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Toronto, Ontario M6P 1A5
☎ (416) 923-6630
✉ info@sglplanning.ca

May 15TH, 2024

Project: BR.OA

VIA EMAIL – coarequests@oakville.ca

Town of Oakville Committee of Adjustment
1225 Trafalgar Road
Oakville, ON
L6H 0H3

Re: Minor Variance Application – 70 Brookfield Road

Good afternoon,

A new single detached dwelling will be constructed on the subject site in the near future, per building permit 24-104691. No variances were required for the dwelling and there are no changes proposed to the approved plans. This minor variance application is limited in scope to a small addition to the existing garage.

I have included a survey showing the existing dwelling, which is to be demolished. I have also included a copy of the grading plan which was used to obtain the building permit for the new dwelling. The most recent drawing package contains the proposed site plan showing the addition to the garage. The arborist report which was used for the building permit application has also been included for reference. No trees will be impacted by the addition to the garage.

This is a small addition to an existing garage. The lot coverage variance(s) is minor and the garage height and side yard setback are existing conditions.

If you have any questions or would like to discuss this matter further, please contact David Riley (driley@sglplanning.ca).

Sincerely,

SGL Planning & Design, Inc.

A handwritten signature in black ink, appearing to be 'GB' with a stylized flourish.

Graham Barrett
Planner

SURVEYOR'S REAL PROPERTY REPORT - PART 1

PLAN OF SURVEY AND TOPOGRAPHY OF
LOT 1
REGISTERED PLAN 437
TOWN OF OAKVILLE

REGIONAL MUNICIPALITY OF HALTON

0 5 10 15 20 Metres

SCALE 1 : 200

J. H. Gelbloom Surveying Limited
 Ontario Land Surveyor

2023

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SURVEYOR'S REAL PROPERTY REPORT - PART 2

REGISTERED EASEMENTS AND/OR RIGHT-OF-WAY

None

NOTABLES

- Note the Locations of the Fences around the Subject Property.

LEGEND

- Survey Monument Found
- Survey Monument Set
- SIB Standard Iron Bar
- SSIB Short Standard Iron Bar
- IB Iron Bar
- CC Cut Cross
- (OU) Origin Unknown
- (950) Cunningham McConnell Ltd., O.L.S.
- P1 Registered Plan 437
- P2 Plan of Survey by Cunningham McConnell Ltd., O.L.S., dated November 30, 2013
- P3 Plan of Survey by Fred G. Cunningham Inc., O.L.S., dated April 30, 1993
- P4 Plan of Survey by Donald E. Roberts Ltd., O.L.S., dated June 17, 2003
- PROP Denotes Proportion Distance
- MH Maintenance Hole
- WIF Wrought Iron Fence
- FF Finished Floor
- EG Established Grade
- BF Board Fence
- UP Utility Pole
- DEC. Deciduous
- CON. Coniferous
- N Denotes North
- S Denotes South
- E Denotes East
- W Denotes West

BENCHMARK

Elevations are Referred to the Geodetic Surveys of Canada
 Benchmark No. 31, having an Elevation of 85.609 m.

NOTE

This REPORT can be updated by this office, however NO ADDITIONAL PRINTS of this ORIGINAL REPORT will be issued, subsequent to the DATE OF CERTIFICATION.

All building ties are from the foundation and are perpendicular to property lines, unless otherwise noted.

This REPORT was prepared for Bill & Chris Finan and the undersigned accepts no responsibility for use by other parties.

NOTE

Distances shown on this plan are in metres and can be converted to feet by dividing by 0.3048.

BEARING NOTE

Bearings are Astronomic, and are Referred to the Southwesterly limit of Brookfield Road as shown on Reg'd Plan 437, having a Bearing of N 46° 03' 00" W.

SURVEYOR'S CERTIFICATE

- I certify that:
- 1: This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act, and the Regulations made under them.
 - 2: The survey was completed on the 12th day of September, 2003.

September 15, 2023
 Date

A. Musil
 Andrew Musil, O.L.S.

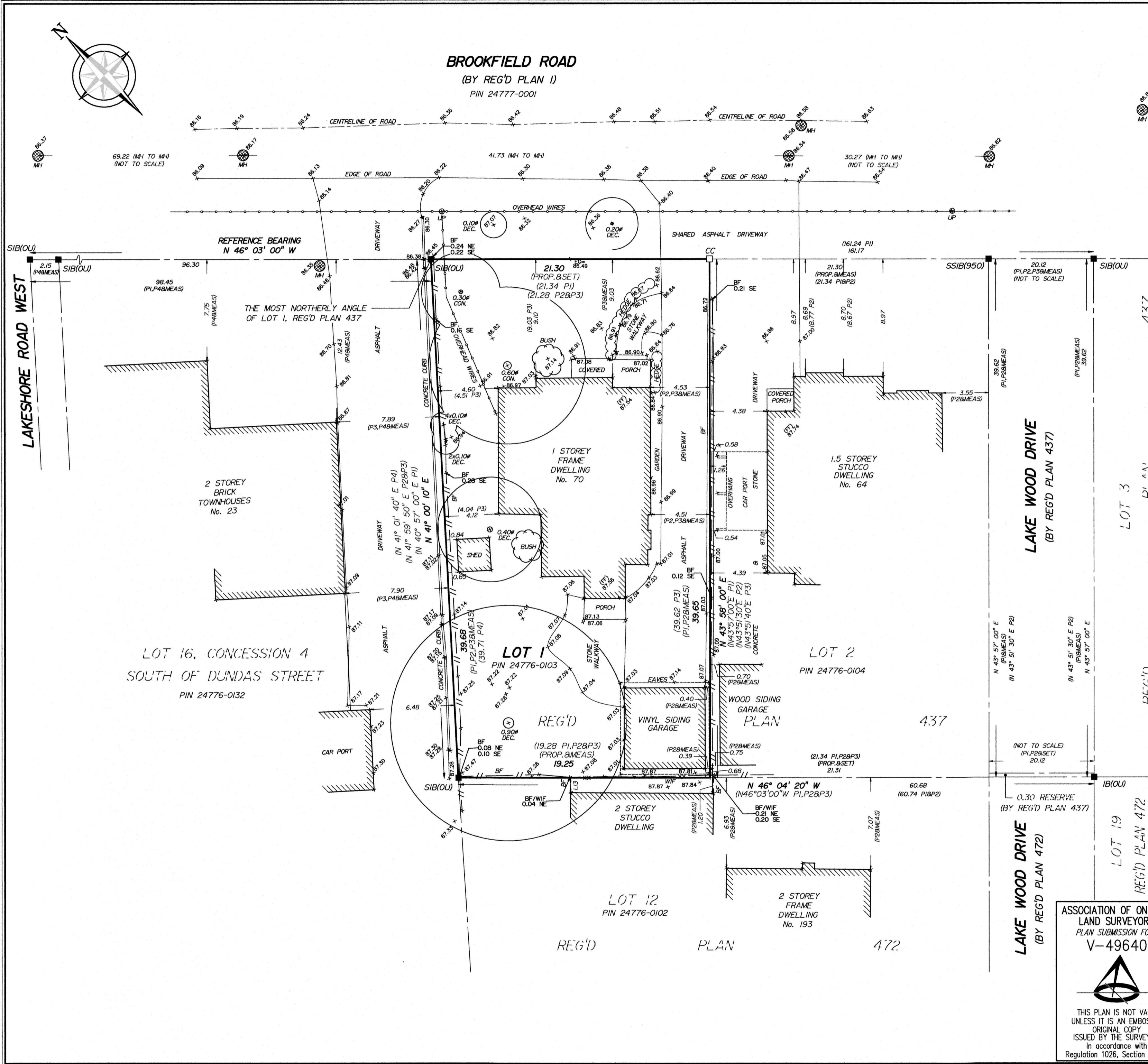
Party Chief: M.A.	Drawn By: M.K.	Checked By: A.M.	Project: 23-154
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J. H. Gelbloom Surveying Limited
 Ontario Land Surveyor
 476 Morden Road, Unit 102, Oakville, Ont, L6K 3W4
 office@jhgsurveying.ca
 Phone: (905) 338-8210

BROOKFIELD ROAD

(BY REG'D PLAN 1)

PIN 24777-0001

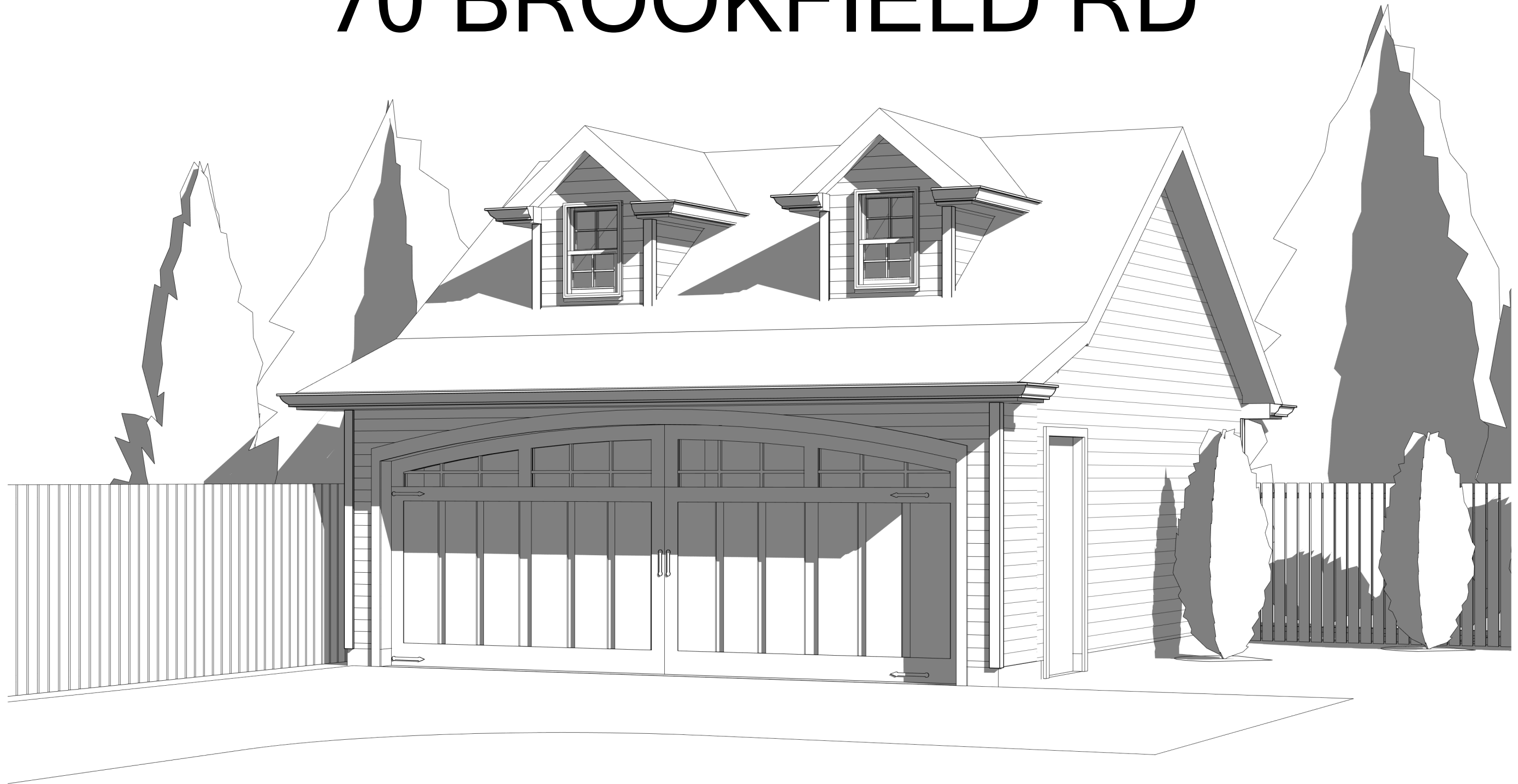


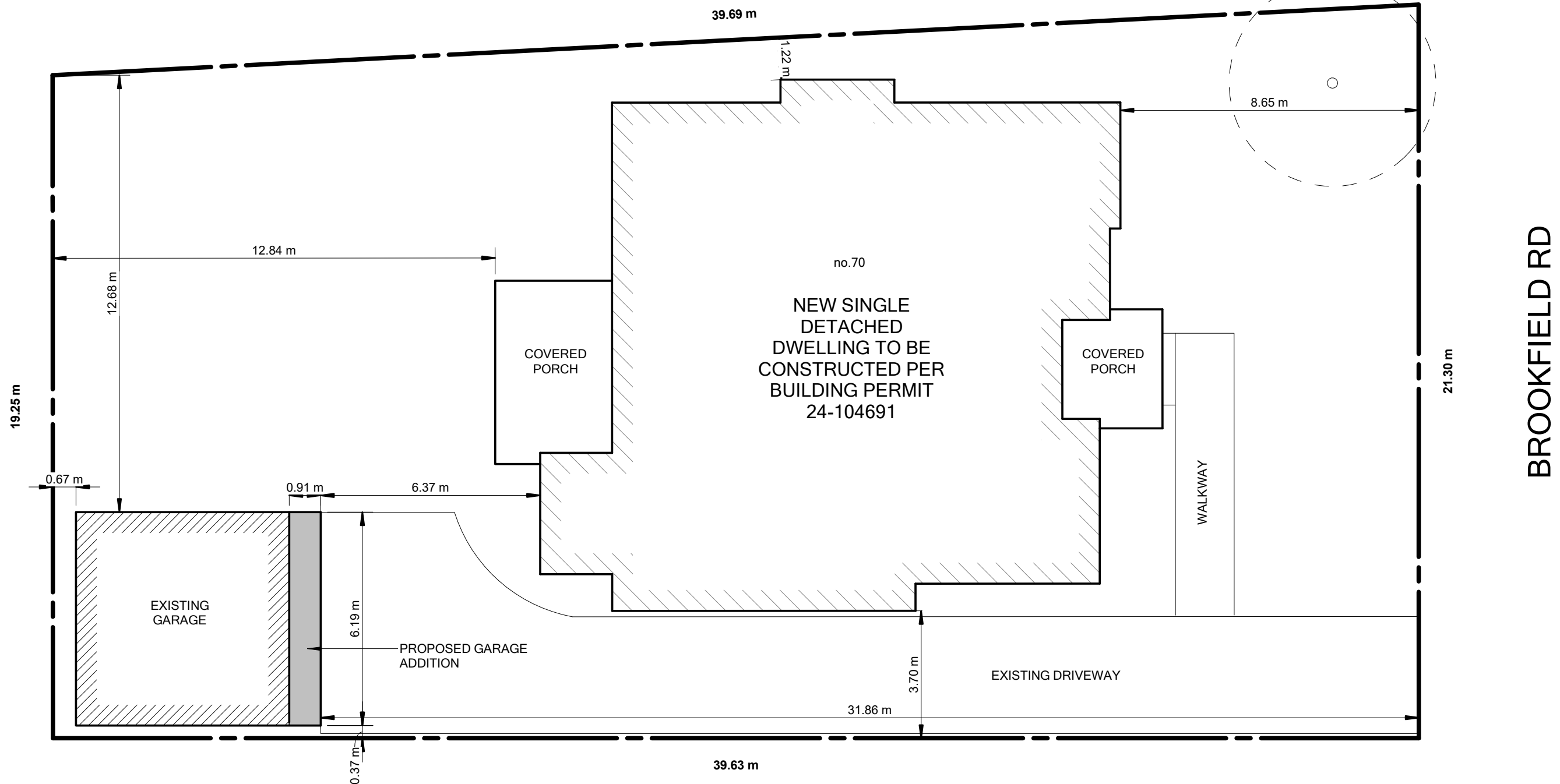
ASSOCIATION OF ONTARIO
 LAND SURVEYORS
 PLAN SUBMISSION FORM
 V-49640



THIS PLAN IS NOT VALID
 UNLESS IT IS AN EMBOSSED
 ORIGINAL COPY
 ISSUED BY THE SURVEYOR.
 In accordance with
 Regulation 1026, Section 29(3).

70 BROOKFIELD RD

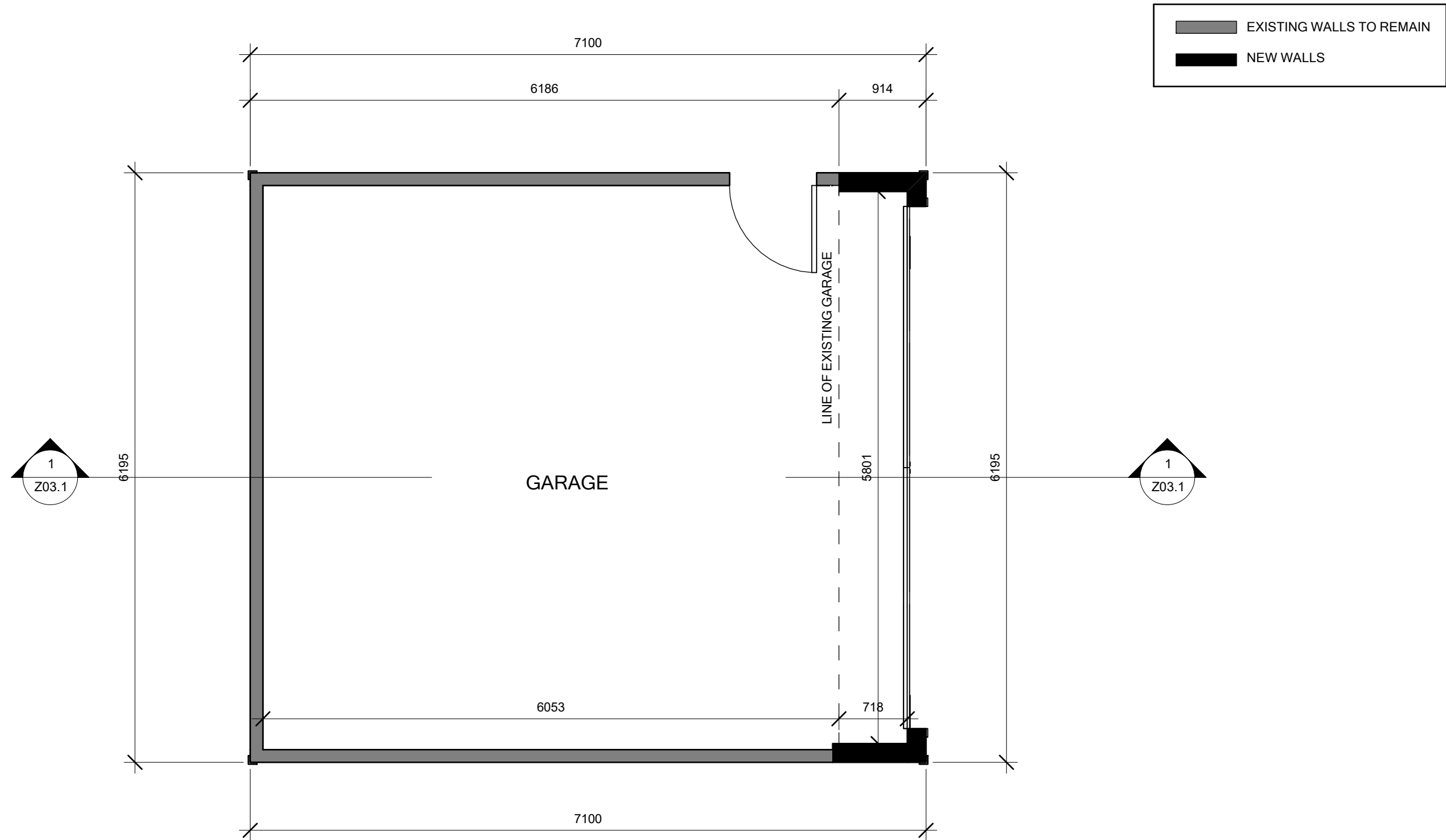


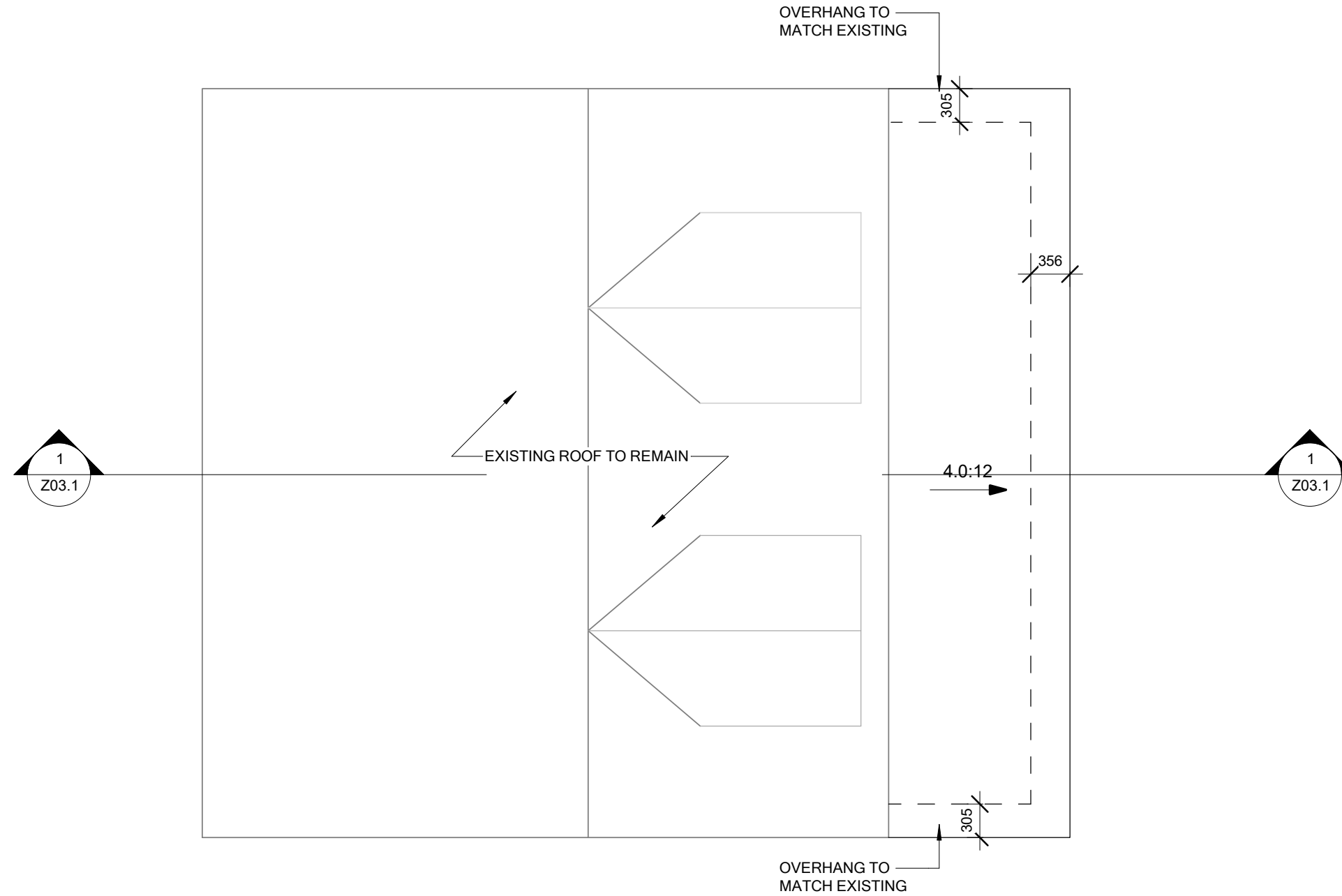


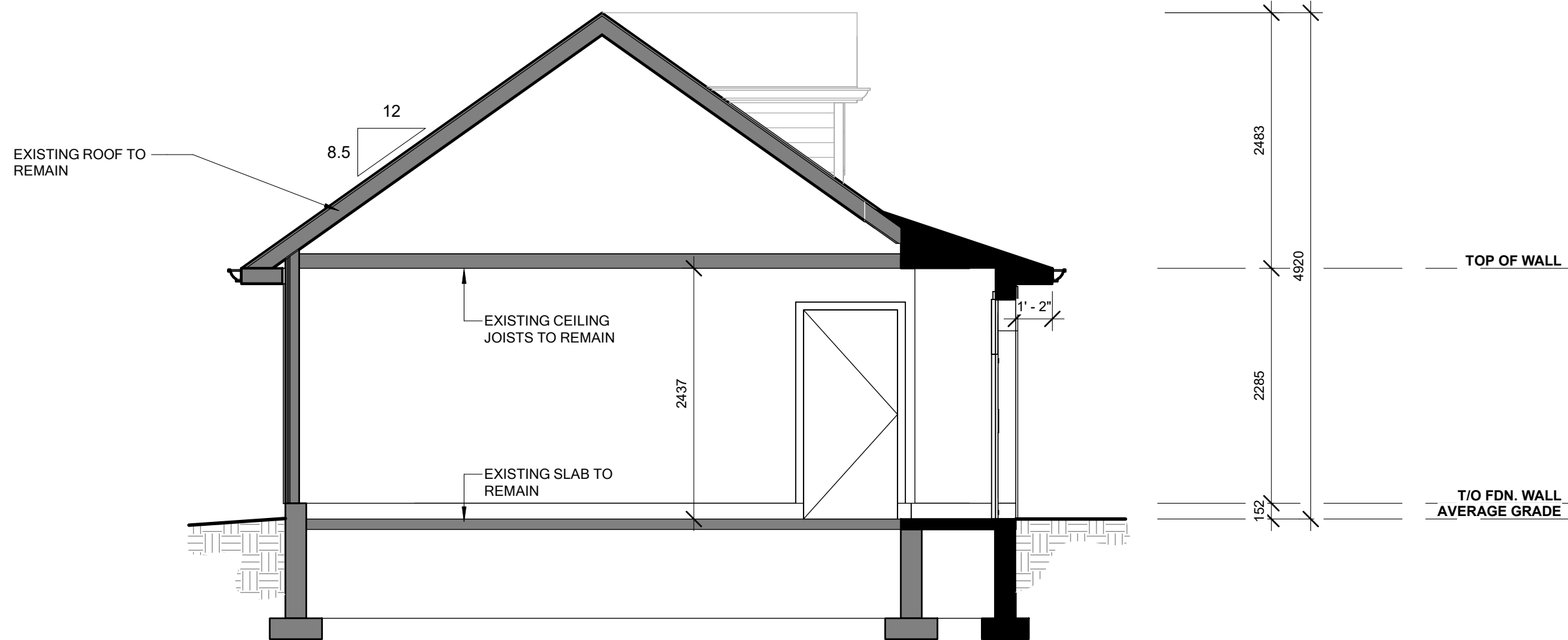
no.70
NEW SINGLE
DETACHED
DWELLING TO BE
CONSTRUCTED PER
BUILDING PERMIT
24-104691

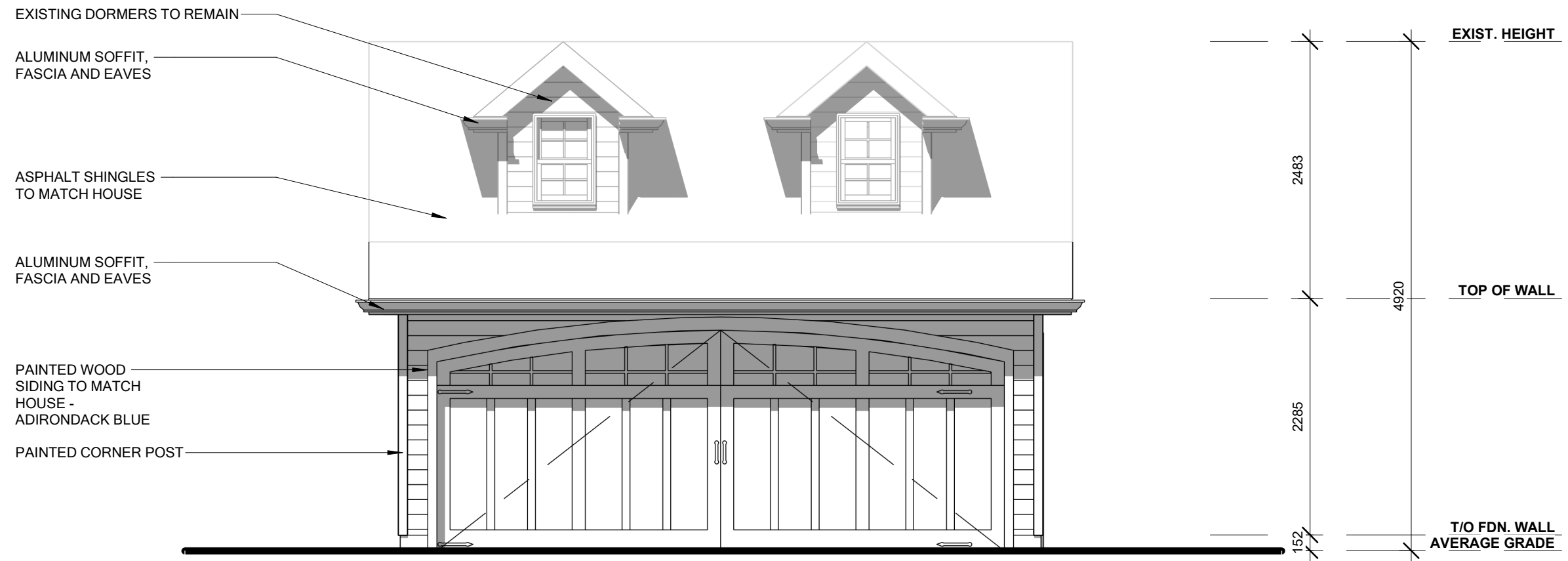
LOT 1
REGISTERED PLAN 1

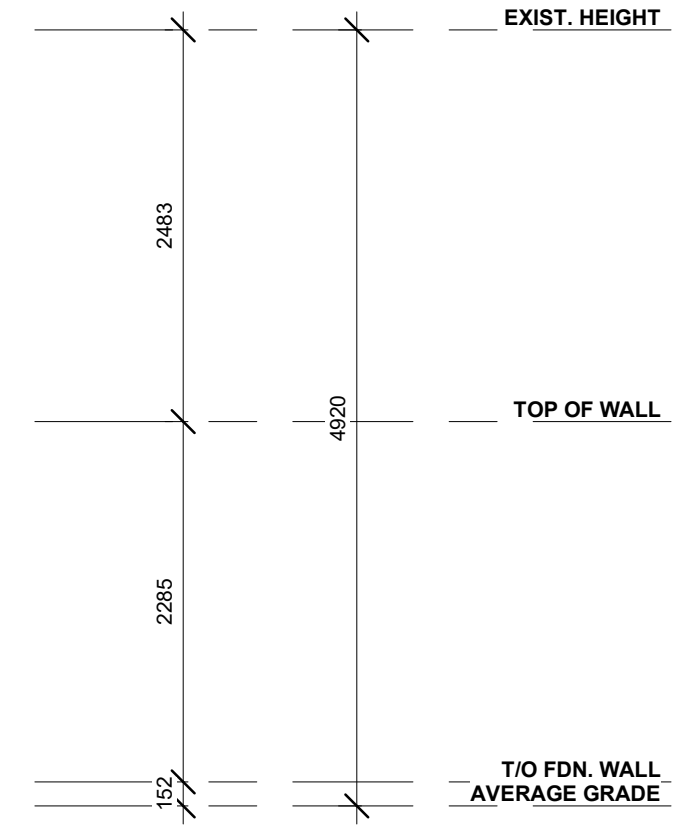
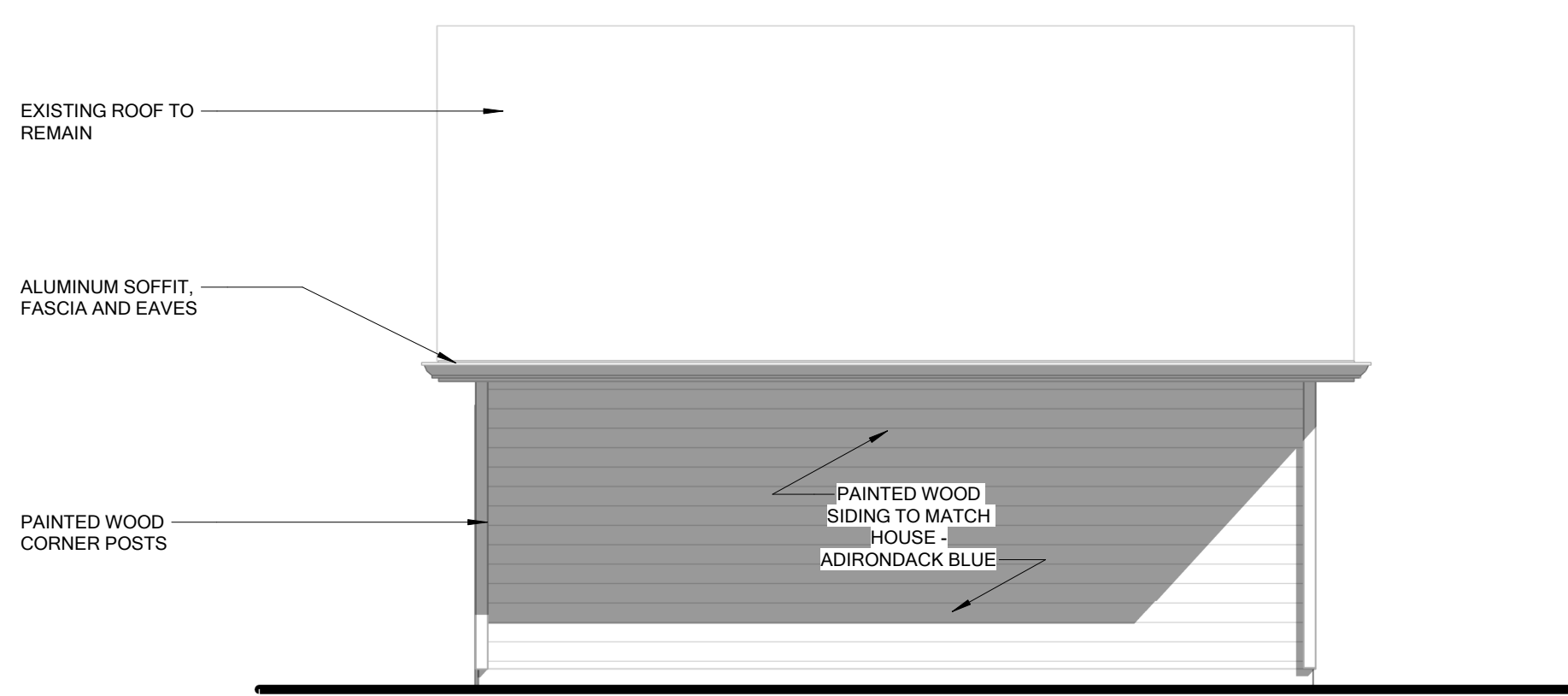
ZONING: RL4-0		LOT NO: 1		PLAN NO: 1		LOT AREA: 804.5m ²		LOT FRONTAGE: 21.30m		LOT DEPTH: 39.69m	
DESCRIPTION	EXISTING	ADDITION	TOTAL	%	ALLOWED	%	SETBACKS	EXISTING	REQUIRED	PROPOSED	
LOT COVERAGE	281.4m ²	5.66m ²	287.06m ²	35.6	281.42m ²	35	FRONT YARD	32.85m	26.8m	31.86m	
HEIGHT	4.92m		4.92m		4.0m		REAR YARD	0.67m	.61m	0.67m	
LOT COVERAGE BREAKDOWN								SIDE YARD (NORTH)	12.68m	.61m	12.68m
HOUSE	216.41m ²						SIDE YARD (SOUTH)	0.37m	.61m	0.37m	
COVERED PORCHS	26.68m ²										
EXISTING GARAGE	38.31m ²										
GARAGE ADDITION	5.66m ²										
TOTAL	287.06m ²										

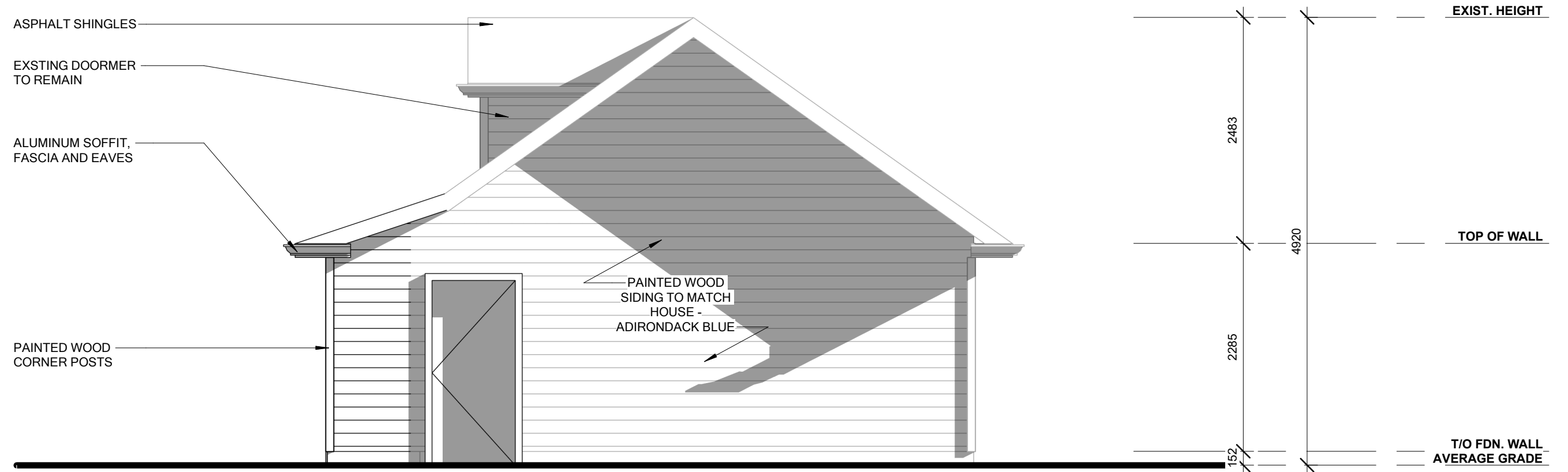


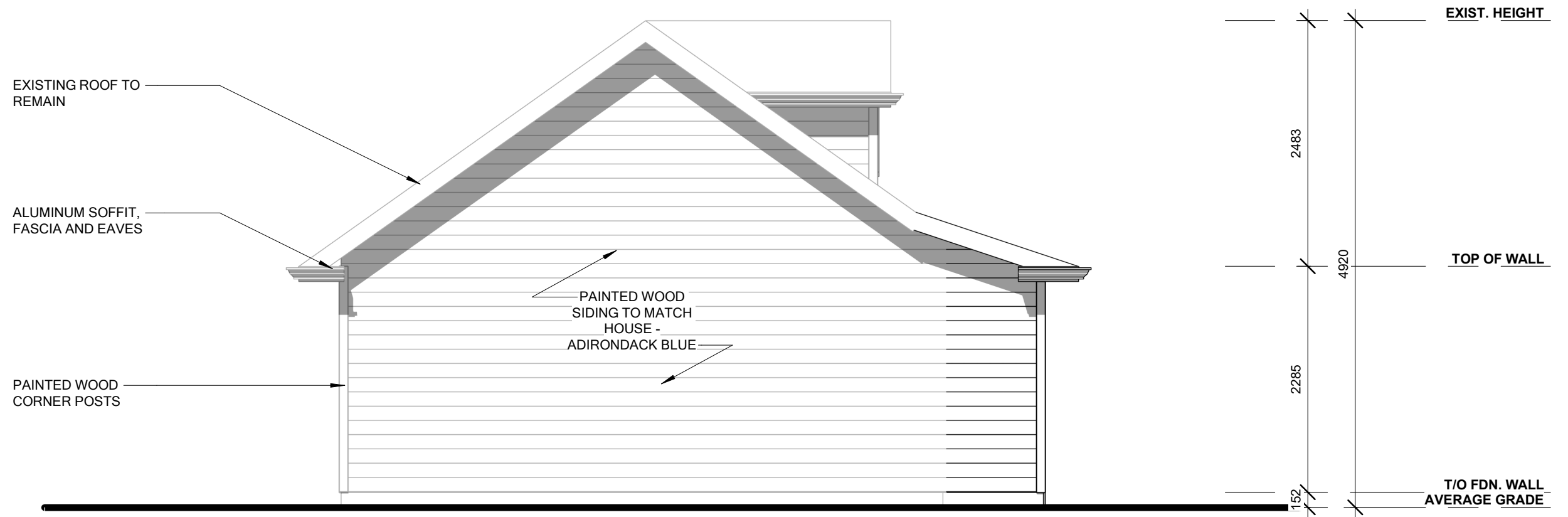














Prepared for:

Greenlee Design Studio
brad@greenleedesignstudio.com
905-979-4576

Project Address:

70 Brookfield Road, Oakville, Ontario
DENG File #n/a

Data Collection and Report Prepared by:
Stephen Shelton ON-0542AT, TRAQ 1589
steve@summitsks.ca
25 September 2023

Arborist Report - 70 Brookfield Road , Oakville, Ontario

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Arborist Report - 70 Brookfield Road , Oakville, Ontario

Summit SKS Limited have been retained by the property owner to prepare this Arborist Report and Tree Protection Plan for 70 Brookfield Road in Oakville, Ontario. The owner intends to demolish the existing house and build a new one. The tree assessment was completed on the 30th day of July 2023. All field and appraisal work was conducted by qualified consultants as defined by the Town and in accordance with Private Tree Protection By-Law 2017-038. A Tree Protection Agreement will be required for this project.

The purpose of this report is to inventory and assess trees 15cm in diameter, measured at breast height and larger on the subject property, in the city road allowance adjacent to the property and any trees within 6m of the property line. There are four (4) trees that are recommended for removal as a result of this proposed construction or their current condition.

Municipally Owned Trees

Tree number M1 is a 18cm dbh Dogwood that is growing near the street in front of the house. This tree is in fair condition and requires a tree protection zone of 2.4m.

Tree number M2 is a 11cm dbh Lilac Ivory Silk that is growing near the street in front of the house. This tree is in fair condition and requires a tree protection zone of 2.4m.



Tree Number	Tree Species	Diameter of Appraised Tree (cm)	Area Of Appraised Tree (cm)	Diameter of Replacement Tree (cm)	Area of the Replacement Tree (cm)	Cost of Replacement Tree	Basic Price	Species Rating	Basic Value	Location Rating	Condition Rating	Appraised Value
M1	Dogwood	11	94.985	6	28.26	650	23.00071	72.00%	1831.736	80.00%	75.00%	3042
M2	Ivory Silk Lilac	18	254.34	6	28.26	750	26.53928	77.00%	5070	80.00%	75.00%	1099.04167

Arborist Report - 70 Brookfield Road , Oakville, Ontario

Neighbouring Trees

Tree number N1 is a 40cm dbh White Spruce that is growing near the east property line in the backyard of 193 Lakewood Drive. This tree is in poor condition and requires a tree protection zone of 3m.

Privately Owned Trees

Tree number P1 is a 30cm dbh Spruce White that is growing near the north side of the front lawn. This tree is in fair condition and requires a tree protection zone of 3.0m.

Tree number P2 is a 49cm dbh Pine Eastern White that is growing near the north east corner of the existing house. This tree is in fair condition however it is recommended for removal due to development impacts.

Tree number P3 is a 15cm dbh Mulberry White that is growing near the north property line. This tree is in poor condition and is recommended for removal.

Tree number P4 is a 15cm dbh Mulberry White that is growing near the north property line. This tree is in poor condition and is recommended for removal.

Tree number P5 is a 38cm dbh Maple Manitoba that is growing near the north west corner of the existing house. This tree is in fair condition however it is recommended for removal due to development impacts.

All protective tree hoarding shall be installed prior to commencement of any construction activities as per Town of Oakville specifications.

Tree #	Common Name	Latin Name	DBH (cm)	Height (m)	Crown Reserve (m)	Crown Height (m)	Canopy Cover Area (m)	Health	Structure	TPZ (m)	Site Plan Results
M1	Dogwood	Cornus spp.	18	7	4	5	16	fair	fair	2.4m	preserve
M2	Lilac Ivory Silk	Syringa reticulata 'Ivory Silk'	11	4	2	3	4	fair	fair	2.4m	preserve
N1	Spruce White	Picea glauca	40	10	5	7	25	poor	poor	3m	preserve
P1	Spruce White	Picea glauca	30	9	6	9	36	fair	fair	3.0m	preserve
P2	Pine Eastern White	Pinus strobus	49	12	9	10	81	fair	fair	3.0m	remove
P3	Mulberry White	Morus alba	15	8	3	7	9	fair	poor	2.4m	remove
P4	Mulberry White	Morus alba	15	8	3	5	9	fair	poor	2.4m	remove
P5	Maple Manitoba	Acer negundo	38	11	7	8	49	fair	poor	3.0m	remove

Tree ownership is indicated by the tree naming system, tree names beginning with the letter M are municipally owned, tree names beginning with the letter N are on neighbouring properties within 6m of the property line and tree names beginning with the letter P are privately owned and on the subject property.

Arborist Report - 70 Brookfield Road , Oakville, Ontario

Limitations of Assessment

It is the policy of Summit SKS Limited to attach the following clause in regards to limitations. This is to ensure that the client is fully aware of what is technically and professionally realistic in the preservation and assessment of trees in the urban environment.

The assessment of the trees in this report has been done in conjunction with and according to accepted arboriculture methods and techniques. These include an examination of the above ground parts of the tree for structural defects, scars, cracks, the overall condition of the visible root structures, the severity and direction of lean (if any), the general condition of the trees and the surrounding environment, external indications of decay such as fungal fruiting bodies, evidence of attack by insects, symptoms of infestation and pathogens, discoloured foliage, and the proximity of potential targets should a tree fail. Except where specifically noted, the trees not cored, probed or climbed and there was no detailed inspection of the root crowns involving excavations, or samples taken to be scientifically tested.

Notwithstanding the recommendations and conclusions presented in this report, it must be acknowledged that trees are living organisms. They are not immune to changes in site conditions, dramatic weather events or seasonal variations in climate. Therefore it should always be recognized that trees are ever evolving and their health and vigour constantly vary over time. While all reasonable efforts have been made to ensure that the subject trees are healthy, no guarantees are offered or implied that these trees or part(s) of any trees will remain intact.

It is professionally and practically impossible to predict with absolute certainty the behaviour of any tree or its component parts under all circumstances and variables. Most trees have the potential for failure under adverse weather conditions and the risk can only be completely eliminated if the tree is removed. Inherently, a standing tree will always pose some level of risk. Although every effort has been made to ensure that this assessment is reasonably accurate, trees should be re-assessed periodically. The assessment presented in this report is valid at the time of inspection.

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On Behalf of Summit SKS Limited



Stephen Shelton,
Certified Arborist ON-0542AT
TRAQ 1589





The International Society of Arboriculture

Hereby Announces That

Stephen W. Shelton

Has Earned the Credential

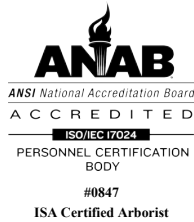
ISA Certified Arborist ®

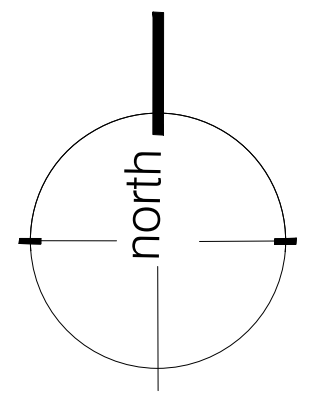
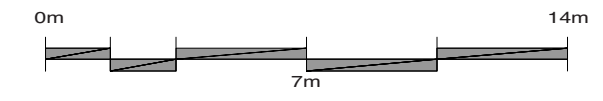
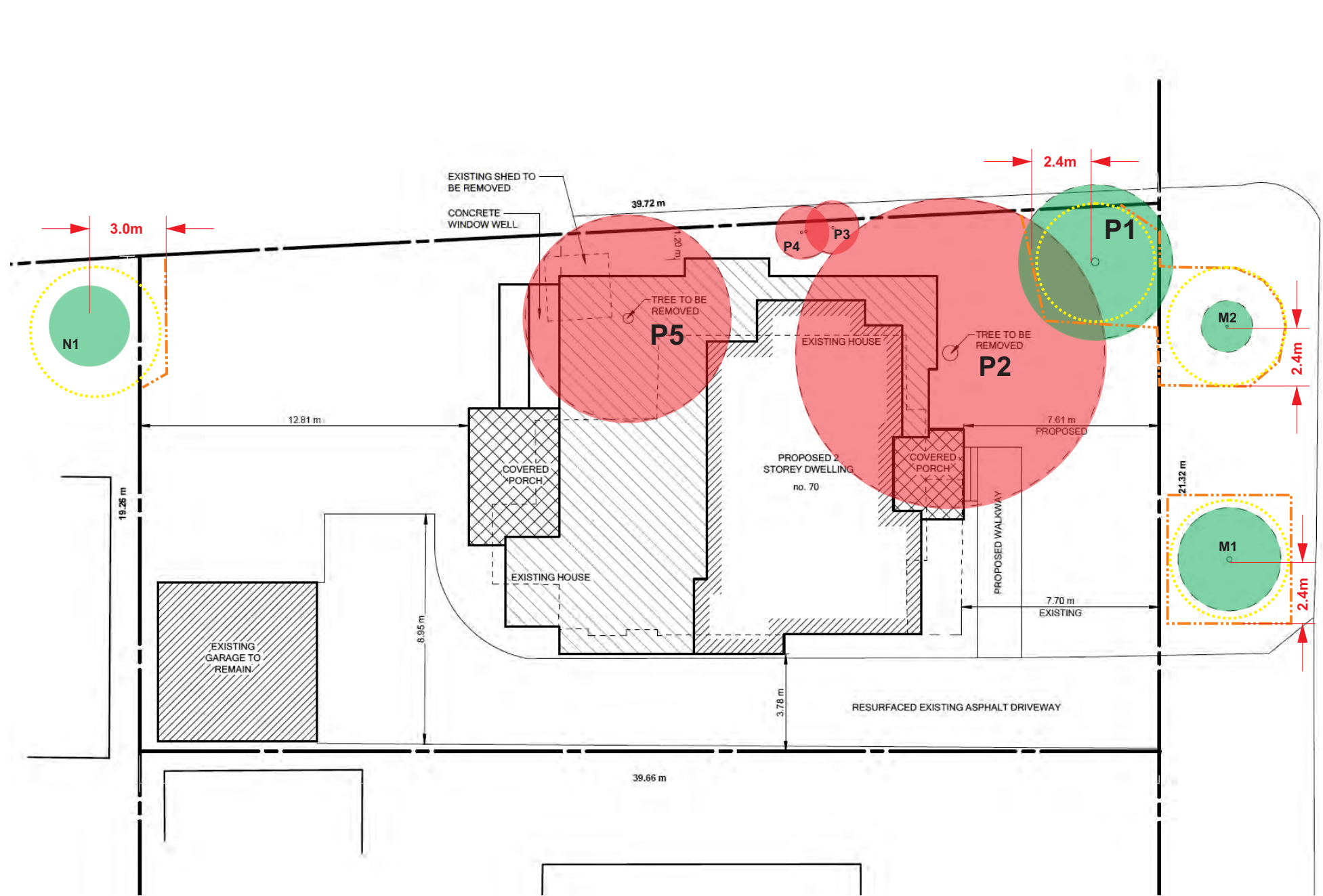
By successfully meeting ISA Certified Arborist certification requirements through demonstrated attainment of relevant competencies as supported by the ISA Credentialing Council

Caitlyn Pollihan

Caitlyn Pollihan
CEO & Executive Director

18 March 2000	30 June 2024	ON-0542AT
Issue Date	Expiration Date	Certification Number





- LEGEND**
- property line
 - existing tree number (refer to chart)
 - existing vegetation to remain
 - existing vegetation to be removed
 - minimum tree protection zone (tpz)
 - tree protection
 - plan_ack ci r rppc jma_rgl q

SCHEDULE 1 TREE PROTECTION BARRIER

OAKVILLE

Tree Protection Barriers

- 1 Tree protection barriers must be 1.2m (4ft) high, waferboard hoarding or an equivalent approved by Urban Forestry Services.
- 2 Tree protection barriers for trees situated on the Town road allowance where visibility must be maintained can be 1.2m (4ft.) high and consist of plastic web snow fencing on a wood frame made of 2"x 4"s.
- 3 Where some excavate or fill has to be temporarily located near a tree protection barrier, plywood must be used to ensure no material enters the Tree Protection Zone.
- 4 All supports and bracing should be outside the Tree Protection Zone. All such supports should minimize damaging roots outside the Tree Protection Barrier.
- 5 No construction activity, grade changes, surface treatment or excavations of any kind is permitted within the Tree Protection Zone.

NOTE:
Vegetation inventory undertaken by Stephen Shelton, ISA Certified Arborist (ON-#0542AT)

REVISIONS/ SUBMISSIONS

#	DATE	DESCRIPTION
1	25/Sept/2023	1st Submission
2		
3		
4		
5		

CERTIFICATIONS

CLIENT
Greenlee Designs
MUNICIPALITY
Town of Oakville

PROJECT
Private Residence
70 Brookfield Road

MUNICIPAL FILE NUMBER
#- n/a
SHEET
Tree Protection Plan

Tree #	Common Name	Latin Name	DBH (cm)	Height (m)	Crown Reserve (m)	Crown Height (m)	Canopy Cover Area (m)	Health	Structure	TPZ (m)	Site Plan Results
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P5	Maple Manitoba	Acer negundo	38	11	7	8	49	fair	poor	3.0m	remove

SUMMIT
PROFESSIONAL CONSULTING ARBORISTS

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