL MEMBRANE UP VALLEYS MINIMUM 1'-6" UP SLOPE EACH WAY TYPICAL.
- 40 MINIMUM 1/2" PARGING WITH BROOM FINISH
- 41 19 1/2" - OVERHANG CONSTRUCTION TO STUD
- 46 STUCCO FRIEZE: 6 1/2" AS PER ELEVATIONS (PRECAST LOOK)
- 50 LOW SLOPE ROOFING TO BE OF A MINIMUM 2 PLY ASPHALT BASE MEMBRANE ON PROTECTION BOARD, MIN. 1:25 SLOPE TO ROOF EDGE.
- 57 ALL INTERIOR FINISHES TO BE SPECIFIED BY INTERIOR DESIGNER, UNLESS NOTED ON DRAWINGS.

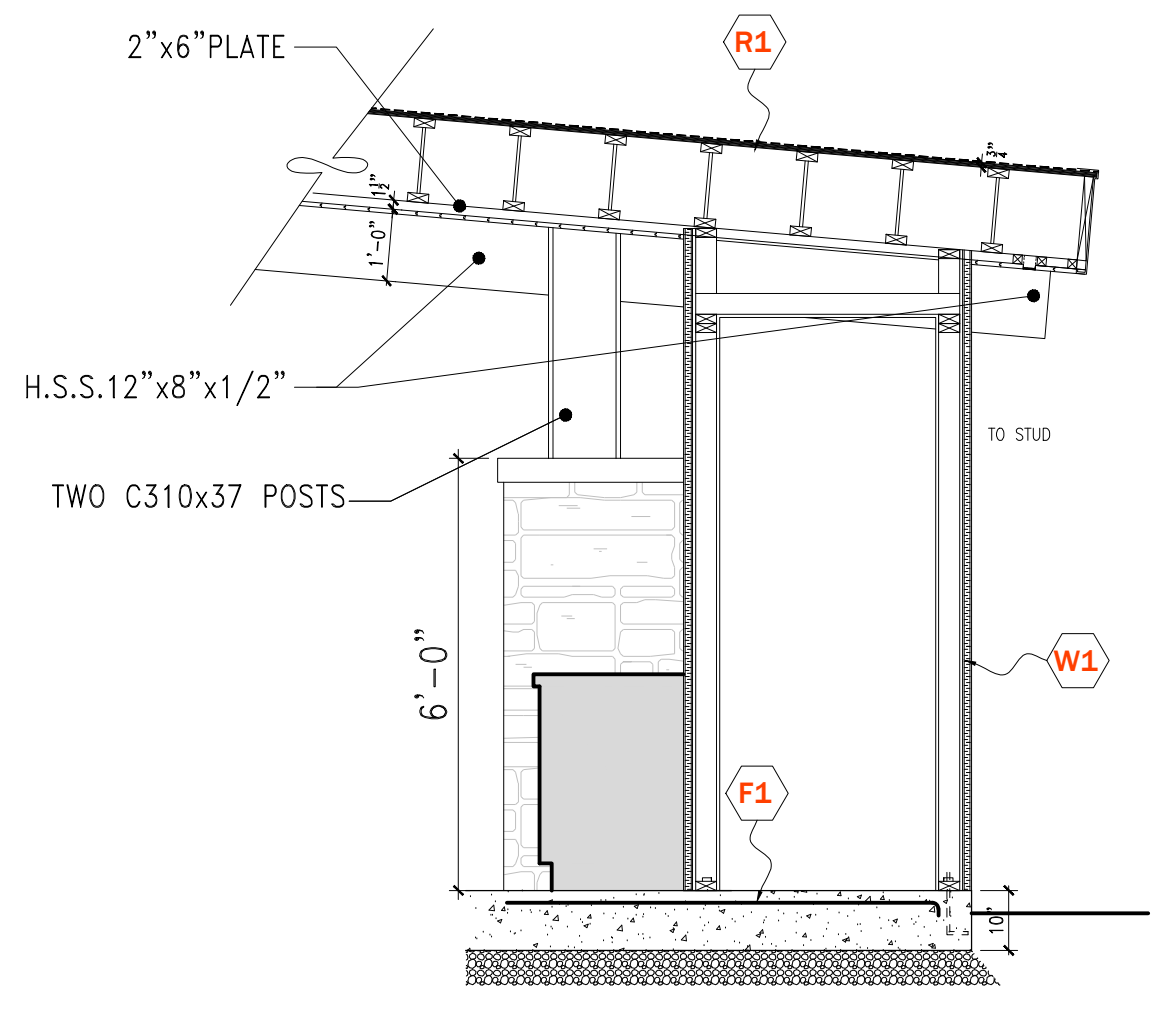
**WINDOW & EXTERIOR DOOR SCHEDULE:**

| MARK | QTY. | SIZE  | WINDOWS, DESCRIPTION |
|------|------|-------|----------------------|
| Y    | 1    | 32x84 | SOLID METAL DOOR     |
| Z    | 1    |       |                      |

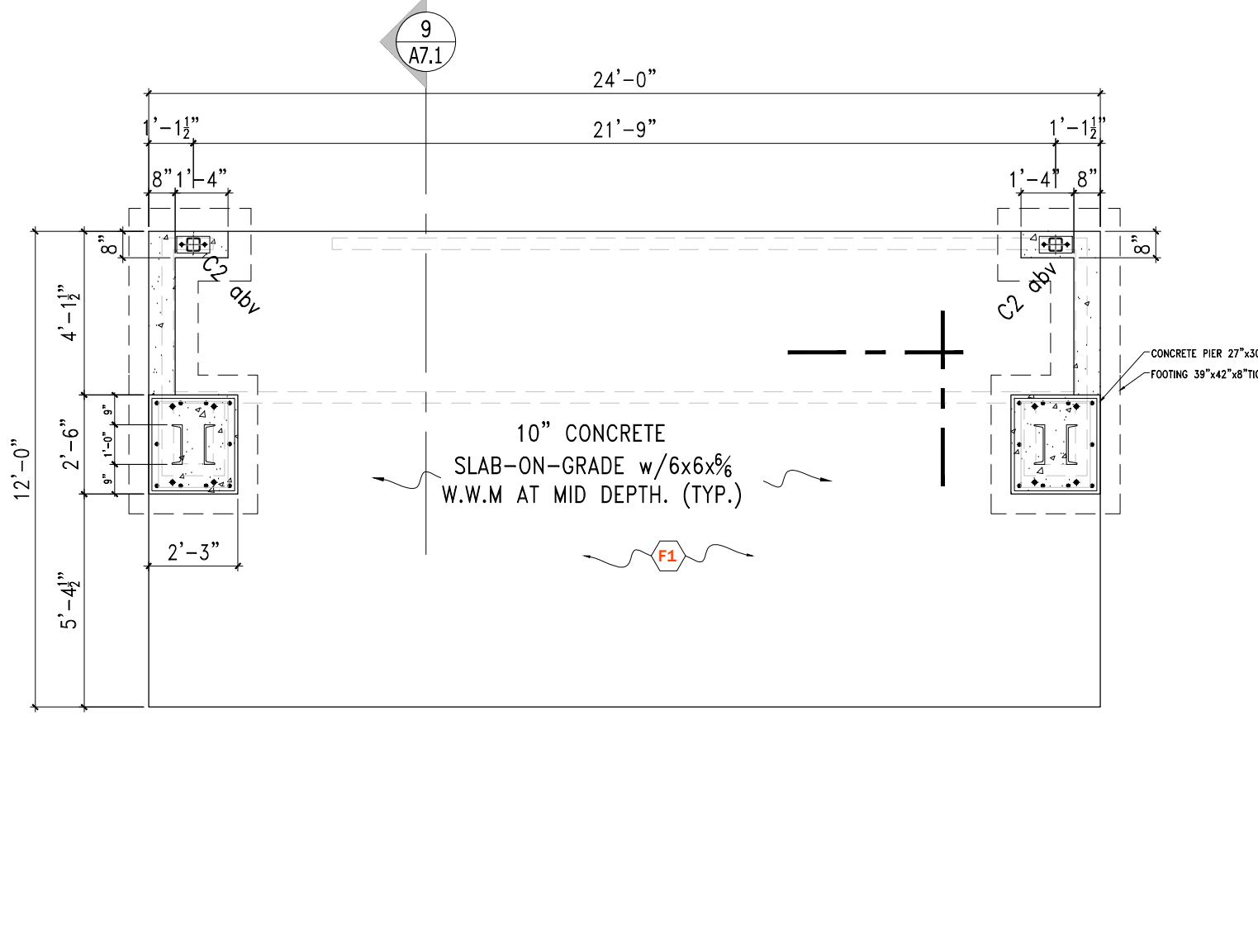
|  |   |
|--|---|
| <p><b>STUCCO</b><br/>APPROVED MANUFACTURER'S BLEND:<br/>- No. 88-01-48 (12874-4)-DRYKIT<br/>- No. 85-03-22 (12418-4)-SIL<br/>FIBER CORD<br/>FIBER CORD<br/>REINFORCING MESH<br/>REINFORCING MESH<br/>MINIMUM 1 1/2" RIGID INSULATION BOARD<br/>REMOVE AS PER MANUFACTURER'S SPECIFICATION<br/>WATER PENETRATION BARRIER AS PER MANUFACTURER'S SPEC'S<br/>1/2" CONTINUOUS PANELS OF SLAB-W/ SUPPLIED EPS/STAMP SHEATHING<br/>2"x4" SPRUCE STUDS @ 16" O.C.<br/>1/2" EPS/STAMP BOARD<br/>REMOVE COPPER FLASHING ABOVE SILL TO BEARD USING METAL ABOVE CONTINUOUS SILL</p>  | <p><b>FLAT ROOF</b><br/>OVER EXTERIOR<br/>METAL ROOF FINISH<br/>2 PLY ASPHALT BASE MEMBRANE ROOF SYSTEM TAPCH APPLIED TO PROTECTION BOARD OR<br/>TAP PRIMER COAT IF REQUIRED BY MEMBRANE MANUFACTURER AS PER - CROSS 37-02-03M<br/>3/4" FR FIBROD SHEATHING<br/>2"x4" JOIST FOR A MINIMUM 2% SLOPE TO DRAIN OR EDGE ROOF JOISTS AS PER STRUCTURAL LAYOUT</p>                |
| <p><b>STONE BASE &amp; WOOD SIDING</b><br/>CONTINUOUS LIMESTONE SILL<br/>METAL BELOW CONTINUOUS SILL<br/>1" STONE VENEER SILL<br/>1" AIR SPACE<br/>1/2" CONTINUOUS STONE SILL FINISHED W/ ROUGH FACING EDGES, SMOOTH TOP AND BOTTOM AND DRIP EDGE.<br/>METAL SILL W/ 2% SLOPE AWAY FROM HOUSE<br/>REMOVE COPPER FLASHING ABOVE SILL TO BEARD USING METAL ABOVE CONTINUOUS SILL<br/>FLAT PANEL SIDING<br/>1/4" STUCCO BOARD @ 16" DEEP STUDS @ 16" O.C. TO ALLOW FOR DRAINAGE<br/>TRIM W/ WOODEN PROTECTION<br/>1/2" SPRUCE STUDS @ 16" O.C.<br/>1/2" EPS/STAMP BOARD</p> | <p><b>CONCRETE FLOOR CONSTRUCTION</b><br/>SLAB ON GRADE<br/>FLAGSTONE TOPPING ON STRUCTURAL SLAB<br/>1/2" FLAGSTONE TOPPING<br/>STYLE &amp; COLOR TO BE APPROVED BY OWNER &amp; ARCHITECT<br/>1/2" METAL REINFORCING<br/>REINFORCING CONCRETE SLAB ON GRADE<br/>COMPLETE WITH BARRIER 2% SLOPE AWAY FROM HOUSE FOR DRAINAGE<br/>5" OF 3/4" CLEAR CRUSHED STONE ON GRADE</p> |



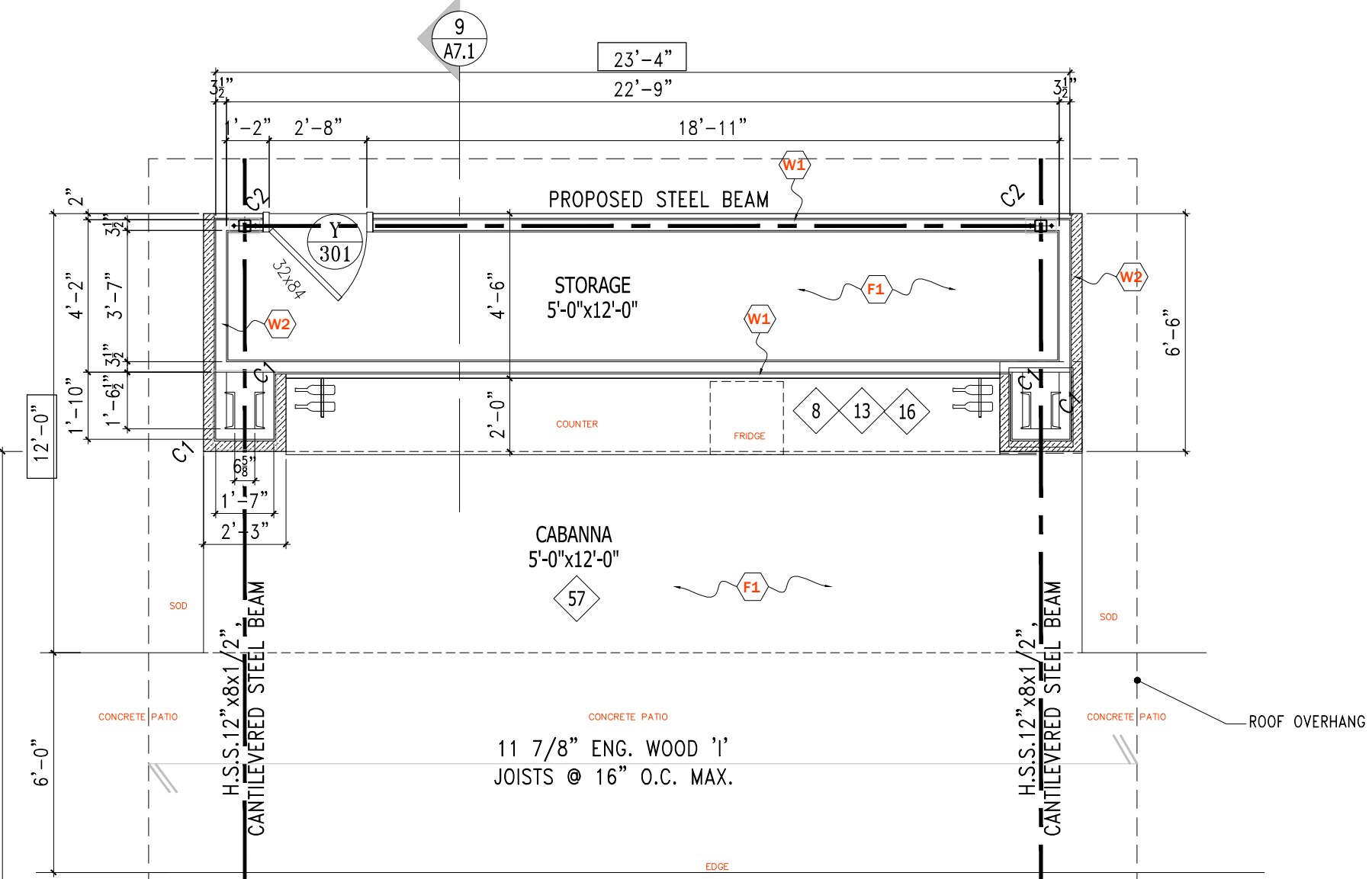
**8 STEEL DETAILS**  
SCALE: 3/8"=1'-0"



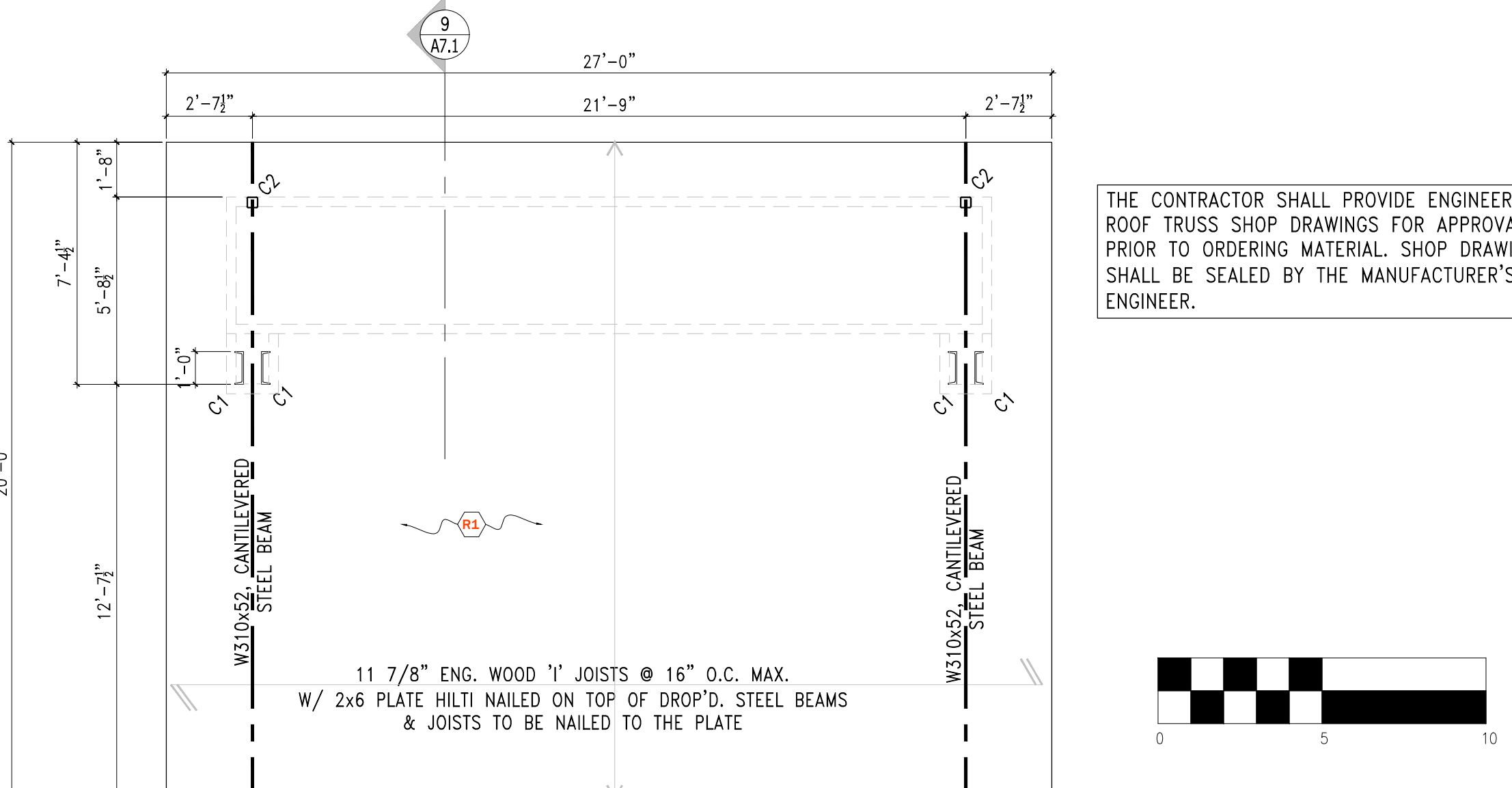
**9 WALL SECTION**  
SCALE: 3/8"=1'-0"



**1 FOUNDATION FLOOR**  
SCALE: 1/4"=1'-0"

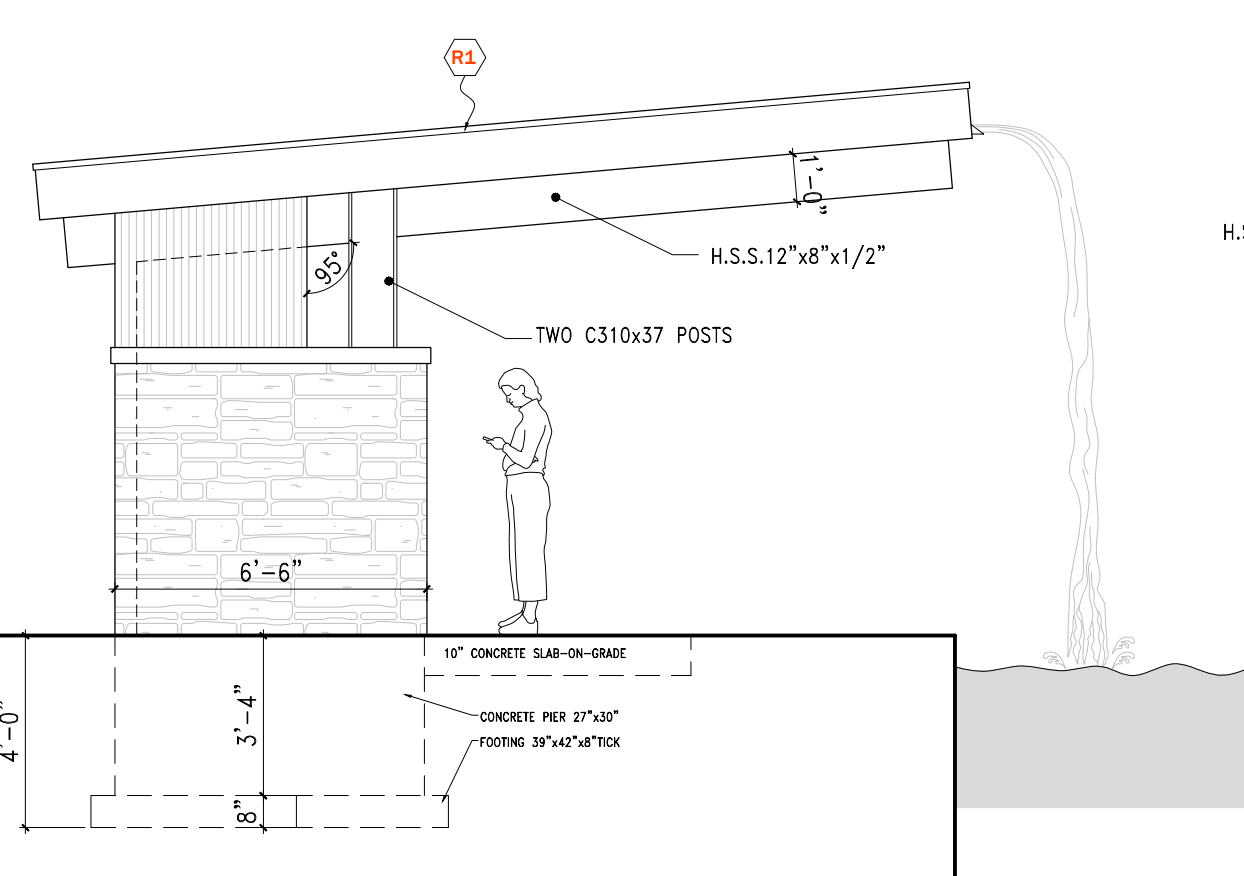
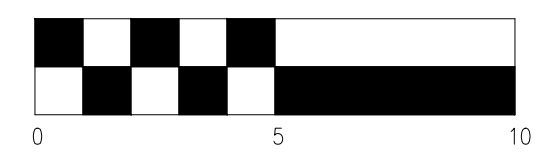


**2 GROUND FLOOR**  
SCALE: 1/4"=1'-0"

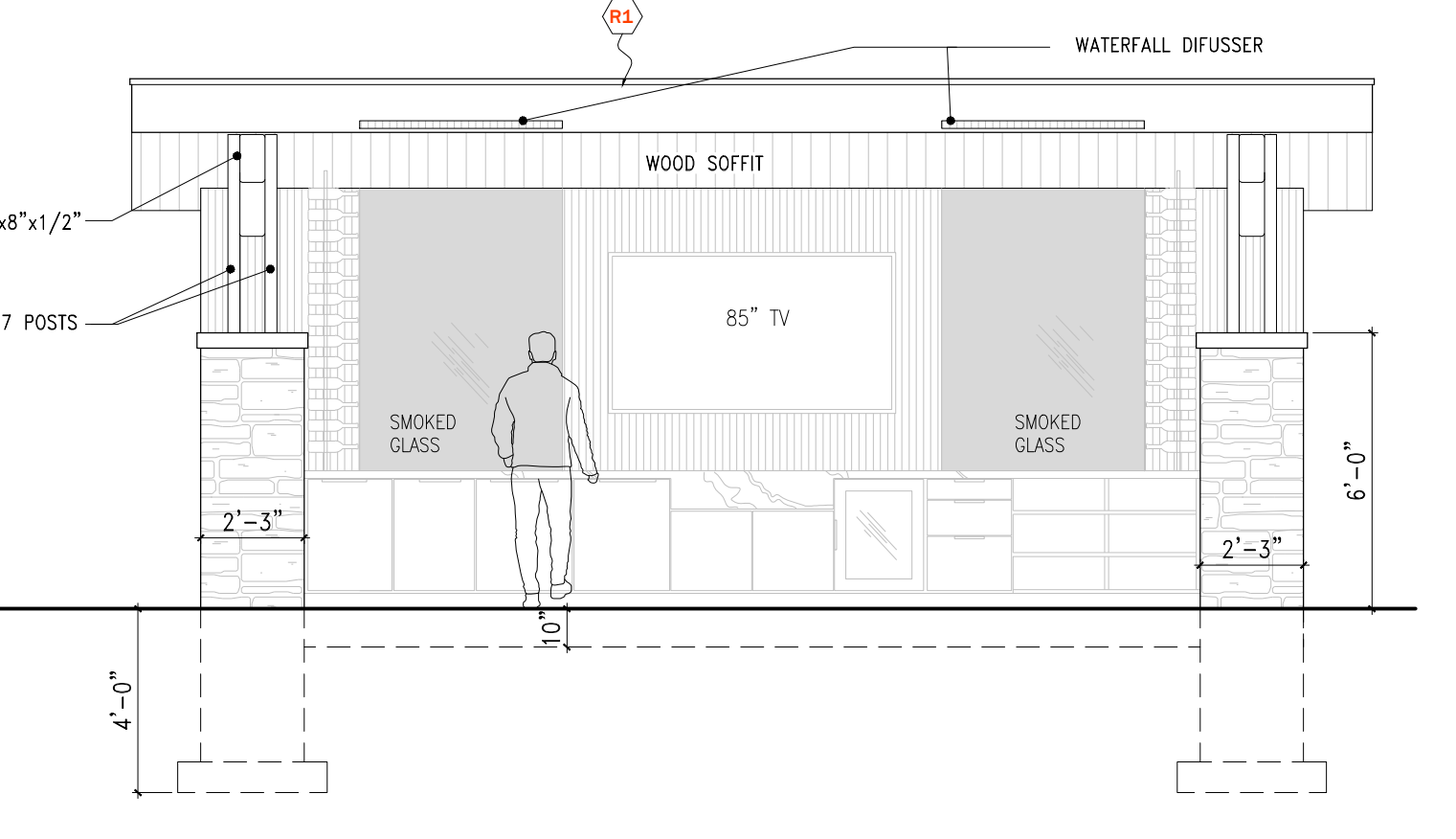


**3 ROOF PLAN**  
SCALE: 1/4"=1'-0"

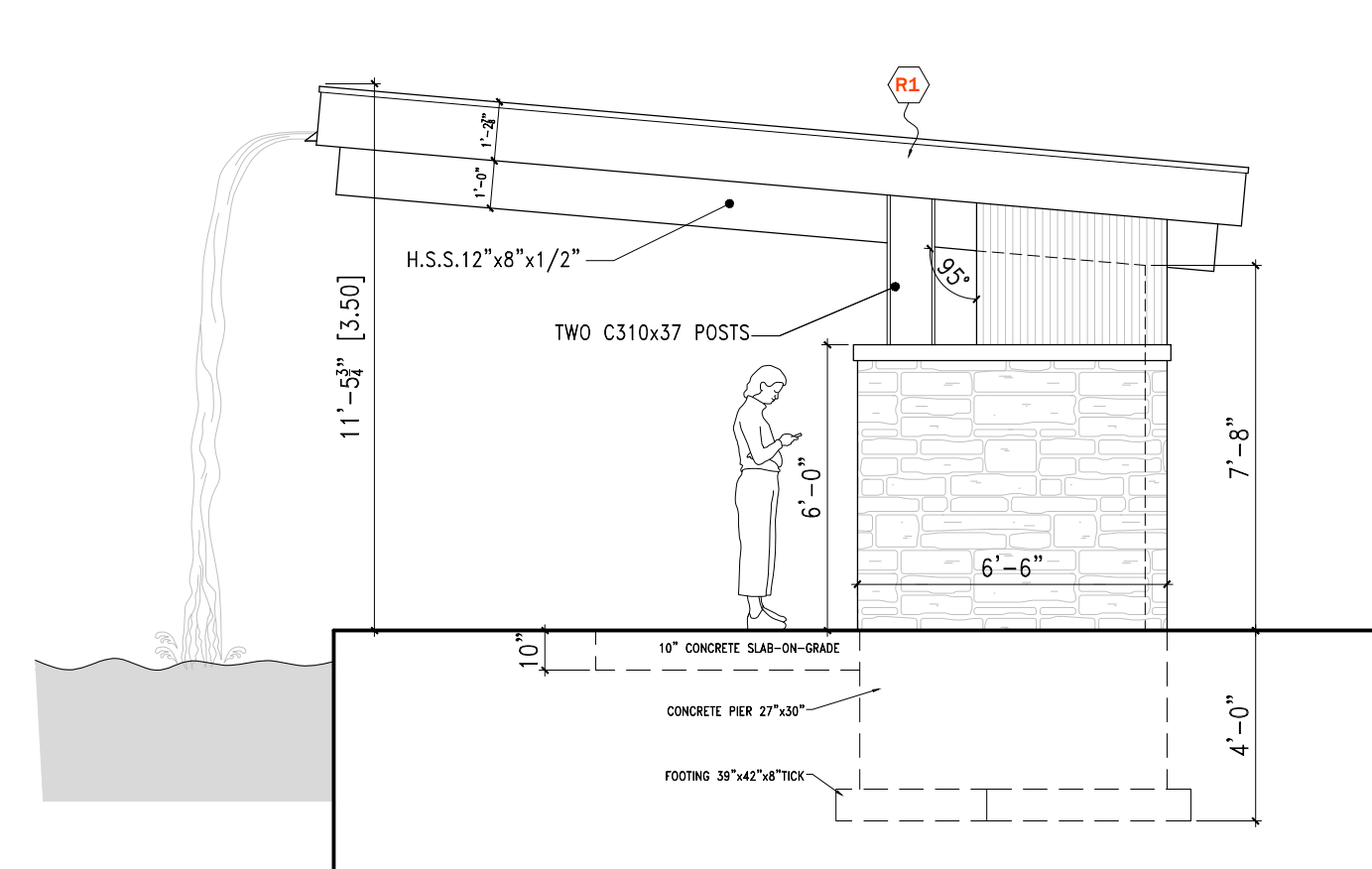
THE CONTRACTOR SHALL PROVIDE ENGINEERED ROOF TRUSS SHOP DRAWINGS FOR APPROVAL PRIOR TO ORDERING MATERIAL. SHOP DRAWINGS SHALL BE SEALED BY THE MANUFACTURER'S ENGINEER.



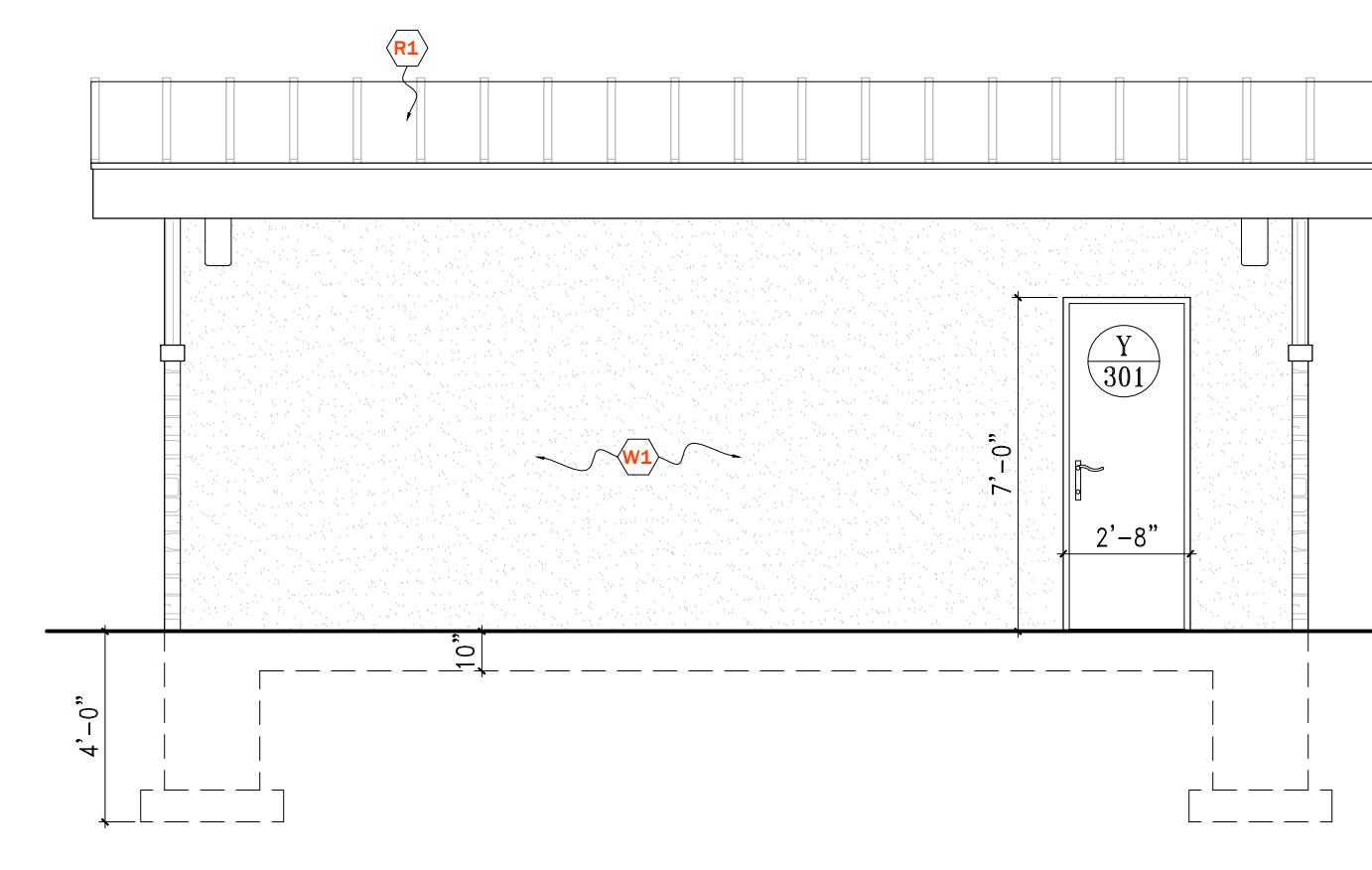
**4 LEFT ELEVATION**  
SCALE: 1/2"=1'-0"



**5 FRONT ELEVATION**  
SCALE: 1/2"=1'-0"



**6 RIGHT ELEVATION**  
SCALE: 1/2"=1'-0"



**7 REAR ELEVATION**  
SCALE: 1/2"=1'-0"

MUNICIPAL APPROVAL:

Drawings must NOT be scaled. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the architect prior to proceeding with any of the work.

SEAL OR BCIN:

STRUCTURAL SEAL:

CONSTRUCTION NORTH:

REVISIONS / ISSUANCE:

| REF. | DATE:    | DESCRIPTION:                    |
|------|----------|---------------------------------|
| 8    | 06.20.24 | ISSUED PERMIT & C.O.A.          |
| 7    | 04.01.24 | ISSUED FOR STRUCTURAL           |
| 6    | 03.27.24 | REVISED CABANA DESIGN           |
| 5    | 03.18.24 | REVISED CABANA DESIGN           |
| 4    | 03.16.24 | NEW CABANA DESIGN               |
| 3    | 08.16.22 | ISSUED FOR PERMIT               |
| 2    | 08.08.22 | ISSUED FOR STRUCTURAL           |
| 1    | 06.10.22 | ISSUED FOR TRUSSES & STRUCTURAL |



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info@keystonehomedesigns.com

CLIENT:

**SHALLOW RESIDENCE**

ADDRESS: 401 WEDGEWOOD DR.  
CITY: OAKVILLE, ON.

DRAWING TITLE:  
**CABANA PLANS & ELEVATIONS**

DRAWN: G. CASTILLO

DATE: 06/10/22 SCALE: AS SHOWN

JOB NUMBER: 21-24 SHEET NUMBER: A7.1















