



600 Zenway Blvd Unit 5
Woodbridge, ON, L4H 3M9
PH: +1 887 707 7427
info.canada@lumon.com

ENGINEER'S SEAL:



2024-03-04

STRUCTURAL REVIEW

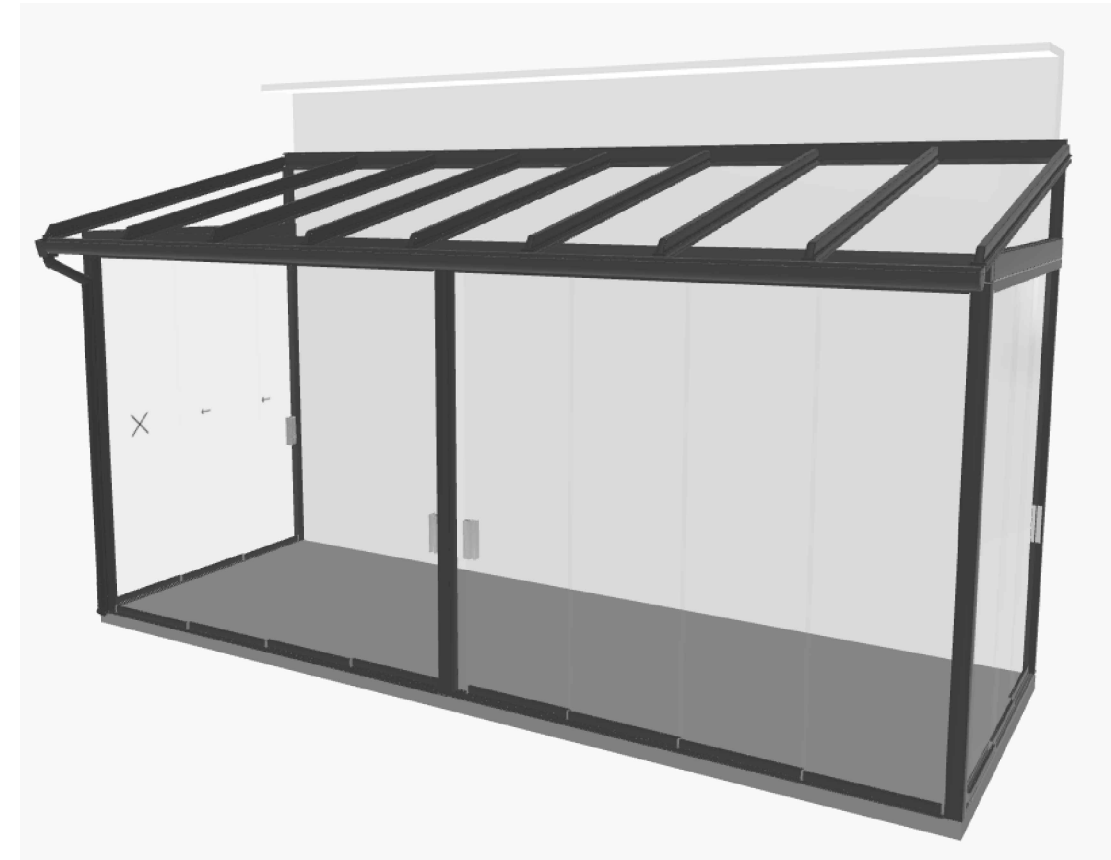
PERMIT TO PRACTICE:

REVISION		ISSUE TABLE	
No.	Description	Date	



PATIO 1

LUMON VT4 ROOF COVER ATTACHED TO THE SIDE OF THE HOUSE.
ROOF COVER ONLY, SPACE IS OPEN TO THE OUTDOORS.
ST#50642859



PATIO 2

LUMON 3 SEASON SUNROOM ATTACHED TO THE REAR SIDE OF THE HOUSE.
UNHEATED SPACE THAT OPENS TO OUTDOORS WITH SLIDING GLASS PANELS.
ST#50734810

GURLEEN PANNUN
235 WILLOWRIDGE CRT, OAKVILLE, L6L 5J1

SHEET LIST		SHEET LIST	
NO.	TITLE	NO.	TITLE
L0.1	COVER PAGE	L2.1	PATIO 2 - CONCRETE PAD PLAN
L0.2	NOTES	L2.2	PATIO 2 - COVER PLAN
L0.3	SITE PLAN	L2.3	PATIO 2 - ELEVATION
L1.1	PATIO 1 - COVER PLAN	L2.4	PATIO 2 - ELEVATION
L1.2	PATIO 1 - ELEVATION	L2.5	PATIO 2 - ELEVATION
L1.3	PATIO 1 - ELEVATION	L2.6	PATIO 2 - DETAILS
L1.4	PATIO 1 - ELEVATION	L2.7	PATIO 2 - DETAILS
L1.5	PATIO 1 - DETAILS	L2.8	PATIO 2 - DETAILS
L1.6	PATIO 1 - DETAILS		

GURLEEN PANNUN

235 WILLOWRIDGE CRT,
OAKVILLE, L6L 5J1

COVER PAGE

PROJECT NUMBER	50642859 & 50734810
DATE	09 JAN 2024
DRAWN BY	P.P
CHECKED BY	G.A
	L0.1
Scale	NTS

LUMON NOTES:

1. OPENINGS ARE TO BE CONSTRUCTED LEVEL AND TRUE TO LINE.
2. OPENINGS ARE TO BE SQUARE TO 6mm (1/4") TOLERANCE. CURBS/BALCONY SLAB TO BE LEVEL TO 6mm (1/4") TOLERANCE. HEADER/BALCONY SLAB ABOVE TO BE LEVEL TO 6mm (1/4") TOLERANCE.
3. LUMON RETRACTABLE GLAZING SYSTEM IS TOP HUNG AND BOTTOM GUIDE. ALLOWABLE DEFLECTION IS 8mm.
4. AT THE CONNECTION POINT, THE LUMON RAILING SYSTEM REQUIRES MIN 2 PLYS OF 2x WOOD BLOCKING OR MIN 4" THICK CONCRETE OR STEEL/ALUMINUM PLATES/BRACKETS DESIGNED AND INSTALLED BY OTHERS.

GENERAL NOTES

1. THESE DRAWINGS DETAIL THE INSTALLATION.
2. STRUCTURE AND ALL MATERIALS ARE IN ACCORANCE WITH CURRENT EDITIONS OF THE 2012 ONTARIO BUILDING CODE.
3. CONSTRUCTION OF EXISTING STRUCTURE (i.e FOUNDATION WALLS, FOOTING, EXTERIOR WALLS AND SHEATHING ARE ASSUMED TO BE IN ACCORDANCE WITH REQUIREMENT OF PART 4 OR PART 9 OF ONTARIO BUILDING CODE. LATERAL LOAD OF THE SUNROOM (WIND AND SEISMIC) IS ASSUMED TO BE RESISTED BY THE MAIN STRUCTURE. EXISTING STRUCTURE WHICH SUPPORTS THE SUNROOM IS REQUIRED TO SATISFY THE FOLLOWING REQUIREMENTS (TO BE VERIFIED):
4. IN CASE OF LUMON ROOFING SYSTEM:
 - *STUD WALL WITH SHEATHING: 2 x 6 SPRUCE-PINE-FIR NO. 1 / NO. 2 @ 16" OR BETTER.
 - *OPENING LINTELS: 4 PLY 1 3/4" x 9 1/2" 2.0 E MICROLLAM LVL OR BETTER.
 - *MINIMUM FOOTING SIZE 29" WIDE AND 10.5" THICK
 - *MINIMUM CONCRETE WALL THICKNESS: 8" AND Laterally supported to the floor

NOTES:

- FOLLOW ALL NOTES AND RECOMMENDATIONS CONTAINED WITHIN THESE DRAWINGS.
- CONSULT SEALING ENGINEER IF SITE CONDITIONS ARE DIFFERENT FROM WHAT SHOWN ON THE DRAWINGS OR ABOVE MENTIONED ASSUMPTIONS.

DESIGN CRITERIA

LOCATION FOR ENVIRONMENTAL DATA:
OAKVILLE, ON

1. PREVAILING CODE : OBC 2012
2. SNOW LOAD : $S_s = 1.1 \text{ kPa}$
3. RAIN LOAD : $S_r = 0.4 \text{ kPa}$
4. WIND LOAD :
5. 1 in 10 : 0.36 kPa
6. 1 in 50 : 0.47 kPa
7. DEAD LOAD : 0.49 kPa
8. SEISMIC DATA
 - $S_a (0.2)$: 0.260
 - $S_a (0.5)$: 0.129
 - $S_a (1.0)$: 0.062
 - $S_a (2.0)$: 0.029
 - PGA : 0.167

PATIO 1

LOCATION:	CASE:	VERTICAL:	HORIZONTAL:
MIDDLE COLUMN (kN)	DEAD	1.48	n/a
	SNOW	5.66	n/a
	WIND(L)	-4.18	0.06
	WIND(T)	-4.18	0.03
CORNER COLUMN (kN)	DEAD	0.99	n/a
	SNOW	3.81	n/a
	WIND(L)	-2.82	0.03
	WIND(T)	-2.82	0.03
	SEISMIC	n/a	0.09

PATIO 2

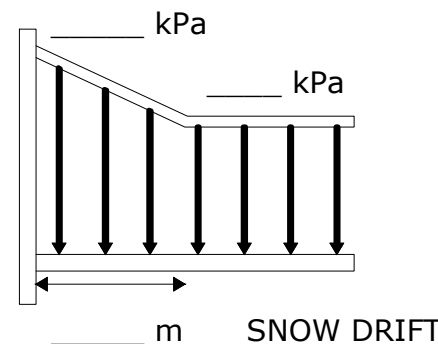
LOCATION:	CASE:	VERTICAL:	HORIZONTAL:
MIDDLE COLUMN (kN)	DEAD	1.37	n/a
	SNOW	5.26	n/a
	WIND(L)	-3.89	2.14
	WIND(T)	-3.89	0.51
CORNER COLUMN (kN)	DEAD	0.69	n/a
	SNOW	2.63	n/a
	WIND(L)	-1.95	1.07
	WIND(T)	-1.95	0.51
	SEISMIC	n/a	0.12

- * LOADS ARE UN-FACTORED
- * L IS PARALLEL TO THE MAIN BLDG WALL
- * T IS PERPENDICULAR TO MAIN BLDG WALL
- * +/- TO BE CONSIDERED FOR WIND AND SEISMIC
- * + IS DOWNWARD LOAD

DEFLECTION CRITERIA

ROOF BEAM :L/120
 REAR BEAM :L/200
 FRONT BEAM :L/200
 TEMPERED GLASS :MIN (W/20,76.2mm)

VERIFICATION OF EXISTING CONCRETE PAD IS IN THE SCOPE OF THIS DRAWINGS AND STAMP.



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			02	ISSUED FOR P.ENG REVIEW	10 JAN 2024
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			04	CITY REQUIREMENTS REV	16 FEB 2024
			05	CH AGREEMENT ADDITION	01 MAR 2024

GURLEEN PANNUN

235 WILLOWRIDGE CRT,
 OAKVILLE, L6L 5J1

NOTES

PROJECT NUMBER 50642859 & 50734810

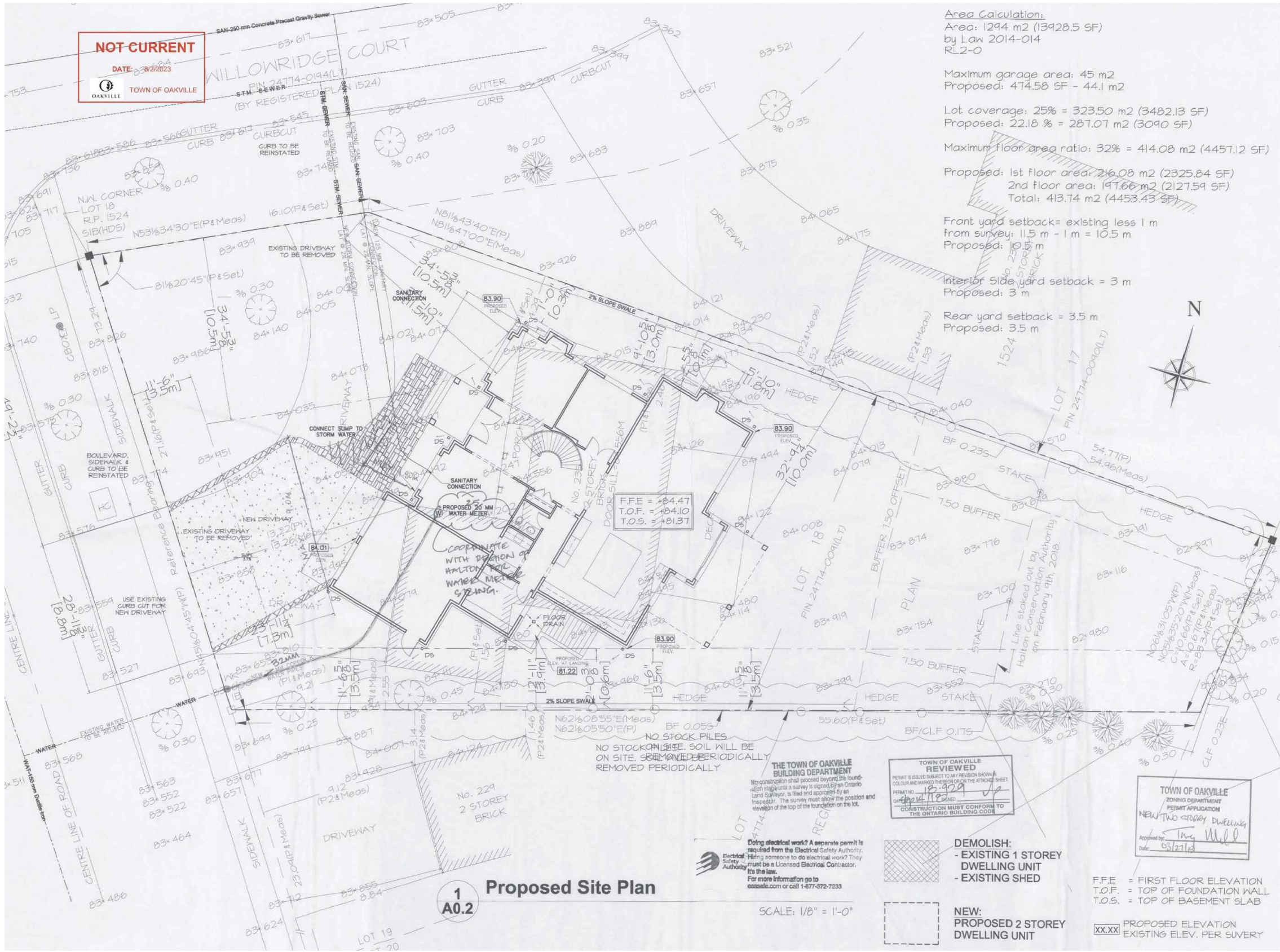
DATE 09 JAN 2024

DRAWN BY P.P

CHECKED BY G.A

L0.2

Scale NTS



Area Calculation:
 Area: 1294 m² (13928.5 SF)
 by Law 2014-014
 RL2-0

Maximum garage area: 45 m²
 Proposed: 474.58 SF - 44.1 m²

Lot coverage: 25% = 323.50 m² (3482.13 SF)
 Proposed: 22.18 % = 287.07 m² (3090 SF)

Maximum floor area ratio: 32% = 414.08 m² (4457.12 SF)
 Proposed: 1st floor area: 216.08 m² (2325.84 SF)
 2nd floor area: 197.66 m² (2127.59 SF)
 Total: 413.74 m² (4453.43 SF)

Front yard setback = existing less 1 m
 from survey: 11.5 m - 1 m = 10.5 m
 Proposed: 10.5 m

Interior side yard setback = 3 m
 Proposed: 3 m

Rear yard setback = 3.5 m
 Proposed: 3.5 m



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06	SPATIAL CALCULATION	25 MAR 2024

ISSUE TABLE

GURLEEN PANNUN

235 WILLOWRIDGE CRT,
 OAKVILLE, L6L 5J1

PREVIOUS SITE PLAN FOR REF.

PROJECT NUMBER	50642859 & 50734810
DATE	09 JAN 2024
DRAWN BY	P.P
CHECKED BY	G.A
Scale	L0.3
Scale	NTS

1 PREVIOUS SITE PLAN FOR REFERENCE
 SCALE: NTS



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ENGINEER'S SEAL:



2024-04-22
FOR STRUCTURAL REVIEW ONLY

PERMIT TO PRACTICE:

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06	SPATIAL CALCULATION	25 MAR 2024

GURLEEN PANNUN

235 WILLOWRIDGE CRT,
OAKVILLE, L6L 5J1

SITE PLAN

PROJECT NUMBER 50642859 & 50734810

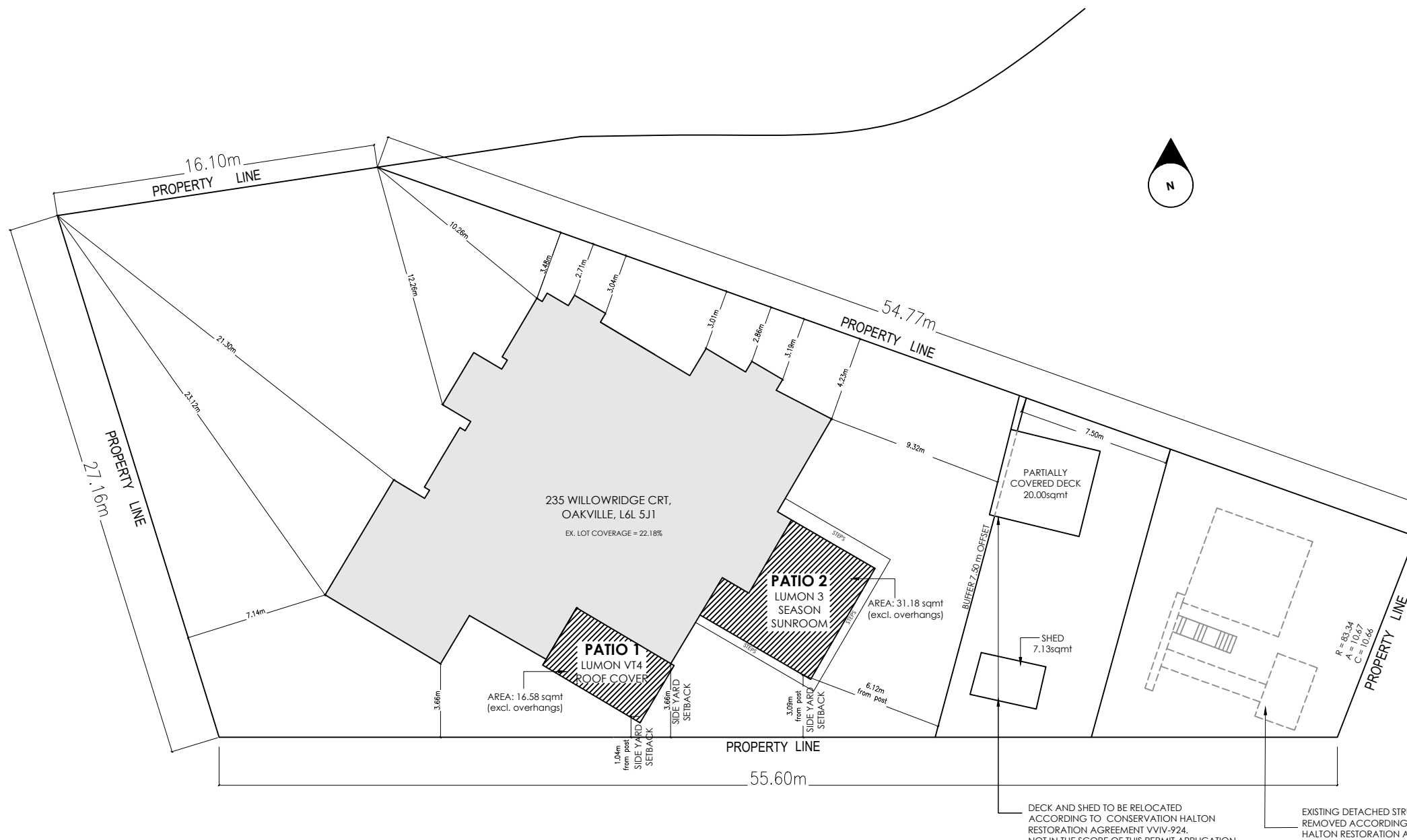
DATE 09 JAN 2024

DRAWN BY P.P

CHECKED BY G.A

L0.4

Scale 1:250



1 SITE PLAN
SCALE: 1:250

ZONING BY-LAW 2014-014

REGULATIONS IN THE RESIDENTIAL **RL2 ZONE**

MINIMUM REAR YARD SETBACK: 7.5m
MINIMUM INTERIOR SIDE YARD: 2.4m
MAXIMUM LOT COVERAGE FOR DETACHED DWELLING: 25%

AREA CALCULATIONS

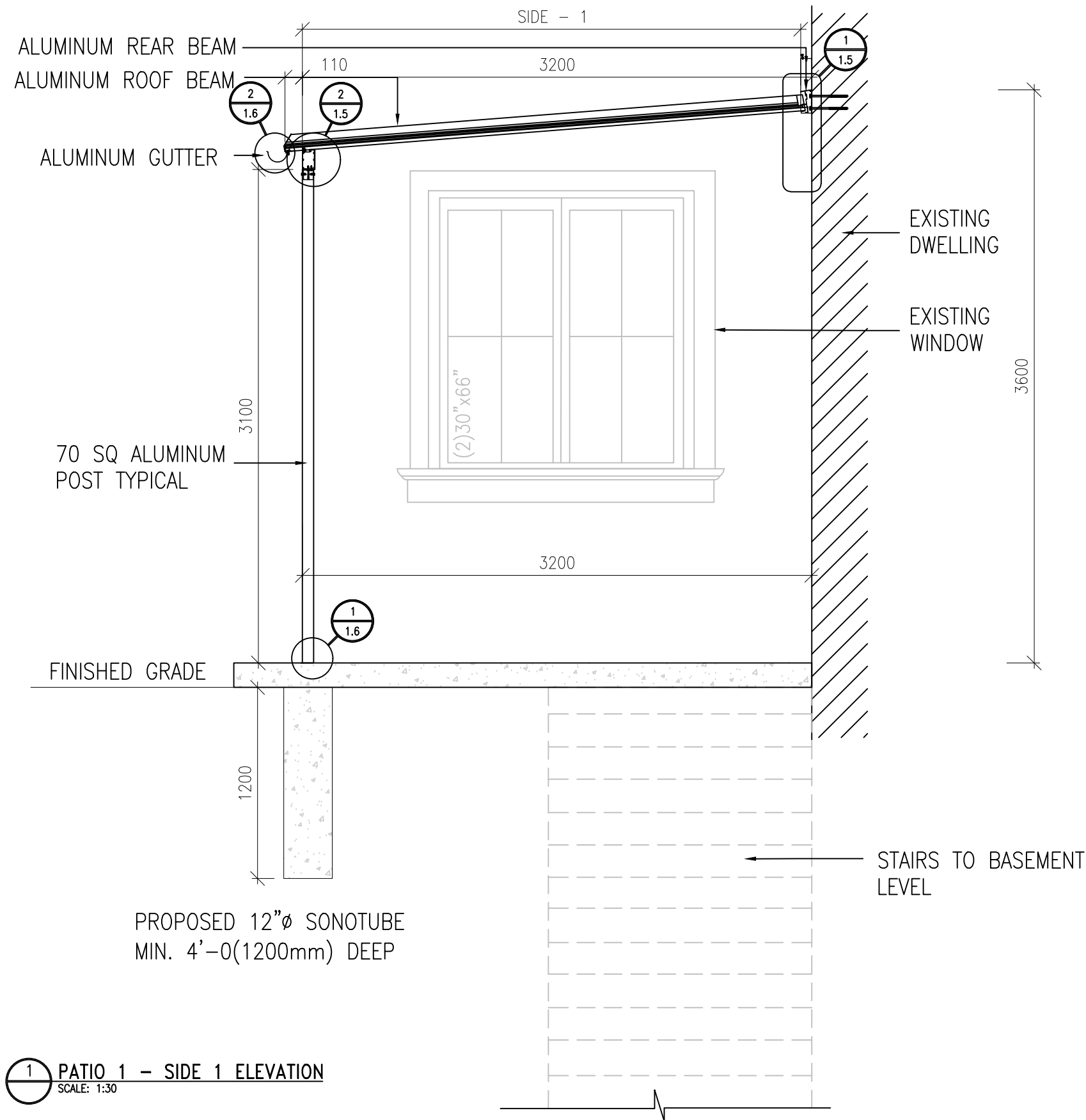
LOT AREA: 1,294.00 sqmt
EXISTING LOT COVERAGE: 287.07 sqmt
22.18%
PROPOSED PATIO 1 - LUMON COVER: 16.58 sqmt
PROPOSED PATIO 2 - LUMON 3-SEASONS SUNROOM: 31.18 sqmt
PROPOSED LOT COVERAGE: 334.83 sqmt
25.87%

SUMMARY

DESCRIPTION	EXISTING	ALLOWED	PROPOSED
SOUTH SIDE YARD SETBACK (PATIO 1)	3.66 m	2.40 m	1.04 m
SOUTH SIDE YARD SETBACK (PATIO 2)	3.66 m	2.40 m	3.09 m
LOT COVERAGE	22.18%	25.00%	25.87%

NOTES:

- EXISTING HOUSE REMAINS UNTOUCHED.
- FRONT YARD REMAINS UNTOUCHED.
- PATIO 1: ROOF COVER ONLY, SPACE IS OPEN TO THE OUTDOORS
- PATIO 2: PROPOSED LUMON 3-SEASONS SUNROOM IN REAR YARD UNHEATED SPACE AND OPENS TO OUTDOORS WITH SLIDING GLASS PANELS.



1 PATIO 1 - SIDE 1 ELEVATION
SCALE: 1:30



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PATIO 1 - ELEVATION

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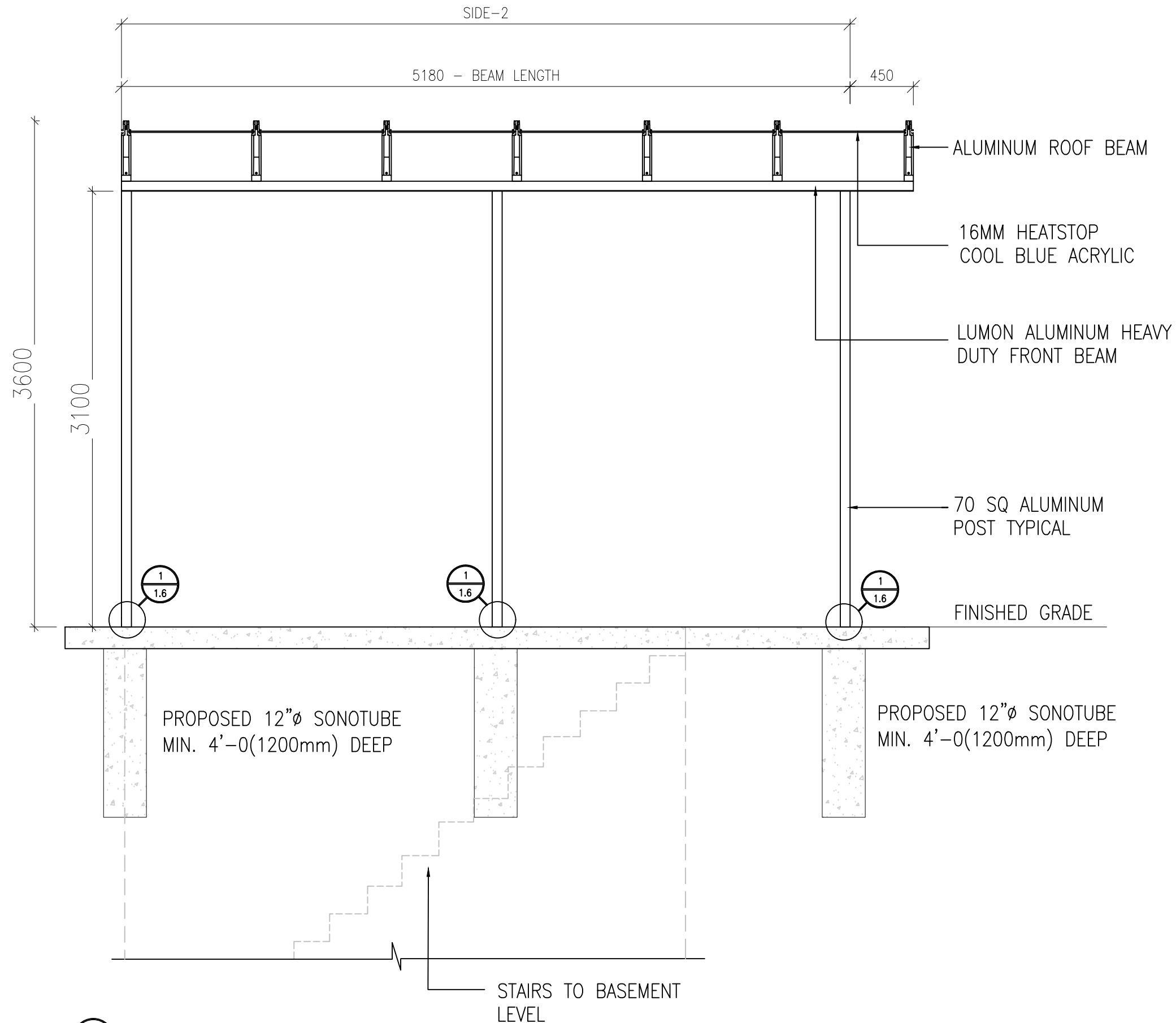
DATE 09 JAN 2024

DRAWN BY P.P

CHECKED BY G.A

L1.2

Scale 1:30



1 PATIO 1 - SIDE 2 ELEVATION
SCALE: 1:30



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PATIO 1 - ELEVATION

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L1.3

Scale 1:30



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 OAKVILLE, L6L 5J1

PATIO 1 - ELEVATION

PROJECT NUMBER 50642859 & 50734810

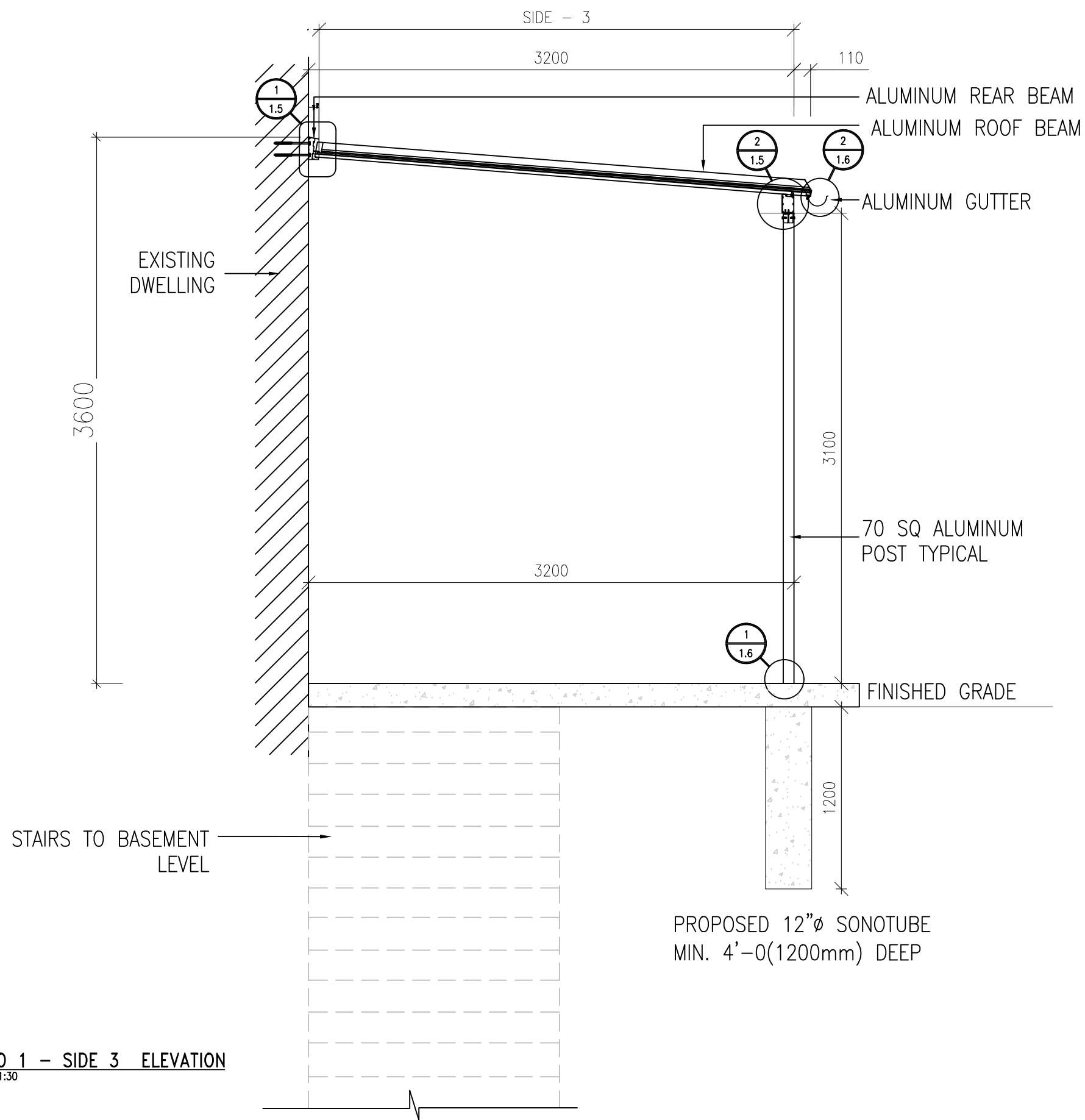
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L1.4

Scale 1:30



1 PATIO 1 - SIDE 3 ELEVATION
 SCALE: 1:30



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GURLEEN PANNUN

235 WILLOWRIDGE CRT,
 OAKVILLE, L6L 5J1

PATIO 2 - ELEVATION

PROJECT NUMBER 50642859 & 50734810

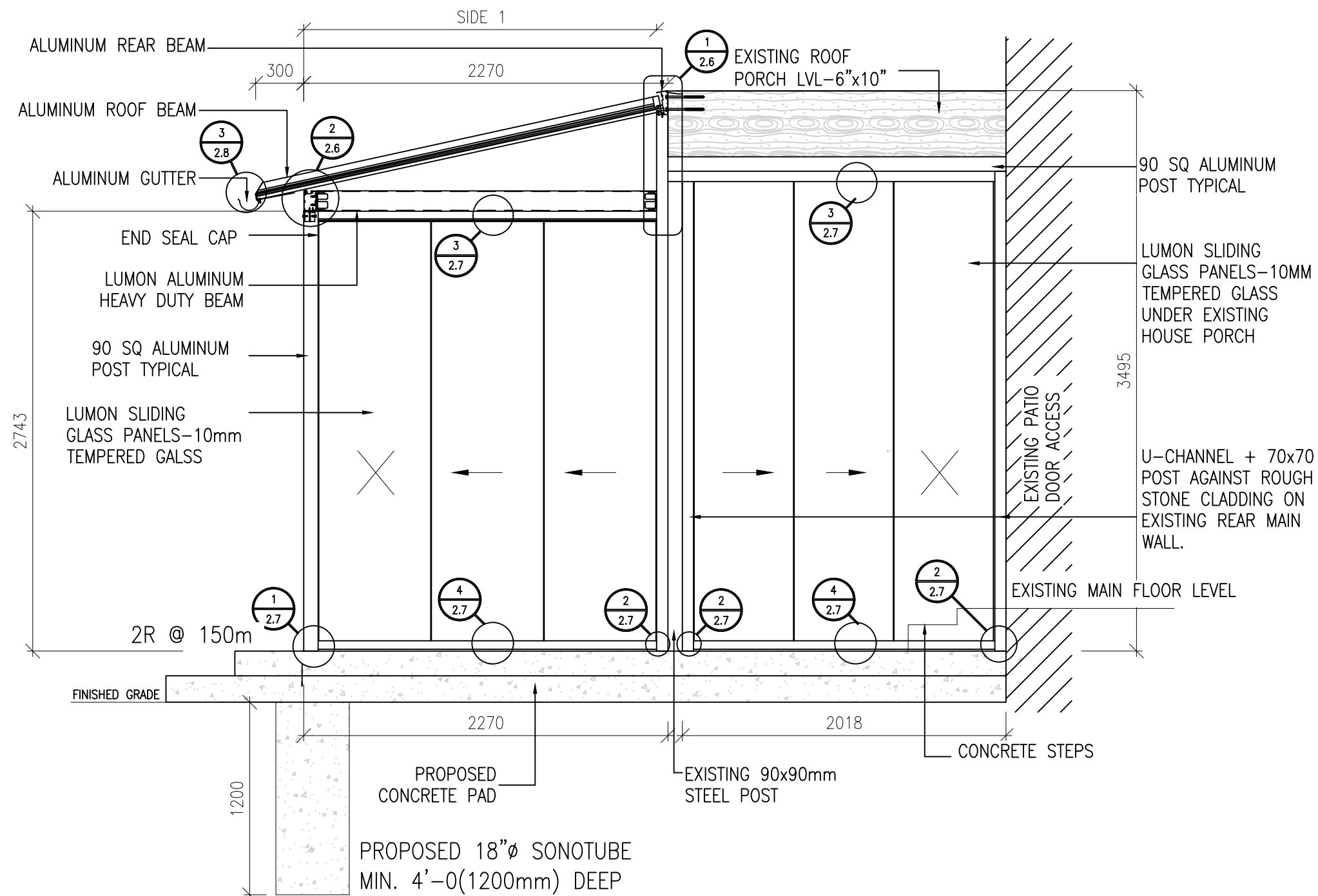
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CHECKED BY G.A

L2.3

Scale 1:30



1 PATIO 2 - SIDE 1 ELEVATION
 SCALE: 1:30



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PATIO 2 - ELEVATION

PROJECT NUMBER 50642859 & 50734810

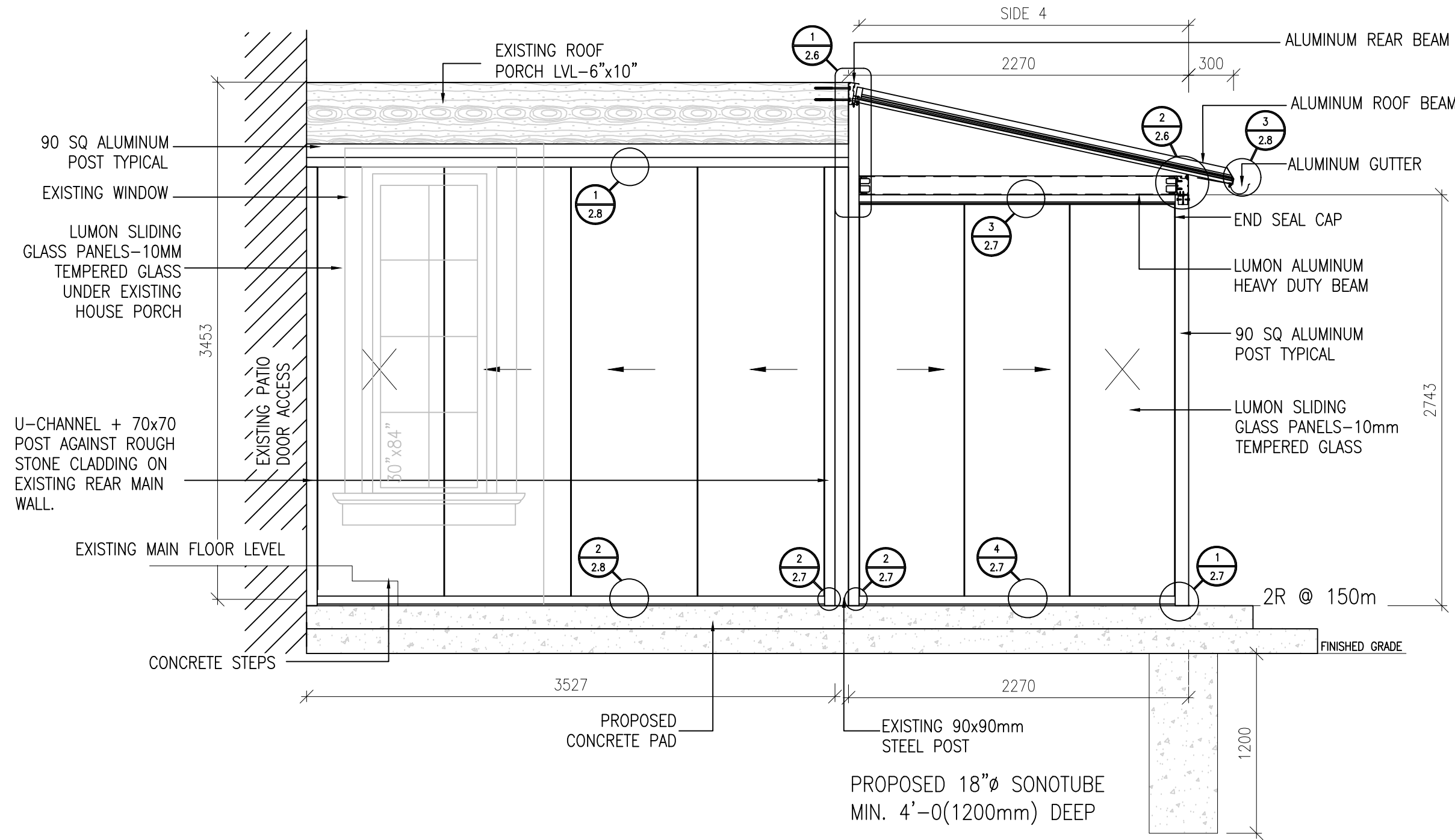
DATE 09 JAN 2024

DRAWN BY P.P

CHECKED BY G.A

L2.5

Scale 1:30



1 PATIO 2 - SIDE 4 ELEVATION
SCALE: 1:30



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235 WILLOWRIDGE CRT,
OAKVILLE, L6L 5J1

PATIO 2 - ELEVATION

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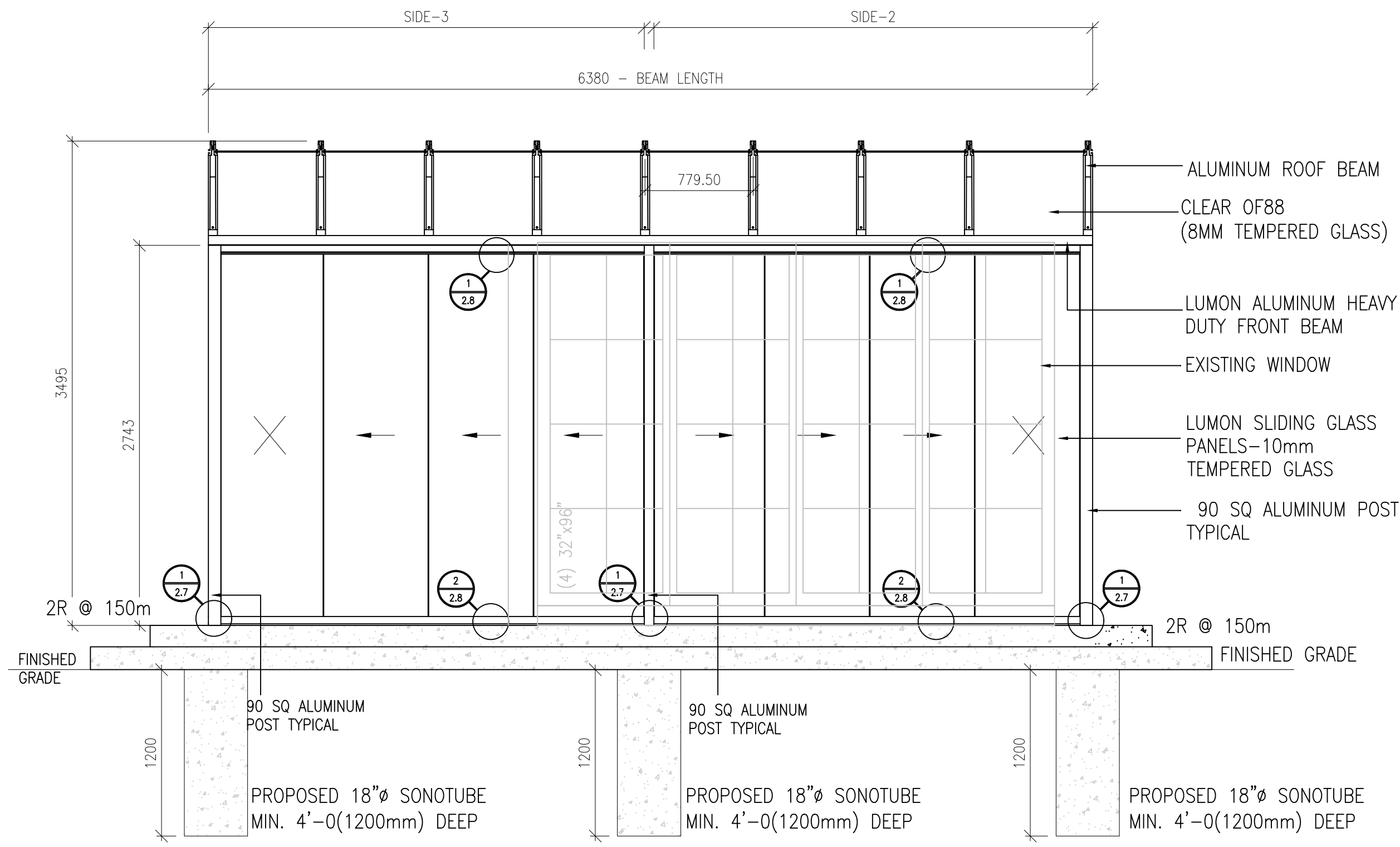
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L2.4

Scale 1:30



1 PATIO 2 - SIDE 2 & 3 ELEVATION
SCALE: 1:30



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GURLEEN PANNUN

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PATIO 1 - COVER PLAN

PROJECT NUMBER 50642859 & 50734810

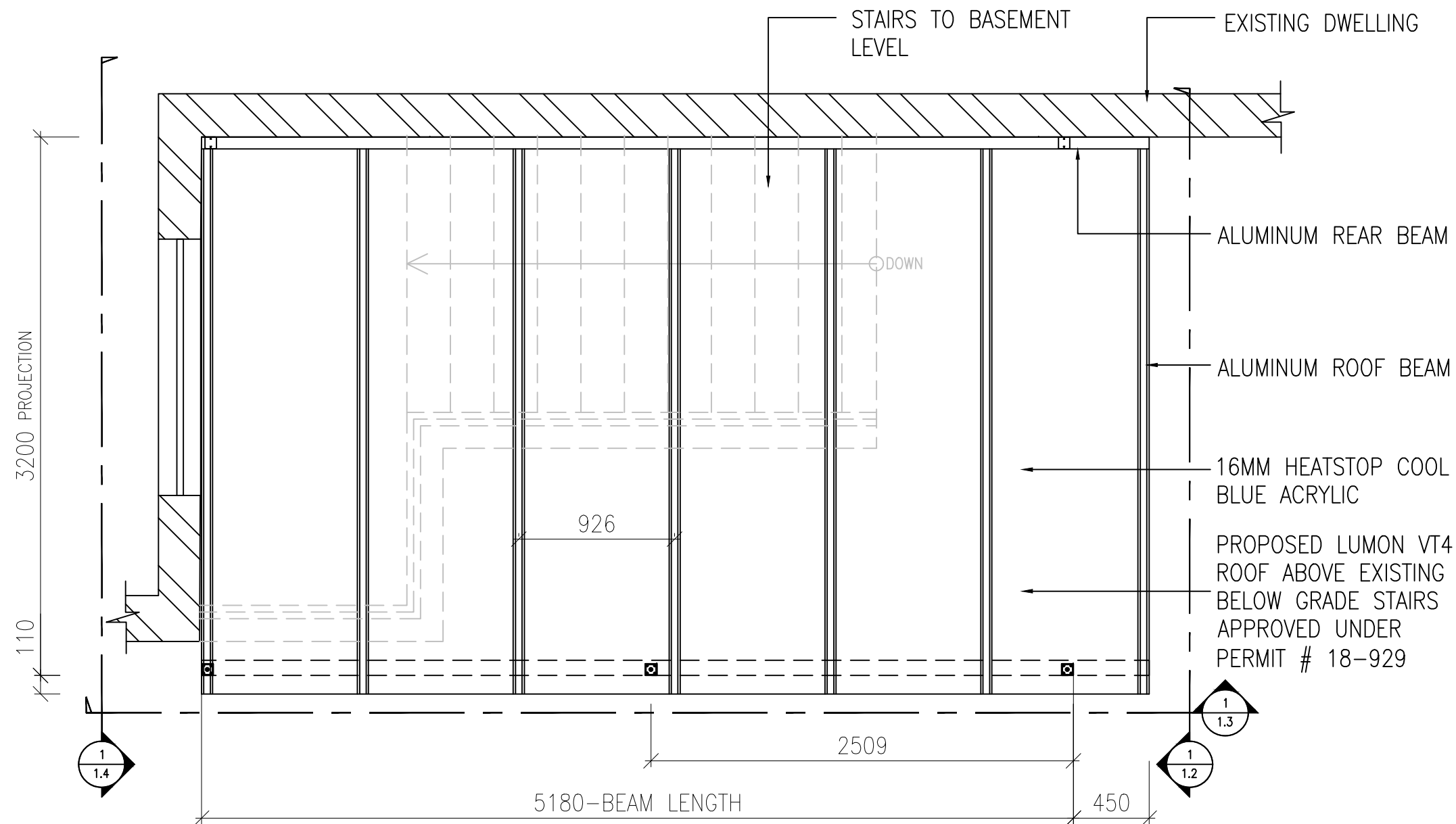
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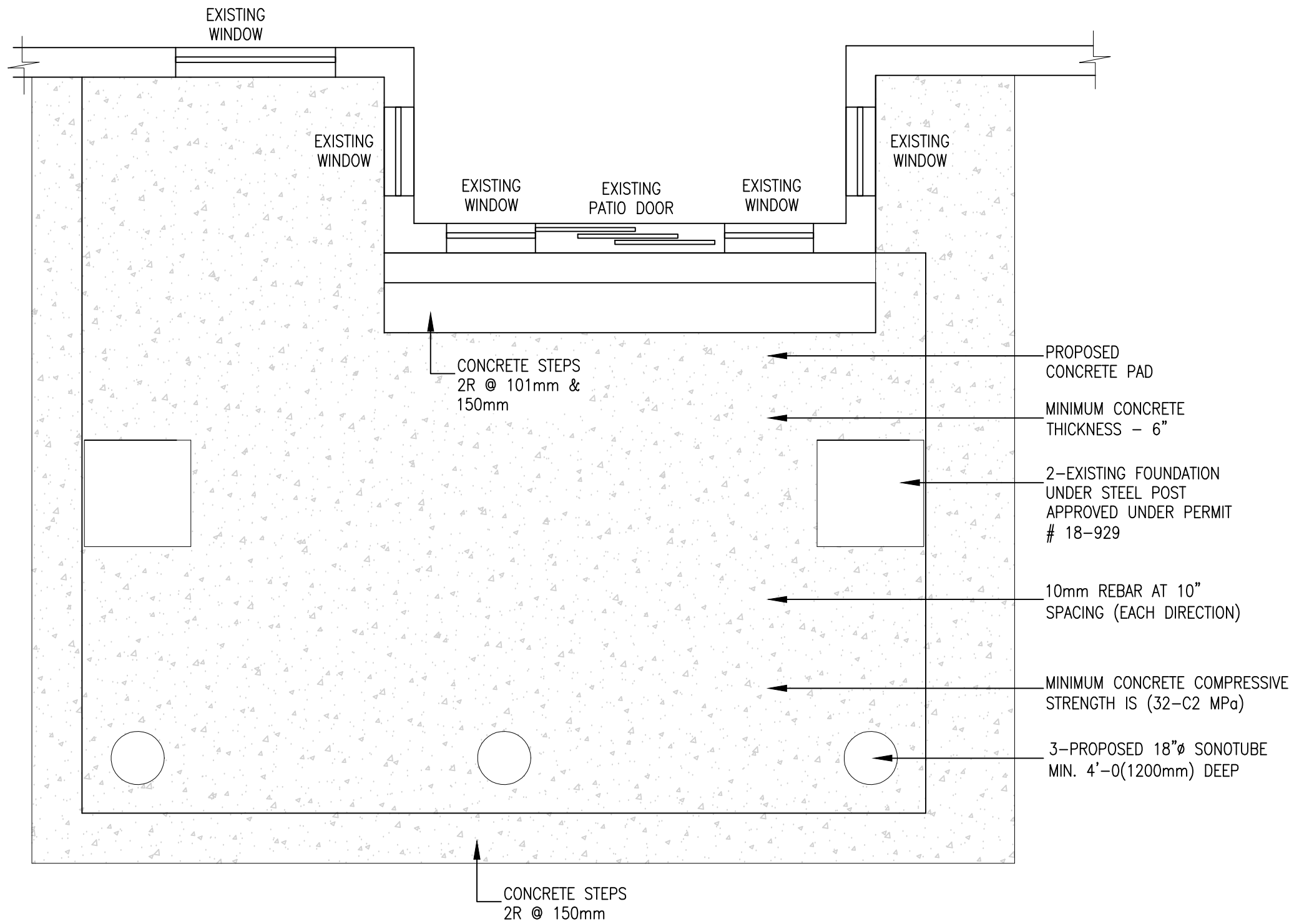
CHECKED BY G.A

L1.1

Scale 1:30



1 PATIO 1 - COVER PLAN
 SCALE: 1:30



1 PATIO 2 - CONCRETE PAD PLAN
SCALE: 1:40



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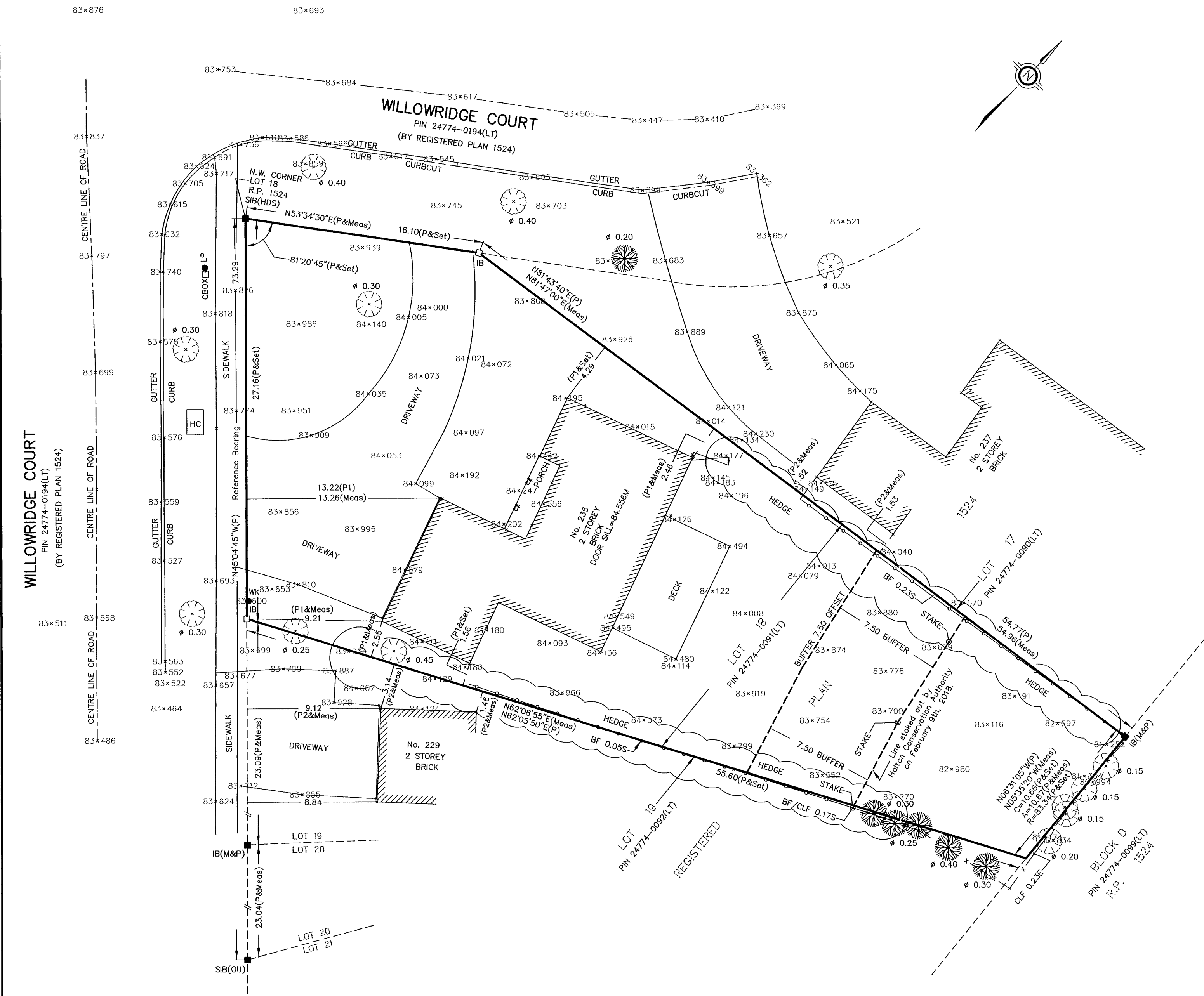
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			02
			03
			04
			05

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PATIO 2 - CONCRETE PAD PLAN	
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DRAWN BY	P.P
CHECKED BY	G.A
	L2.1
Scale	1:40

METRIC
 DISTANCES SHOWN ON THIS
 PLAN ARE IN METRES AND
 CAN BE CONVERTED TO FEET
 BY DIVIDING BY 0.3048

TOPOGRAPHICAL SURVEY OF
LOT 18
REGISTERED PLAN 1524
 TOWN OF OAKVILLE
 REGIONAL MUNICIPALITY OF HALTON
 SCALE 1 : 200
 0 1 2 3 4 5 10 15 Metres
 © OMARI MWINYI SURVEYING LTD., 2018



- LEGEND**
- DENOTES MONUMENTS FOUND
 - DENOTES MONUMENTS PLANTED
 - IB DENOTES IRON BAR
 - SIB DENOTES STANDARD IRON BAR
 - CLF DENOTES CHAIN LINK FENCE
 - MH DENOTES MAN HOLE
 - DENOTES DECIDUOUS TREE
 - DENOTES CONIFEROUS TREE
 - CB DENOTES CATCHBASIN
 - LP DENOTES LAMP POST
 - ∅ DENOTES DIAMETER
 - P DENOTES REGISTERED PLAN 1524
 - P1 DENOTES PLAN BY SEWELL & SEWELL, O.L.S. DATED OCTOBER 2, 1973
 - P2 DENOTES PLAN BY MACKAY, MACKAY & PETERS LIMITED., O.L.S. DATED APRIL 1, 2005.
 - CBOX DENOTES CABLE BOX
 - HC DENOTES HYDRO CHAMBER
 - OU DENOTES ORIGIN UNKNOWN
 - WK DENOTES WATER KEY
 - BF DENOTES BOARD FENCE
 - HDS DENOTES H. D. SEWELL, O.L.S.
 - M&P DENOTES MACKAY, MACKAY & PETERS LIMITED, O.L.S.

ELEVATIONS:
 ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE DERIVED FROM BENCH MARK No. 140. HAVING AN ELEVATION OF 79.13M.

BEARINGS:
 BEARINGS HEREON ARE ASTRONOMIC AND ARE REFERRED TO THE EASTERLY LIMIT OF WILLOWRIDGE COURT, HAVING A BEARING OF N45°04'45"W AS SHOWN ON REGISTERED PLAN 1524.

SURVEYOR'S CERTIFICATE:
 I CERTIFY THAT:
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT, AND THE REGULATIONS MADE UNDER THEM.
 2. THE SURVEY WAS COMPLETED ON THE 12TH DAY OF FEBRUARY, 2018.

DATE Feb. 20, 2018
 OMARI B. MWINYI
 ONTARIO LAND SURVEYOR

OMARI MWINYI SURVEYING LTD
 1905 PINEGROVE AVENUE
 PICKERING ON, L1V 6T1
 Ph. (905) 831 5485
 Fax: (905) 492 5485

PROJECT 235 WILLOWRIDGE COURT		PROJECT No. 18-009-T	
DRAFTSPERSON SUGI	CALCULATIONS C:\OMSL\18-009\18-009	CHECKED BY O.M.	

I Cheryl owner of [REDACTED] have no issues with the application (2024 102888 000 00 RN - 235 Willowridge Crt) and I am well aware of the proposal and variance related to it.

Cheryl

Proposal:

To alter the existing detached dwelling by adding a covered roof over the existing basement walkout, and expand the existing rear covered porch into an unheated sunroom with sliding glass panels.

Cheryl

Variance:

The minimum allowed side setback is 2.4m, and in this case, the proposal is to have a south side setback of 1.04m

Cheryl



Attn: Committee of Adjustment
Town of Oakville

Re: 235 Willowridge Crt, Oakville, ON L6L 5J1

Dear Committee of Adjustment Members,

I hope this letter finds you well. I am addressing the two zoning variances (below) concerning the building permit application #24-102888, property at 235 Willowridge Crt, Oakville, ON L6L 5J1.

Zoning review	Darren Dabideen, Zoning Plans Examiner 905-845-6601, ext. 3907 darren.dabideen@oakville.ca
COMMENT:	<p>1. Rear Yard Setback - Table 6.3.1 - minimum rear yard setback shall be 3.5m, the proposed 1.04m (Patio 1) and 3.09m (Patio 2) setbacks do not comply.</p> <p>2. Lot Coverage - Table 6.4.2. The maximum lot coverage for an RL2-0 zone is 25.0%, the proposed 27.96% does not comply. Provide complete site statistics of all roofed structures (complete dwelling with Lumon additions and all accessory structures (shed and partially covered deck)) on the property to verify compliance.</p>

The drawings considered that the South Façade of the house is one of the sides of the dwelling (please see attachment **A103 - Site Plan**). We were hoping that the Town of Oakville would interpret this as a side as opposed to a rearyard setback, therefore our proposed side setback for **Patio 1 of 1.04m would fall short by 1.36m** from the minimum required per the Zoning By-law for the RL2 Zone (2.4m for side setbacks), and **within the allowed setback for Patio 2 (3.09m proposed setback)**.

The area labeled as "Patio 1" in the drawings is a cover for their basement stairs, which become slippery during winter and rainy days. They've had accidents on these stairs before, prompting them to install the cover.

The neighbor from **229 Willowridge Crt**, who is closer to the proposed cover ("Patio 1"), supports the application. They understand that it will be used only as a passage to the basement and recognize its importance in preventing accidents. Please see **Supporting Document 2 - Neighbor Letter**.

Recently, the property received a permit to install two new sheds in the backyard (Please see **Supporting Document 3 - Issued Permit 24-107384**). The client is willing to forgo installing these sheds to remain within the allowed lot coverage if necessary.

Our Technical Team previously had a person responsible for permits who has since left the company. I'm now assisting with the current applications despite lacking experience in this area. Any advice on next steps would be deeply appreciated.

Please do not hesitate to contact me at (604)379-4687 or pamela.pozes@lumon.com.

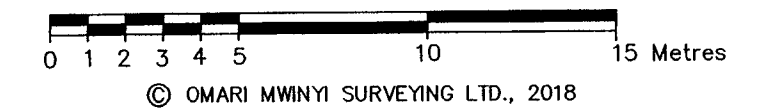
Sincerely,

Pamela Pozes

METRIC
 DISTANCES SHOWN ON THIS
 PLAN ARE IN METRES AND
 CAN BE CONVERTED TO FEET
 BY DIVIDING BY 0.3048

RECEIVED
 BUILDING SERVICES
 PERMIT NO: 24-107384
 DATE: 5/7/2024
 OAKVILLE TOWN OF OAKVILLE

TOPOGRAPHICAL SURVEY OF
LOT 18
REGISTERED PLAN 1524
 TOWN OF OAKVILLE
 REGIONAL MUNICIPALITY OF HALTON
 SCALE 1 : 200



LEGEND

- DENOTES MONUMENTS FOUND
- DENOTES MONUMENTS PLANTED
- IB DENOTES IRON BAR
- SIB DENOTES STANDARD IRON BAR
- CLF DENOTES CHAIN LINK FENCE
- MH DENOTES MAN HOLE
- DENOTES DECIDUOUS TREE
- ⊙ DENOTES CONIFEROUS TREE
- CB DENOTES CATCHBASIN
- LP DENOTES LAMP POST
- ∅ DENOTES DIAMETER
- P DENOTES REGISTERED PLAN 1524
- P1 DENOTES PLAN BY SEWELL & SEWELL, O.L.S.
DATED OCTOBER 2, 1973
- P2 DENOTES PLAN BY MACKAY, MACKAY & PETERS LIMITED., O.L.S.
DATED APRIL 1, 2005.
- CBOX DENOTES CABLE BOX
- HC DENOTES HYDRO CHAMBER
- OU DENOTES ORIGIN UNKNOWN
- WK DENOTES WATER KEY
- BF DENOTES BOARD FENCE
- HDS DENOTES H. D. SEWELL, O.L.S.
- M&P DENOTES MACKAY, MACKAY & PETERS LIMITED, O.L.S.

ELEVATIONS:

ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE DERIVED FROM BENCH MARK No. 140.
 HAVING AN ELEVATION OF 79.13M.

BEARINGS:

BEARINGS HEREON ARE ASTRONOMIC AND ARE REFERRED TO THE EASTERLY LIMIT OF
 WILLOWRIDGE COURT, HAVING A BEARING OF N45°04'45"W AS SHOWN ON
 REGISTERED PLAN 1524.

SURVEYOR'S CERTIFICATE:

- I CERTIFY THAT:
- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT, AND THE REGULATIONS MADE UNDER THEM.
 - THE SURVEY WAS COMPLETED ON THE 12TH DAY OF FEBRUARY, 2018.

Feb. 20, 2018
 DATE

Omari B. Mwnyi
 OMARI B. MWNYI
 ONTARIO LAND SURVEYOR

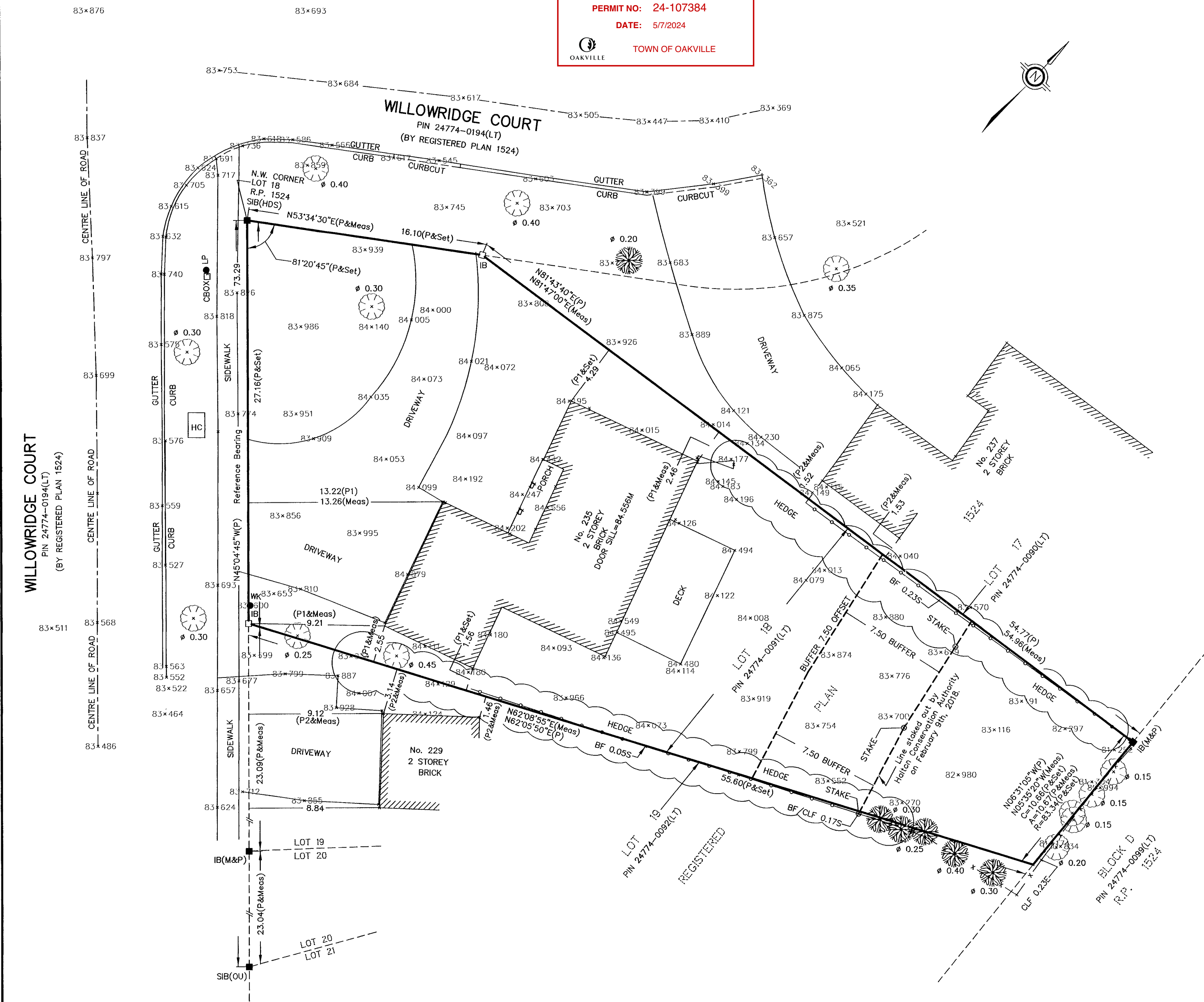
OMARI MWNYI SURVEYING LTD



1905 PINEGROVE AVENUE
 PICKERING ON, L1V 6T1
 Ph. (905) 831 5485
 Fax: (905) 492 5485

PROJECT 235 WILLOWRIDGE COURT		PROJECT No. 18-009-T	
DRAFTSPERSON SUGI	CALCULATIONS C:\OMSL\18-009\18-009	CHECKED BY O.M.	

WILLOWRIDGE COURT
 PIN 24774-0194(LT)
 (BY REGISTERED PLAN 1524)



LEGAL DESCRIPTION
 TAKEN FROM
 TOPOGRAPHICAL SURVEY OF
 LOT 18
 REGISTERED PLAN 1524
 TOWN OF OAKVILLE
 REGIONAL MUNICIPALITY OF PEEL
 O.L.S. BY "OMARI MWINYI SURVEYING LTD"
 DATED FEBRUARY 20, 2018

OWNER
 GURLEEN PANNUN
 235 WILLOWRIDGE COURT
 OAKVILLE, ON
 L6L 5J1
 TEL: 647-290-2024



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS.

QUALIFICATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C-3.2.5.1. OF THE 2012 ONTARIO BUILDING CODE
 MATTHEW MARK MARINO 19624
 NAME SIGNATURE BCIN
 REGISTRATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C-3.2.4.1. OF THE 2012 ONTARIO BUILDING CODE
 ULTIMATE BUILDING DESIGN 21280
 FIRM NAME BCIN

REVISIONS



SITE STATISTICS

ZONE _____	RL2-0, RESIDENTIAL
LOT AREA _____	13 928.96 S.F. 1294.00 m2
25% MAXIMUM COVERAGE _____	3482.24 S.F. 323.50 m2
PROPOSED TOTAL COVERAGE _____	3389.60 S.F. 314.90 m2

BUILDING STATISTICS

EX. HOUSE MAIN FLOOR COVERAGE _____	2711.22 S.F.	251.87 m2
EX. PORCH COVERAGE _____	106.64 S.F.	9.91 m2
EX. PATIO COVERAGE _____	216.85 S.F.	20.15 m2
PROPOSED DECK COVERAGE _____	277.89 S.F.	25.82 m2
PROPOSED SHED COVERAGE _____	77.00 S.F.	7.15 m2
TOTAL COVERAGE _____	3389.60 S.F.	314.90 m2

NOTES

1. ALL EXISTING GRADES TO REMAIN UNCHANGED.
2. ALL EXTERIOR WOOD SHALL BE PRESSURE TREATED
3. CONTRACTOR/OWNER TO CERTIFY ALL EXISTING FOOTINGS, JOISTS, WALLS, BEAMS, SOIL CONDITIONS COLUMNS AND RAFTERS ETC. ARE ADEQUATE TO SUPPORT NEW LOADS.
5. CONCRETE
 MINIMUM COMPRESSIVE STRENGTH OF 4650 PSI @ 28 DAYS W/ 5-8% AIR ENTRAINMENT.
6. WOOD LINTELS _____ STEEL LINTELS _____
 W1-----2-2" x 8" LI-----3 1/2"x3 1/2"x1/4" STEEL ANGLE
 W2-----2-2" x 10"
 W3-----2-2" x 12"
7. CONTRACTOR/OWNER TO LOCATE ALL BARRIED SERVICES PRIOR TO EXCAVATION AND CONTACT ALL UTILITIES BEFORE COMMENCING CONSTRUCTION.
8. STAIRS
 1 7/8" MAXIMUM RISE
 8 1/4" MINIMUM RUN
 9 1/4" MINIMUM TREAD
9. FOOTINGS
 ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED GRANULAR FILL W/ A MINIMUM BEARING CAPACITY OF 1561 PSF (15 KPa)
10. CONTRACTOR TO CHECK, VERIFY AND CERTIFY EXISTING SOIL CONDITIONS PRIOR TO COMMENCING CONSTRUCTION.
11. CONTRACTOR TO CHECK, VERIFY AND CONFIRM ALL DIMENSIONS AND SIZES ON APPROVED DRAWINGS WITH ON SITE CONDITIONS AND REPORT ANY DISCREPANCIES TO DESIGNER BEFORE COMMENCING CONSTRUCTION
12. MINIMUM SOIL BEARING CAPACITY OF 1561 PSF (15 KPa) SHALL BE MAINTAINED
13. ALL INFORMATION AND DIMENSIONS WERE TAKEN FROM PLANS BY "EBTESSAM MAHROUS" DATED MAY 19, 2018

CONTRACTORS MUST CHECK AND VERIFY "ALL INFORMATION" WITH THE LATEST APPROVED DRAWINGS AND ON SITE CONDITIONS AND REPORT ALL DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.

CONTRACTORS MUST WORK IN ACCORDANCE WITH ALL PLANS, SPECIFICATIONS, GENERAL AND CONSTRUCTION NOTES APPROVED.

DO NOT SCALE DRAWINGS

THESE PLANS ARE "COPY WRITE" PROTECTED AND ARE THE PROPERTY OF THE DESIGNER, NO PLANS CAN BE USED WITH OUT WRITTEN CONSENT FROM THE DESIGNER AND STAMPED "FINAL PLANS"

ULTIMATE BUILDING DESIGN
 CONSULTANTS INC.
 4646 HERITAGE HILLS BLYD. #145
 MISSISSAUGA, ONTARIO L5R 4G3
 PH: 905-821-4816
 FAX: 905-821-4804
 UBDC@ROGERS.COM
 RESIDENTIAL
 COMMERCIAL
 INDUSTRIAL

DRAWING TITLE

COVERPAGE AND KEY PLAN

PROJECT NAME

235 WILLOWRIDGE COURT

PANNUN RESIDENCE

CHECKED

DATE JANUARY 24

SCALE N.T.S.

DRAWN

JOB 2312141

SHEET A1

OF A6



KEY PLAN

NOTES

1. ALL INFORMATION AND DIMENSIONS WERE TAKEN FROM PLANS BY "EBTESSAM MAHROUS" DATED MAY 19, 2018

REMOVE "AS BUILT" 11.00'x7.00' (3.35mx2.13m) WOOD DECK/SHED AND RAMP AND SONO-TUBES AND PUT BACK TO ORIGINAL CONDITIONS

REMOVE "AS BUILT" PARTIALLY COVERED 16.67'x16.67' (5.08mx5.08m) WOOD DECK AND SONO-TUBES AND PUT BACK TO ORIGINAL CONDITIONS

PROPOSED PARTIALLY COVERED 15.00'x14.37' (4.57mx4.38m) WOOD DECK ON SONO-TUBES MAXIMUM 20.00m²

TOWN OF OAKVILLE

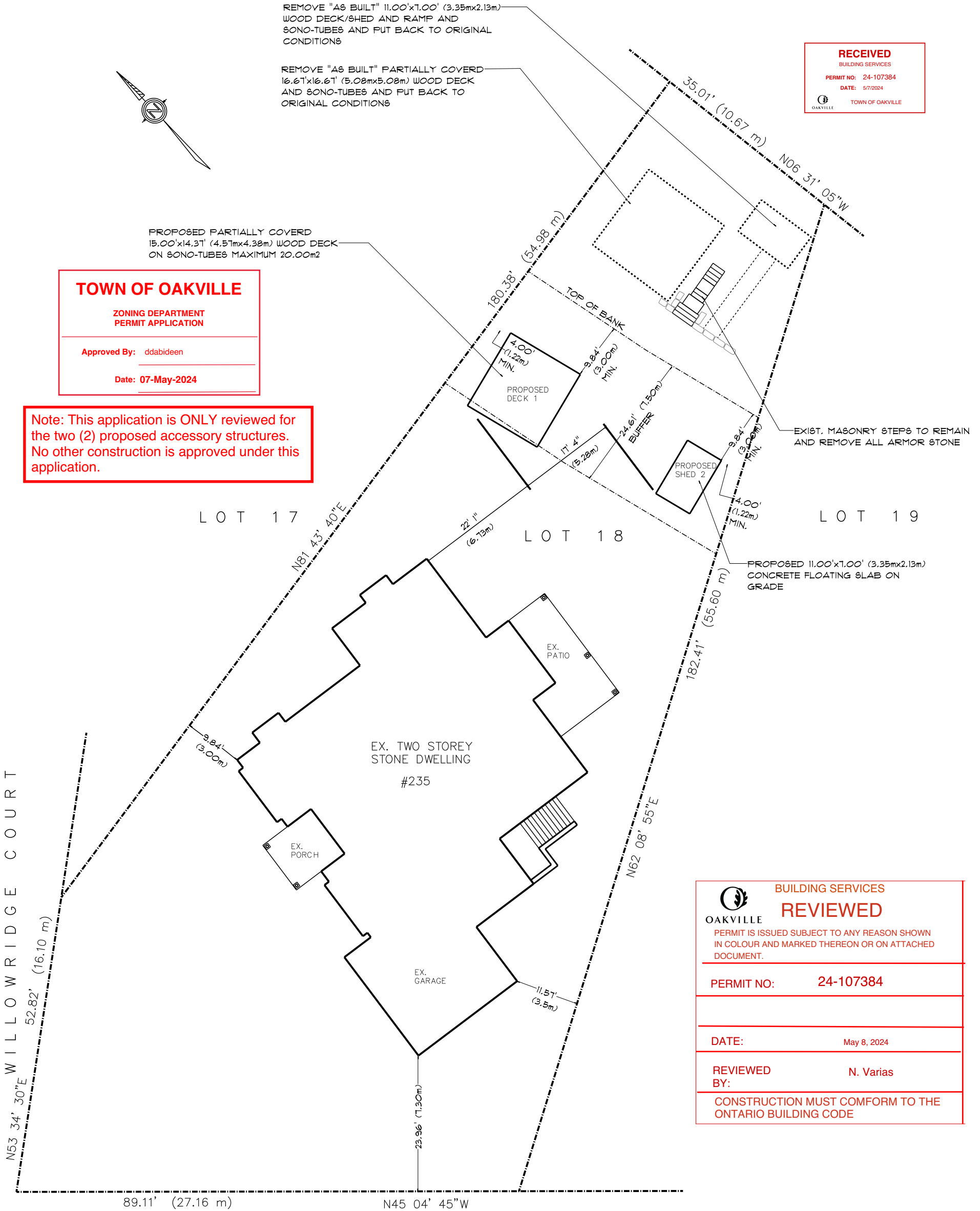
ZONING DEPARTMENT
PERMIT APPLICATION

Approved By: ddabideen

Date: 07-May-2024

Note: This application is ONLY reviewed for the two (2) proposed accessory structures. No other construction is approved under this application.

RECEIVED
BUILDING SERVICES
PERMIT NO: 24-107384
DATE: 5/7/2024
TOWN OF OAKVILLE



BUILDING SERVICES
OAKVILLE
REVIEWED
PERMIT IS ISSUED SUBJECT TO ANY REASON SHOWN IN COLOUR AND MARKED THEREON OR ON ATTACHED DOCUMENT.
PERMIT NO: 24-107384
DATE: May 8, 2024
REVIEWED BY: N. Varias
CONSTRUCTION MUST COMFORM TO THE ONTARIO BUILDING CODE

WILLOWRIDGE COURT

SITE PLAN

1:200

REVISIONS

1 CH COMMENTS 7/2/24

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS.

QUALIFICATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C-3.2.5.1. OF THE 2012 ONTARIO BUILDING CODE

MATTHEW MARK MARINO 19624
NAME SIGNATURE BCIN

REGISTRATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C-3.2.4.1. OF THE 2012 ONTARIO BUILDING CODE

ULTIMATE BUILDING DESIGN 21280
FIRM NAME BCIN

PROJECT
FANNUN RESIDENCE
235 WILLOWRIDGE COURT

PROJECT BY:

ULTIMATE BUILDING DESIGN CONSULTANTS INC.

4646 HERITAGE HILLS BLVD., #145 MISSISSAUGA, ON L5R 4G3
mark@ultimatebuildingdesign.com

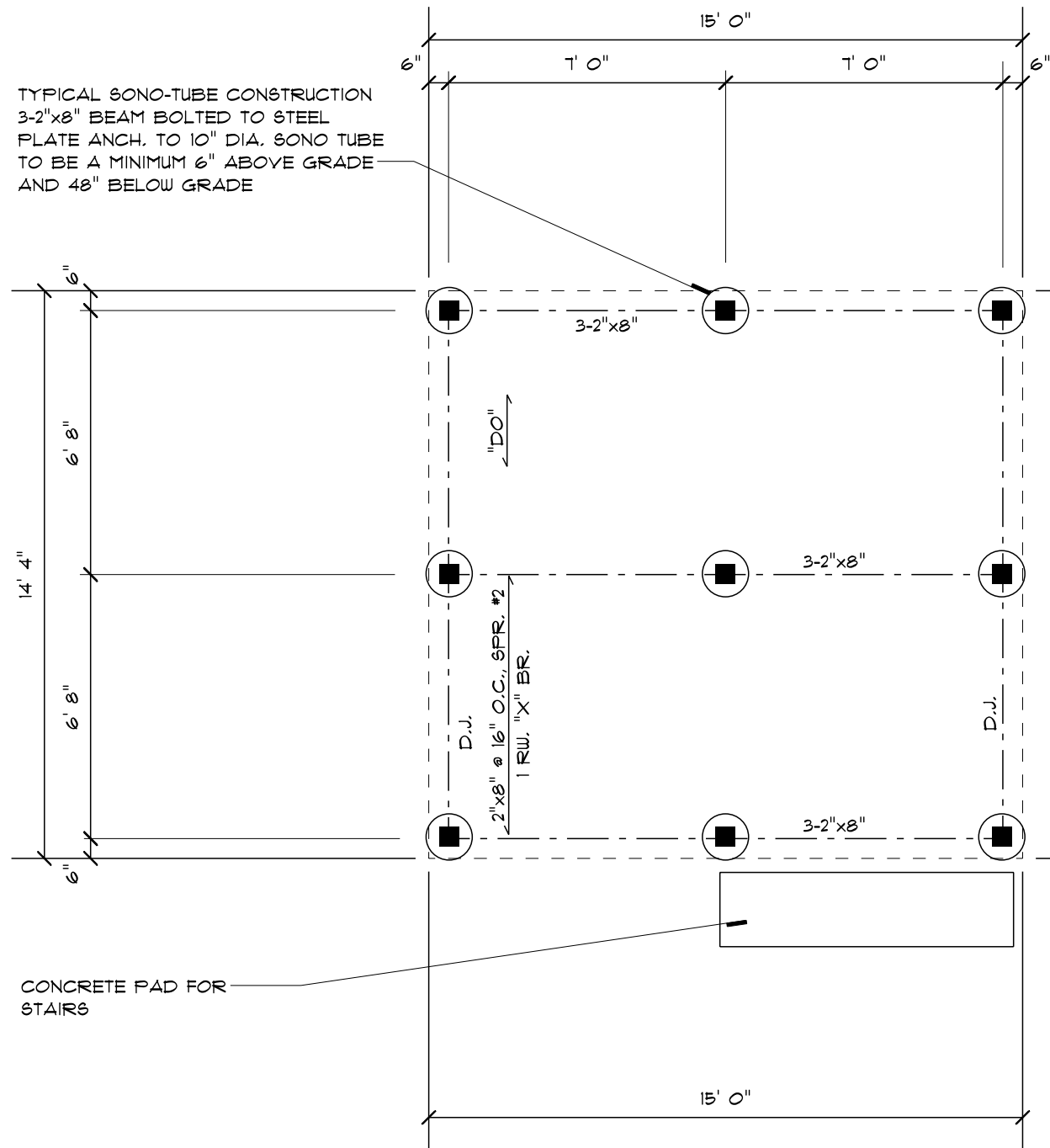
905-821-4816

JOB No. 2312141

PAGE A2

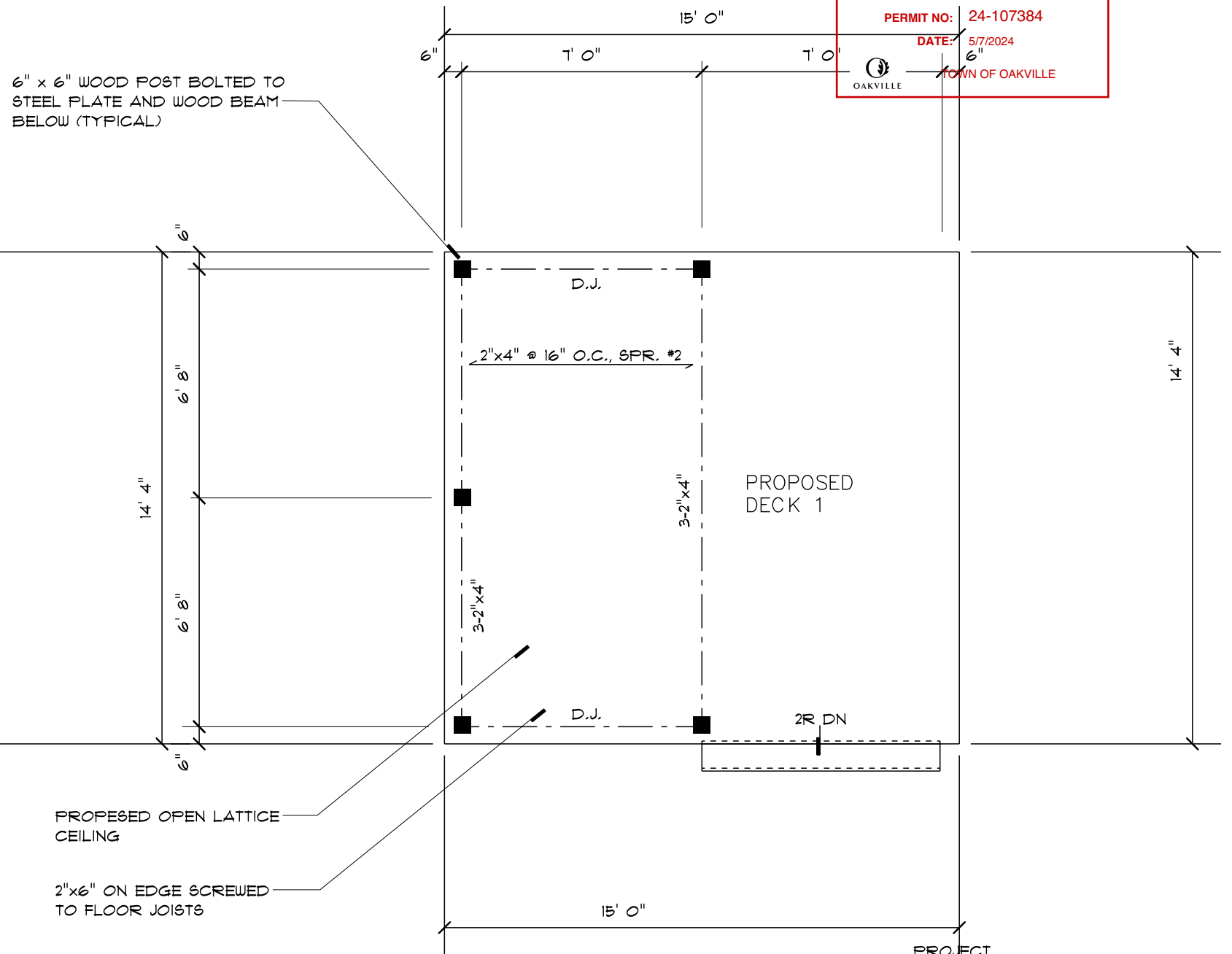
OF A6





DECK 1 FOUNDATION PLAN

1/4"=1'-0"



DECK 1 MAIN FLOOR PLAN

1/4"=1'-0"

BUILDING SERVICES
OAKVILLE

REVIEWED

PERMIT IS ISSUED SUBJECT TO ANY REASON SHOWN
IN COLOUR AND MARKED THEREON OR ON ATTACHED
DOCUMENT.

PERMIT NO: **24-107384**

DATE: **May 8, 2024**

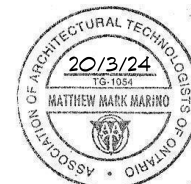
REVIEWED BY: **N. Varias**

CONSTRUCTION MUST COMFORM TO THE
ONTARIO BUILDING CODE

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS
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ONTARIO BUILDING CODE

NAME: **MATTHEW MARK MARINO** SIGNATURE: BCIN: **19624**



REGISTRATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C-3.2.4.1. OF THE 2012
ONTARIO BUILDING CODE

FIRM NAME: **ULTIMATE BUILDING DESIGN** BCIN: **27280**

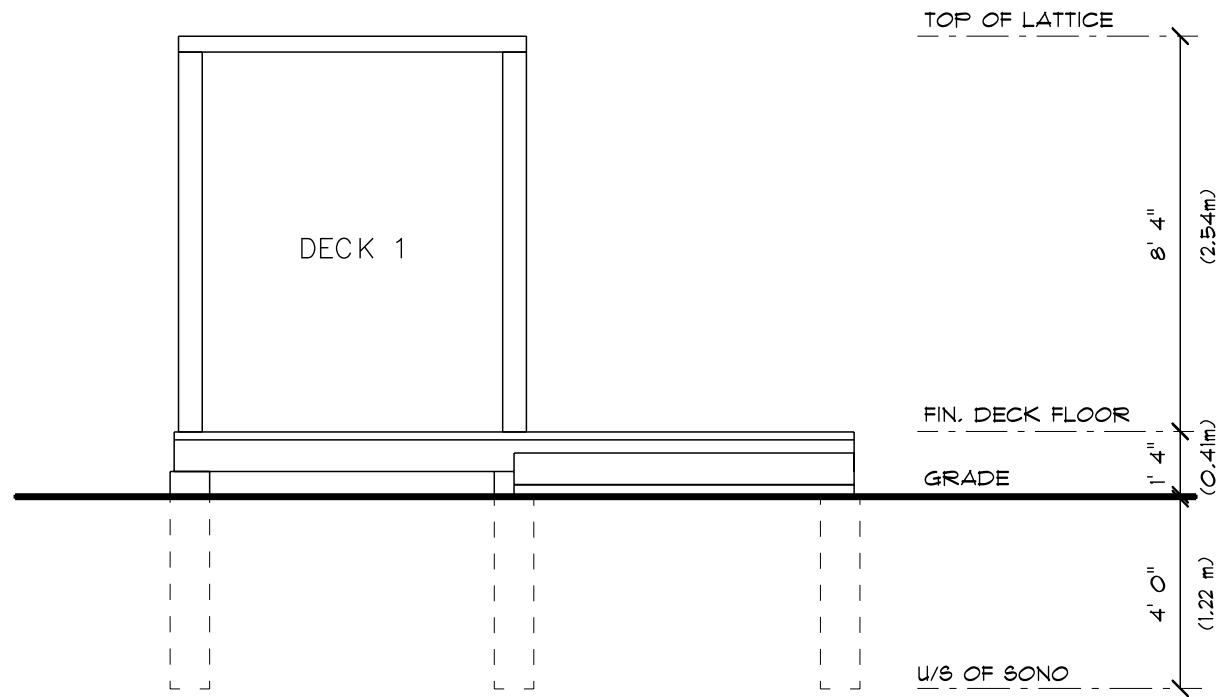
PROJECT
PANNUN RESIDENCE
235 WILLOWRIDGE COURT

PROJECT BY:
ULTIMATE BUILDING DESIGN
CONSULTANTS INC.

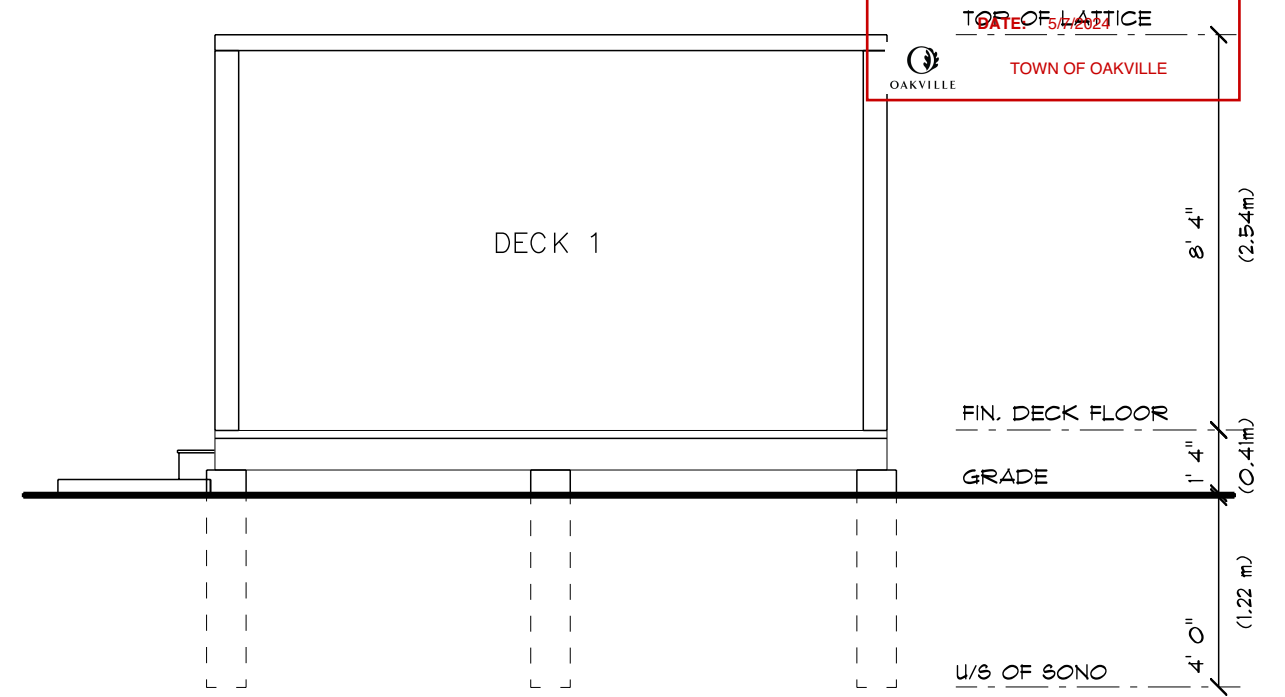
4646 HERITAGE HILLS BLVD., #145
MISSISSAUGA, ON
L5R 4G3
mark@ultimatebuildingdesign.com
905-821-4816

JOB No. 2312141

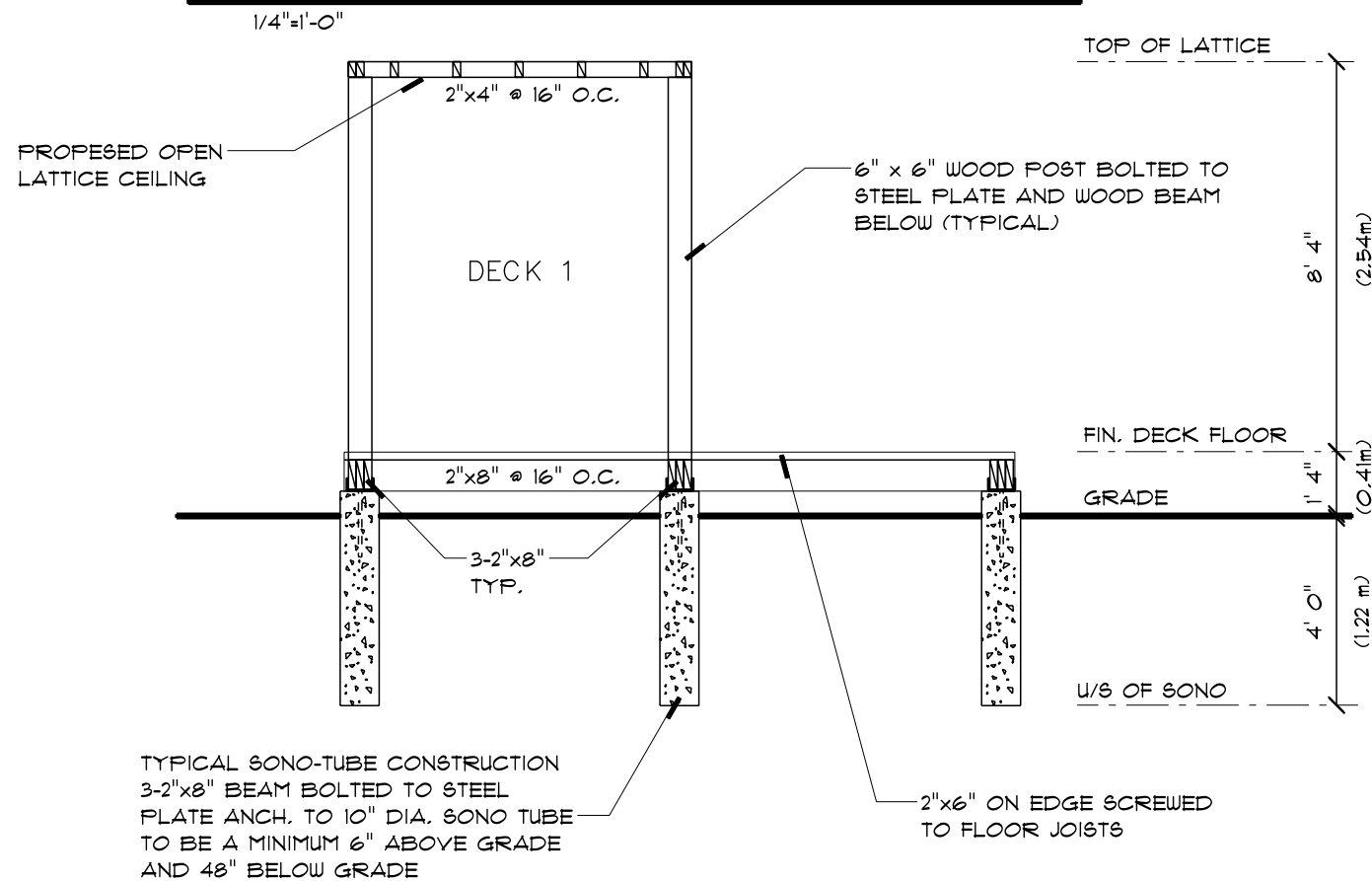
PAGE A4
OF A6



DECK 1 FRONT ELEVATION



DECK 1 SOUTH SIDE ELEVATION



DECK SECTION A-A

TOWN OF OAKVILLE
 ZONING DEPARTMENT
 PERMIT APPLICATION
 Approved By: ddabideen
 Date: 07-May-2024

BUILDING SERVICES
OAKVILLE
REVIEWED
 PERMIT IS ISSUED SUBJECT TO ANY REASON SHOWN IN COLOUR AND MARKED THEREON OR ON ATTACHED DOCUMENT.
 PERMIT NO: 24-107384
 DATE: May 8, 2024
 REVIEWED BY: N. Varias
 CONSTRUCTION MUST COMFORM TO THE ONTARIO BUILDING CODE

PROJECT
 PANNUN RESIDENCE
 235 WILLOWRIDGE COURT

PROJECT BY:
 ULTIMATE BUILDING DESIGN
 CONSULTANTS INC.

4646 HERITAGE HILLS BLVD., #145
 MISSISSAUGA, ON
 L5R 4G3
 mark@ultimatebuildingdesign.com

905-821-4816

JOB No. 2312141

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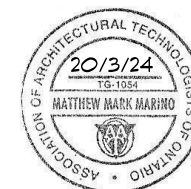
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MATTHEW MARK MARINO 19624
 NAME SIGNATURE BCIN

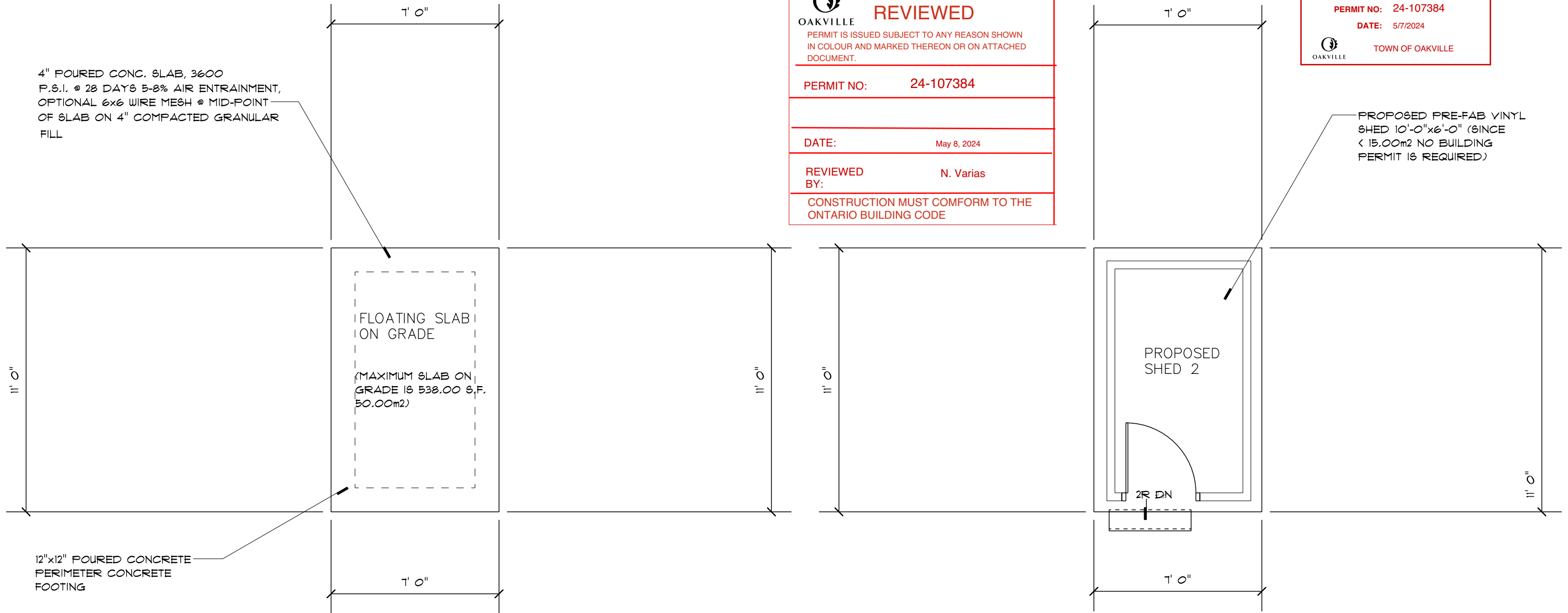
REGISTRATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C-3.2.4.1. OF THE 2012 ONTARIO BUILDING CODE

ULTIMATE BUILDING DESIGN 27280
 FIRM NAME BCIN



4" POURED CONC. SLAB, 3600
P.S.I. @ 28 DAYS 5-8% AIR ENTRAINMENT,
OPTIONAL 6x6 WIRE MESH @ MID-POINT
OF SLAB ON 4" COMPACTED GRANULAR
FILL



BUILDING SERVICES
OAKVILLE **REVIEWED**
PERMIT IS ISSUED SUBJECT TO ANY REASON SHOWN
IN COLOUR AND MARKED THEREON OR ON ATTACHED
DOCUMENT.

PERMIT NO: 24-107384

DATE: May 8, 2024

REVIEWED BY: N. Varias

CONSTRUCTION MUST COMFORM TO THE
ONTARIO BUILDING CODE

RECEIVED
BUILDING SERVICES
PERMIT NO: 24-107384
DATE: 5/7/2024
OAKVILLE TOWN OF OAKVILLE

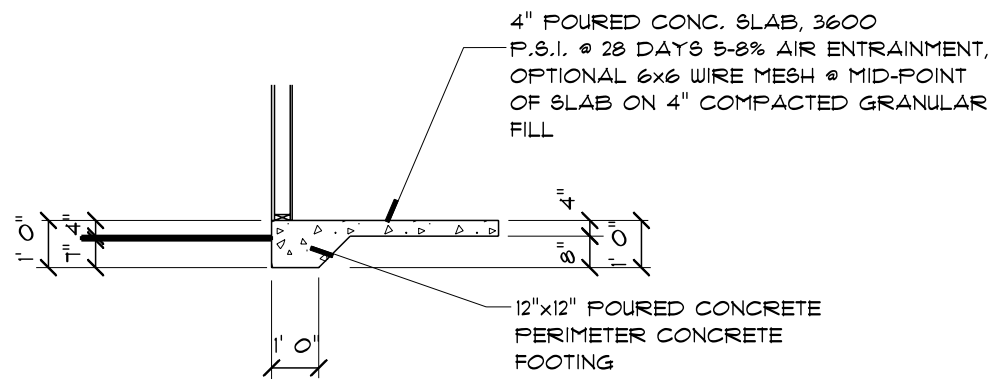
PROPOSED PRE-FAB VINYL
SHED 10'-0" X 6'-0" (SINCE
< 15.00m2 NO BUILDING
PERMIT IS REQUIRED)

SHED 2 FOUNDATION PLAN

1/4"=1'-0" SLAB AREA ----- 11.00 S.F. (1.15 m2)

SHED 2 MAIN FLOOR PLAN

1/4"=1'-0" AREA OF CABANA ----- 60.00 S.F. (5.51 m2)



FOOTING DETAIL

N.T.S.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS
DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET
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QUALIFICATION INFORMATION

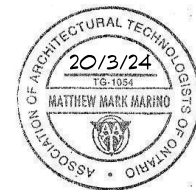
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ONTARIO BUILDING CODE

MATTHEW MARK MARINO 19624
NAME SIGNATURE BCIN

REGISTRATION INFORMATION

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ONTARIO BUILDING CODE

ULTIMATE BUILDING DESIGN 27280
FIRM NAME BCIN



PROJECT

PANNUN RESIDENCE
235 WILLOWRIDGE COURT

PROJECT BY:

ULTIMATE BUILDING DESIGN
CONSULTANTS INC.

4646 HERITAGE HILLS BLVD., #145
MISSISSAUGA, ON
L5R 4G3
mark@ultimatebuildingdesign.com

905-821-4816

JOB No. 2312141

PAGE A6

OF A6

Tree Protection Declaration

This is NOT a permit application form.

Forestry requests this form be completed and provided at the time of application for a demolition permit or residential building permit with up to ten units (proposed work).

Project Location and Owner/Applicant Information

Address of Project Site

Name of Applicant

Name of Property Owner

I confirm that the proposed work will not cause the injury, destruction or removal of any tree species classified as endangered, threatened or at risk, as defined under the provincial Endangered Species Act, 2001, 2007 S.O. 2007, c. 6, or any tree species classified as endangered or threatened, or classified as a tree species of special concern, as defined in the federal Species at Risk Act, 2002, S.C. 2992, c. 29.

I confirm that the proposed work will not cause the injury or destruction of any tree on the project site with a diameter equal to or greater than 15 cm as defined under Private Tree Protection By-Law 2017-038

I confirm that the proposed work will not cause the destruction or removal of any tree on the project site that is required to be retained or planted as a condition of an approved site plan.

I confirm that the proposed work will not impact any public trees within or adjacent to the project site.

I confirm that the proposed work will not take place within the Tree Protection Zone as set out in the Tree Protection During Construction Procedure.

I confirm that the proposed work will not impact any boundary trees (Trees co-owned by property owner and neighbor. For example: trees growing on a property line).

I confirm that the proposed work will not impact any neighbouring trees within 6 metres of an adjacent property.

If you cannot attest to any or all statements above, you must obtain the required tree permit/approval. Please contact Forestry Services at forestryforms@oakville.ca or Supervisor, Forest Protection at 905-845-6601 ext. 2846.

Applicant's Declaration

I, _____, hereby declare that:

Any proposed work performed that will impact trees will be carried out in accordance with:

- Private Tree Protection By-Law 2017-038
- Town Tree Protection By-Law 2009-025
- Tree Protection During Construction Procedure
- Tree Protection and Canopy Preservation Policy

I will, or I am in the process of obtaining all required approvals, permits, agreements and other works prior to any building activity that will impact trees.

The information contained in this form is true and made with full knowledge of all relevant matters and of the circumstances connected with this declaration.

Date

Signature of Applicant

Failure to satisfy the requirements of the by-laws listed above may result in charges being laid and fines being imposed under the provincial offences act.