

May 15TH, 2024 Project: BR.OA

VIA EMAIL – coarequests@oakville.ca

Town of Oakville Committee of Adjustment 1225 Trafalgar Road Oakville, ON L6H 0H3

Re: Minor Variance Application – 70 Brookfield Road

Good afternoon,

A new single detached dwelling will be constructed on the subject site in the near future, per building permit 24-104691. No variances were required for the dwelling and there are no changes proposed to the approved plans. This minor variance application is limited in scope to a small addition to the existing garage.

I have included a survey showing the existing dwelling, which is to be demolished. I have also included a copy of the grading plan which was used to obtain the building permit for the new dwelling. The most recent drawing package contains the proposed site plan showing the addition to the garage. The arborist report which was used for the building permit application has also been included for reference. No trees will be impacted by the addition to the garage.

This is a small addition to an existing garage. The lot coverage variance(s) is minor and the garage height and side yard setback are existing conditions.

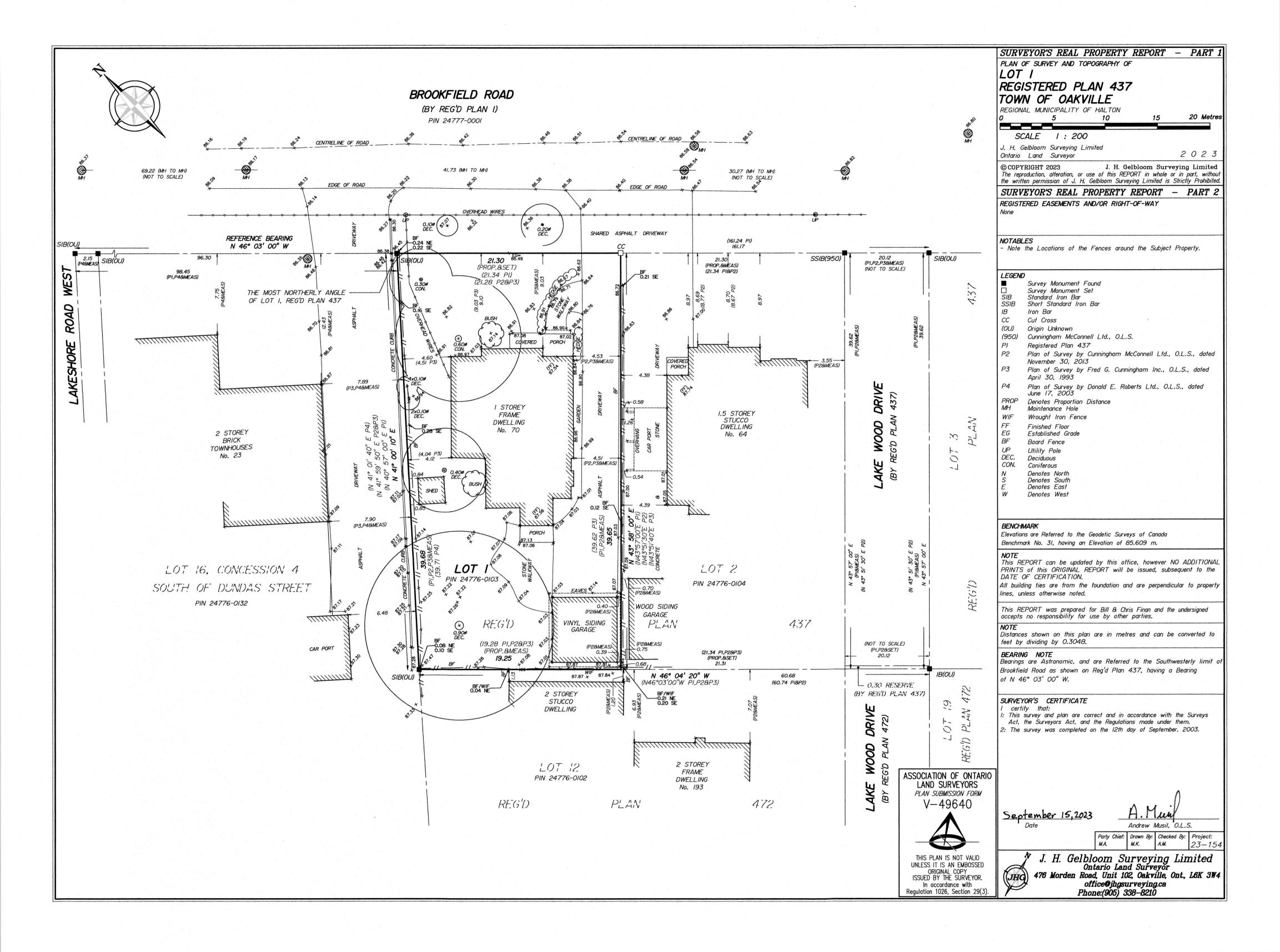
If you have any questions or would like to discuss this matter further, please contact David Riley (driley@sglplanning.ca).

Sincerely,

SGL Planning & Design, Inc.

Graham Barrett

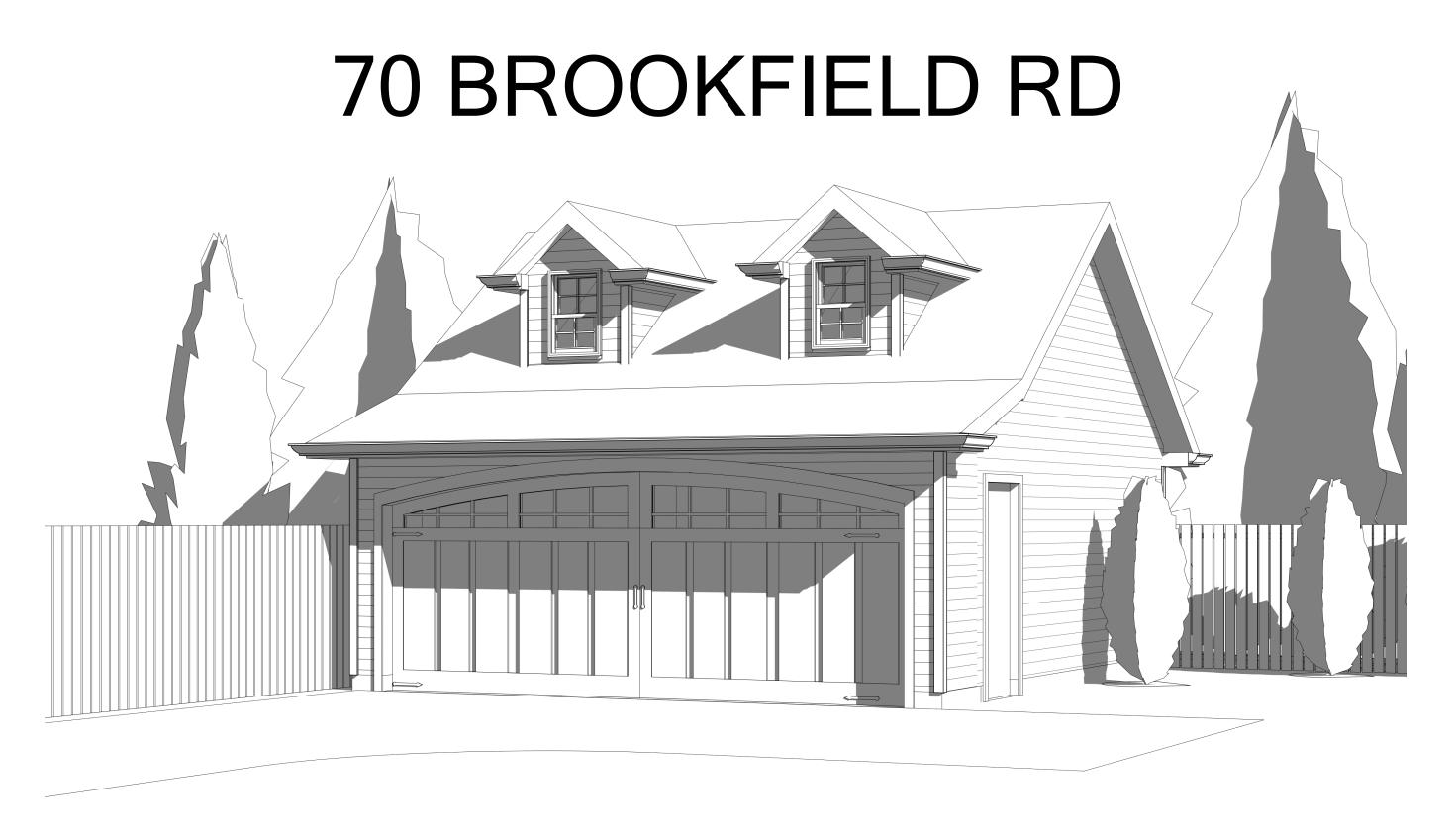
Planner





TITLE SHEETPRIVATE RESIDENCE

70 BROOKFIELD RD. OAKVILLE

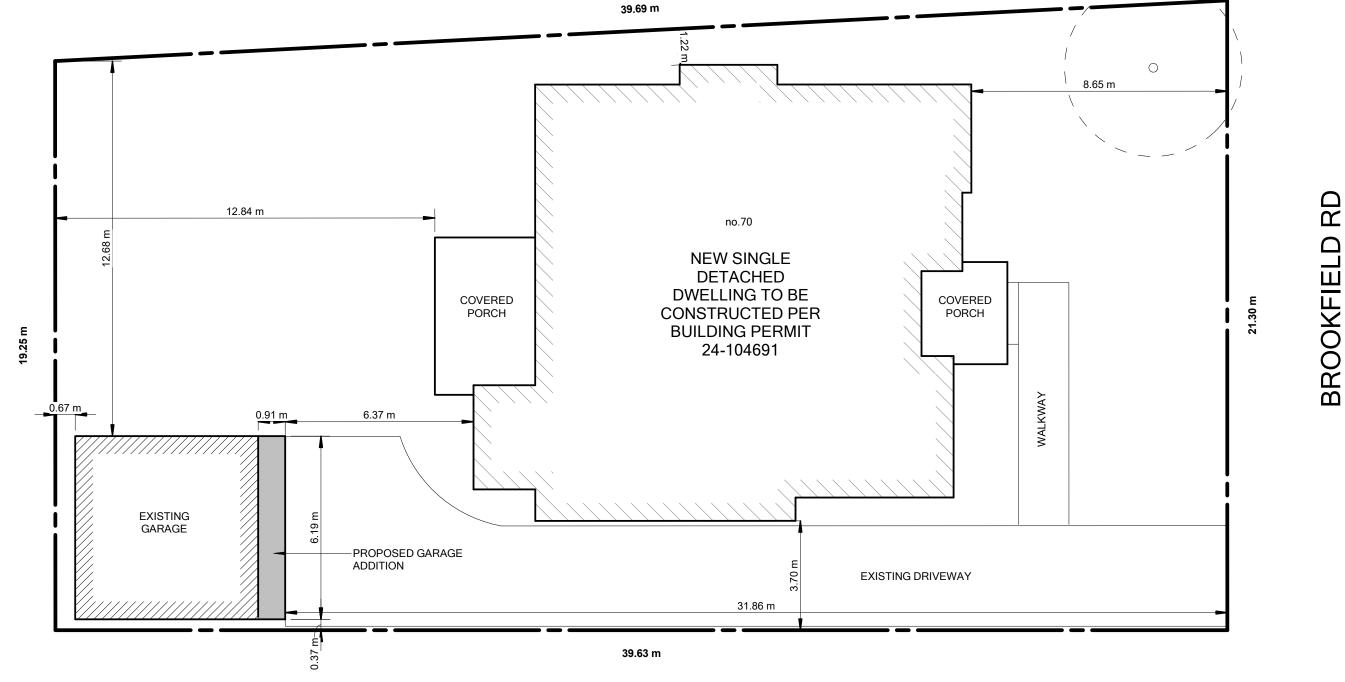




SITE PLAN

PRIVATE RESIDENCE

70 BROOKFIELD RD. OAKVILLE



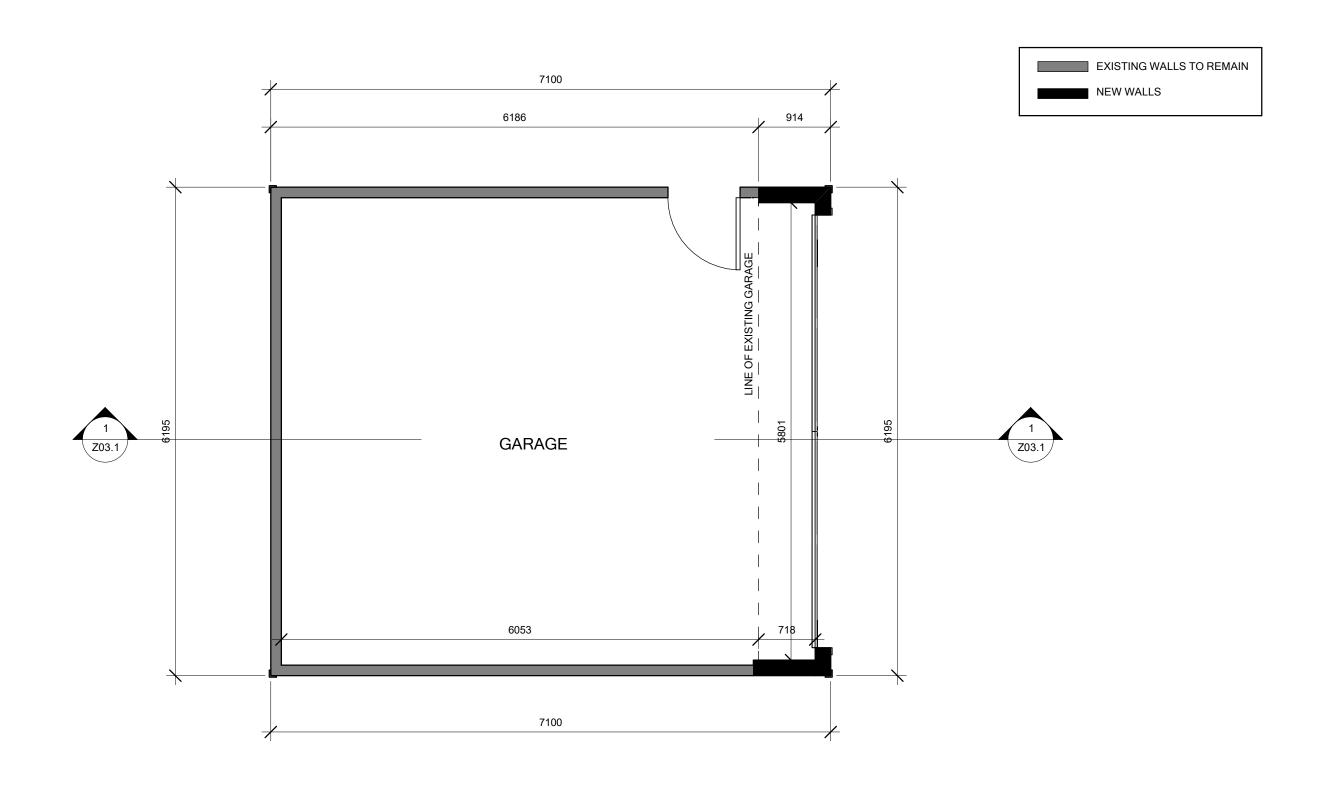
ZONING: LOT NO: 1		:	PLAN NO: 1		LOT AREA: 804.5m ²			LOT FRONTAGE: 21.30m		LOT DEPTH: 39.69m	
DESCRIPTION	EXISTING	ADDITION	TOTAL	%	ALLOWED	%	SETBACKS	EXISTING	REQUI	RED	PROPOSED
LOT COVERAGE	281.4m²	5.66m²	287.06m²	35.6	281.42m²	35	FRONT YARD	32.85m	26.8m		31.86m
HEIGHT	4.92m		4.92m		4.0m		REAR YARD	0.67m	.61m		0.67m
	LOT COVERAGE BREAKDOWN						SIDE YARD (NORTH)	12.68m	.61m		12.68m
HOUSE							SIDE YARD (SOUTH)	0.37m	.61m		0.37m
GARAGE ADDITION 5.66m ² TOTAL 287 06m ²											

LOT 1 REGISTERED PLAN 1



MAIN FLOOR PLAN PRIVATE RESIDENCE

70 BROOKFIELD RD. OAKVILLE

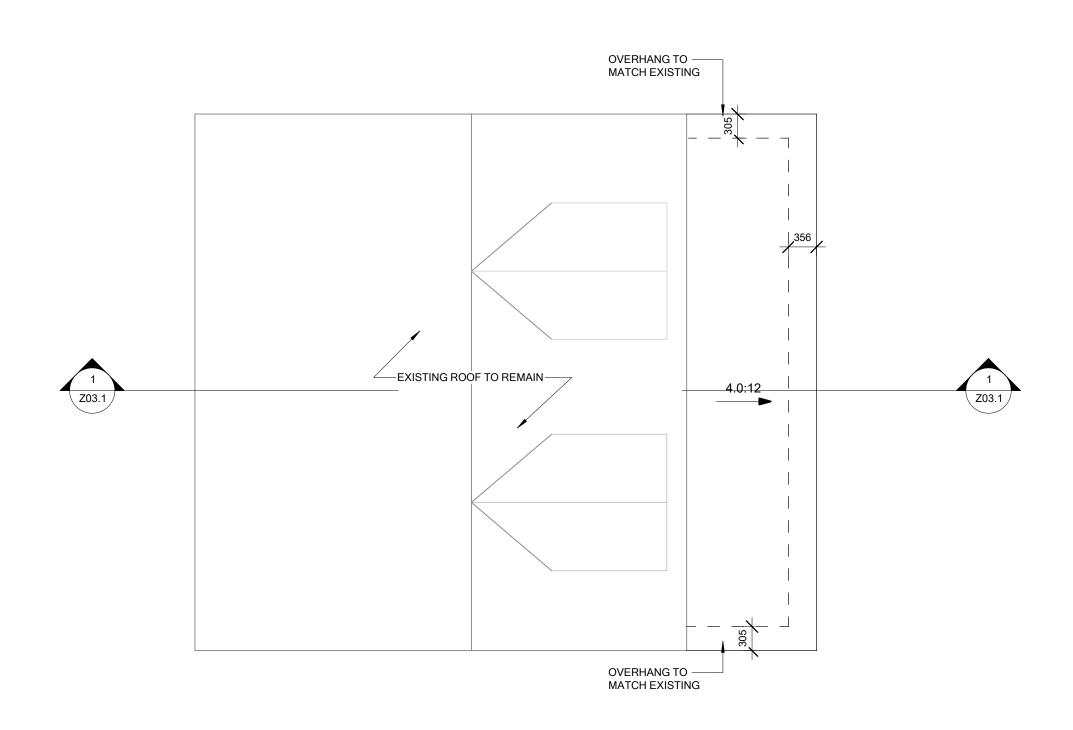


Scale: 1/4" = 1'-0"



ROOF PLANPRIVATE RESIDENCE

70 BROOKFIELD RD. OAKVILLE



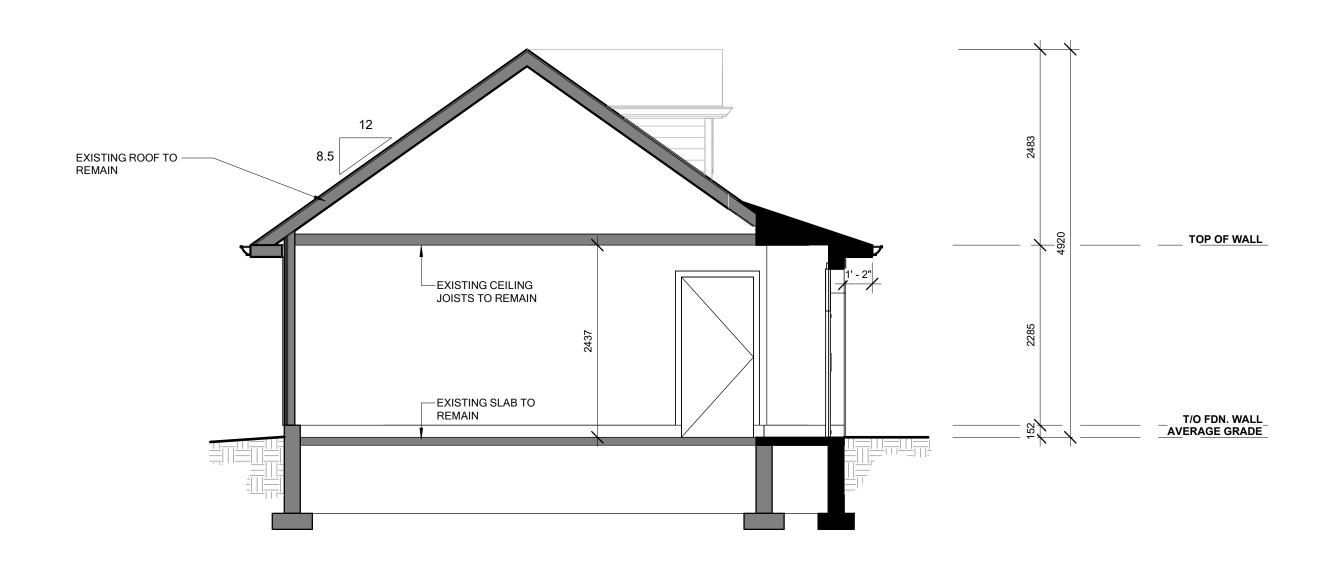
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CROSS SECTIONPRIVATE RESIDENCE

70 BROOKFIELD RD. OAKVILLE



Scale: 1/4" = 1'-0"

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EAST ELEVATIONPRIVATE RESIDENCE

70 BROOKFIELD RD. OAKVILLE



Scale: 1/4" = 1'-0"

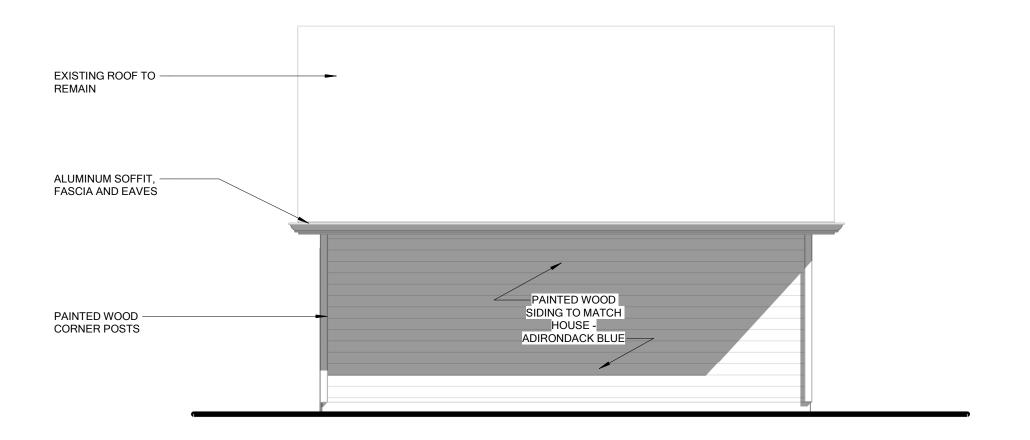
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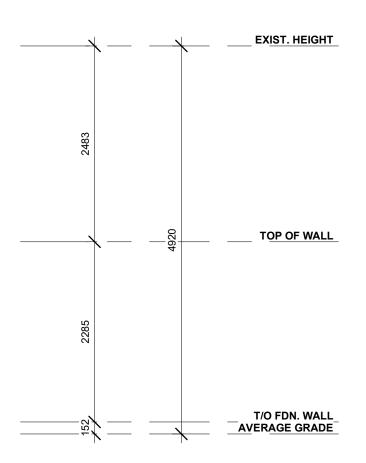


WEST ELEVATION

PRIVATE RESIDENCE

70 BROOKFIELD RD. OAKVILLE





Scale: 1/4" = 1'-0"

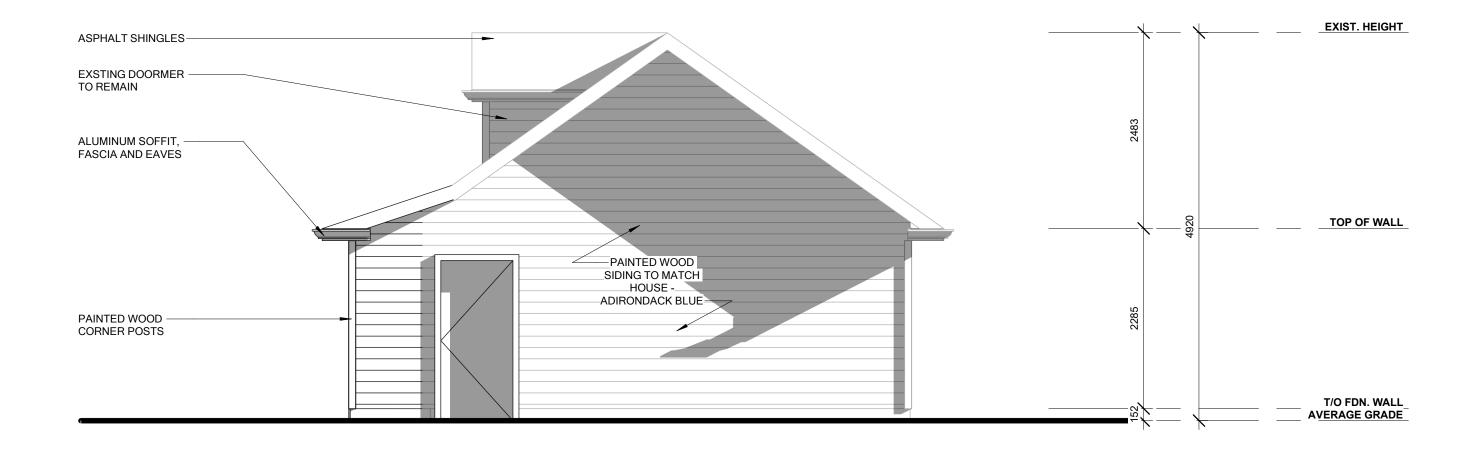
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NORTH ELEVATION

PRIVATE RESIDENCE

70 BROOKFIELD RD. OAKVILLE



Scale: 1/4" = 1'-0"

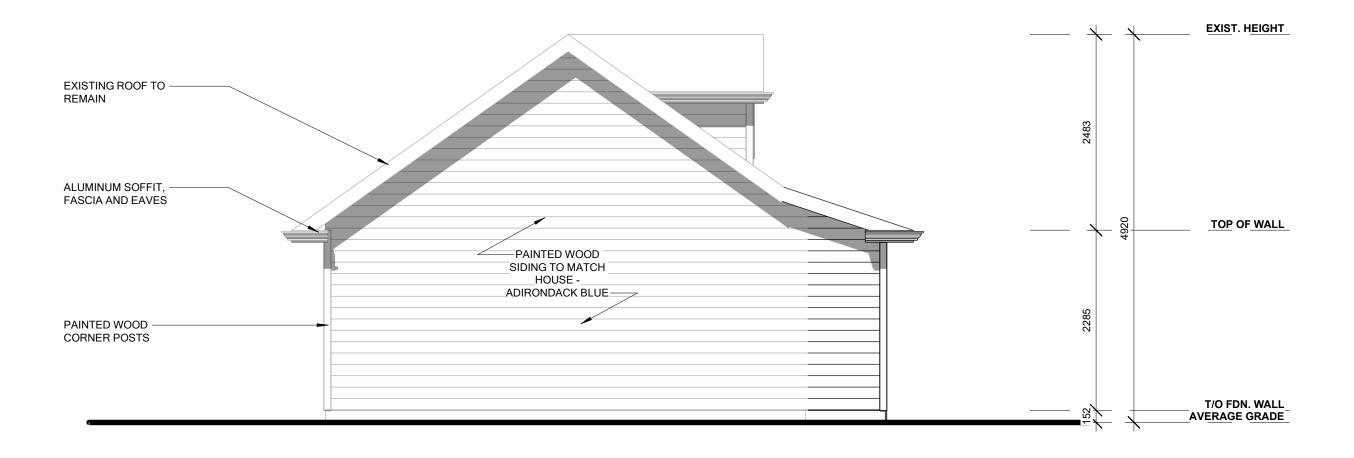
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SOUTH ELEVATION

PRIVATE RESIDENCE

70 BROOKFIELD RD. OAKVILLE



Scale: 1/4" = 1'-0"

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TREE PROTECTION NOTE

1. ALL EXISTING TREES WHICH ARE TO REMAIN SHALL BE FULLY PROTECTED WITH HOARDING, ERECTED BEYOND THEIR DRIP LINE PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT. GROUPS OF TREES AND OTHER EXISTING PLANTINGS TO BE PROTECTED. SHALL BE TREATED IN A LIKE MANNER, WITH THE HOARDING AROUND THE ENTIRE CLUMP(S). AREAS WITHIN THE PROTECTIVE FENCING SHALL REMAIN UNDISTURBED AND SHALL NOT BE USED FOR THE STORAGE OF THE BUILDING MATERIAL AND **FOUIPMENT**

2. NO RIGGING CABLES SHALL BE WRAPPED AROUND OR INSTALLED IN TREES AND SURPLUS SOIL, EQUIPMENT, DEBRIS OR MATERIALS SHALL NOT BE PLACED OVER ROOT SYSTEMS OF THE TREES WITHIN THE PROTECTIVE FENCING. NO CONTAMINANTS WILL BE DUMPED OR FLUSHED WHERE FEEDER ROOTS OF TREES EXIST.

3. THE DEVELOPER OR HIS/HER/ITS AGENTS SHALL TAKE EVERY PRECAUTION NECESSARY TO PREVENT DAMAGE TO TREES OR SHRUBS TO BE RETAINED. 4. WHERE LIMBS OR PORTIONS OF TREES ARE REMOVED TO ACCOMMODATE

CONSTRUCTION WORK, THEY WILL BE REMOVED CAREFULLY IN

ACCORDANCE WITH ACCEPTED ARBORICULTURAL PRACTICE. 5. WHERE ROOT SYSTEMS OF PROTECTED TREES ARE EXPOSED DIRECTLY TO, OR DAMAGED BY CONSTRUCTION WORK, THEY SHALL BE TRIMMED NEATLY AND THE AREA BACKFILLED WITH APPROPRIATE MATERIAL TO PREVENT DESICCATION.

6. WHERE NECESSARY, THE TREES WILL BE GIVEN AN OVERALL PRUNING TO RESTORE THE BALANCE BETWEEN ROOTS AND TOP GROWTH OR TO RESTORE THE APPEARANCE OF THE TREES. 7. IF GRADES AROUND TREES TO BE PROTECTED ARE LIKELY TO CHANGE, THE OWNER SHALL BE REQUIRED TO TAKE SUCH PRECAUTIONS AS DRY WELLING, RETAINING WALLS AND ROOT FEEDING TO THE SATISFACTION OF THE PLANNING AND BUILDING DEPARTMENT OF THE TOWN OF OAKVILLE.

8. GRADE CHANGES WILL NOT OCCUR WITHIN THE TREE PROTECTION ZONE (TPZ 9. UTILITY ACCESS CORRIDOR MUST BE OUTSIDE THE TPZ AND/OR NO OPEN TRENCH METHOD OF CONSTRUCTION BELOW-GROUND AS WELL AS NO ABOVE-GROUND LINES WITHIN THE TPZ. STANDARD DEVELOPMENT NOTES:

(A) TRANSPORTATION AND WORKS DEPARTMENT

1. MUNICIPAL BOULEVARD TO BE RESTORED TO THE SATISFACTION OF ENGINEERING CONSTRUCTION STAFF. 2. RESTORE THE PUBLIC ROADWAY TO TOWN STANDARDS AND CLEARLY INDICATE ON THE ENGINEERING DRAWINGS ALL RESTORATION, TO THE SATISFACTION OF THE ENGINEERING &

CONSTRUCTION DEPARTMENT. 3. DRIVEWAYS ON THE MUNICIPAL RIGHT-OF-WAY SHALL BE PAVED BY THE APPLICANT. 4. AT THE ENTRANCES TO THE SITE, THE MUNICIPAL CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY AND A CURB DEPRESSION WILL BE PROVIDED FOR

5. THE TOPS OF ANY CURBS BORDERING THE DRIVEWAYS WITHIN THE MUNICIPAL BOULEVARD WILL BE FLUSH WITH THE MUNICIPAL SIDEWALK AND ROAD CURB. (B) GENERAL NOTES

1. THE EXISTING GRADES SHOWN ON THIS DRAWING ARE TO REMAIN UNCHANGED. 2. THERE IS NO EASEMENTS REGISTERED ON TITLE AND AFFECTING THE SUBJECT LANDS. 3. THE STOCKPILING OF CONSTRUCTION MATERIAL TO BE DONE AT THE FRONT OF THE PROPOSED DWELLING ON THE EXISTING DRIVEWAY.

4. ALL ROOF DOWNSPOUTS FROM EAVESTROUGH TO DISCHARGE ONTO SURFACE AND THE RUNOFF DIRECTED TOWARDS THE REAR WHERE POSSIBLE AND TO THE ROAD. 5. ROOF DOWNSPOUT IS LOCATED IN SUCH MANNER AS TO DIRECT DRAINAGE AWAY FROM WALKWAYS, DRIVEWAYS OR PATIO AREAS.

6. MAINTAIN EXISTING GRADES IN AREA AROUND TREES TO BE PRESERVED. 7. PRIOR TO CONSTRUCTION, CONTRACTOR TO VERIFY IN FIELD THE EXACT SIZE AND INVERTS OF THE EXISTING WATER SERVICE CONNECTION AND SEWER CONNECTIONS AND REPORT IT TO THE ENGINEER.

8. ALL SURPLUS/EXCAVATED MATERIAL TO BE REMOVED FROM THE SITE. 9. CONTRACTOR TO MATCH EXISTING GRADES ALONG PROPERTY LINES.

10. ALL DISTURBED AREAS WITHIN EXISTING ROAD ALLOWANCE TO BE REINSTATED WITH TOPSOIL AND SOD TO THE SATISFACTION OF THE TOWN OF OAKVILLE. 11. THE CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS, IF ANY DISCREPANCIES,

THEY MUST BE REPORTED TO THE ENGINEER IMMEDIATELY PRIOR TO CONSTRUCTION. 12. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES DURING CONSTRUCTION. GAS, HYDRO, TELEPHONE OR ANY OTHER UTILITIES THAT MAY EXIST ON THE SITE OR WITHIN THE STREETLINE MUST BE LOCATED BY ITS OWN UTILITIES AND VERIFIED PRIOR TO CONSTRUCTION.

13. ALL CONNECTIONS SHALL BE INSTALLED AS PER REGION OF HALTON STANDARDS AND

14. BUILDER IS TO VERIFY TO THE ENGINEER THAT THE FINAL FOOTING ELEVATION AND TOP OF FOUNDATION WALL ELEVATION ARE IN CONFORMITY WITH THE BUILDING CODE AND THE CERTIFIED GRADING PLAN PRIOR TO PROCEEDING.

15. OUTSIDE FINISHED GRADE TO BE A MINIMUM OF 150 mm BELOW BRICK/STONE VENEER ELEVATION.

16. PRIOR TO ANY SODDING, THE BUILDER IS TO ENSURE TO THE SOIL CONSULTANT AND/OR THE ENGINEER THAT THE LOT HAS BEEN GRADED AND TOPSOILED AND SODDED COMPLETELY WITH A MINIMUM DEPTH OF 200 mm OF TOPSOIL AND N° 1 NURSERY SOD AND A MINIMUM DEPTH OF 150 mm CRUSHED STONE TO BE PROVIDED ON THE ENTIRE LENGTH OF EACH DRIVEWAY ON A FIRM SUBGRADE AND THE DRIVEWAY TO BE PAVED WITH A MINIMUM COMPACTED DEPTH OF 75 mm OF ASPHALT BETWEEN THE CURB AND THE GARAGE. 17. NO SODDING ON ANY LOT IS PERMITTED UNTIL PRELIMINARY INSPECTION IS DONE BY

THE ENGINEER AND THE BUILDER.

18. DRIVEWAY GRADES SHOULD BE NOT LESS THAN 1.0% AND NOT GREATER THAN 7.0%. 19. LAWN AND SWALES SHALL HAVE MINIMUM SLOPE OF 2.0% AND A

MAXIMUM SLOPE OF 5.0% AND HAVE A MINIMUM DEPTH OF 150mm. 20. WHERE GRADES IN EXCESS OF 5.0% ARE REQUIRED, THE MAXIMUM SLOPE SHALL BE 3:1. GRADE CHANGES IN EXCESS OF 1.0 m ARE TO BE ACCOMPLISHED BY USE OF A RETAINING WALL. RETAINING WALLS HIGHER THAN 0.6 m SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE.

21. THE SERVICE CONNECTION TRENCH THROUGH THE TRAVELLED PORTION OF THE ROAD ALLOWANCE SHALL BE BACKFILLED WITH UNSHRINKABLE BACKFILL MATERIAL AS PER TOWN OF OAKVILLE STANDARDS UNLESS OTHERWISE SPECIFIED PRIOR APPROVAL FOR OTHER BACKFILL MATERIAL HAS BEEN OBTAIN.

22. ALL WATERMAINS AND WATER SERVICE MATERIALS AND CONSTRUCTION METHODS MUST CORRESPOND TO CURRENT REGION OF HALTON STANDARDS AND SPECIFICATIONS. 23. WATERMAINS AND/OR WATER SERVICES ARE TO HAVE A MINIMUM DEPTH OF 1.7 m WITH A MINIMUM HORIZONTAL SPACING OF 2.5 m FROM THEMSELVES AND OTHER SERVICES. 24. SEDIMENT CONTROL FENCE TO BE INSTALLED AS PER THE TOWN OF OAKVILLE STANDARDS.

EROSION AND SILTATION NOTES

I. ALL EROSION AND SEDIMENT CONTROLS ARE TO BE INSTALLED ACCORDING TO APPROVED PLANS TO COMMENCEMENT OF ANY EARTH MOVING WORK ON THE SITE AND SHALL REMAIN IN PLACE UNTIL A DISTURBED AREAS ARE STABILIZED WITH THE INTENDED FINAL GROUND COVER. 2. EROSION AND SEDIMENT CONTROLS SHALL BE INSPECTED BY THE BUILDER/DEVELOPER.

25. ALL DAMAGED AND DISTURBED AREAS TO BE REINSTATED WITH TOPSOIL AND SOD.

- A. WEEKLY B. BEFORE AND AFTER ANY PREDICTED RAINFALL EVENT
- C. FOLLOWING AN UNPREDICTED RAINFALL EVENT
- D. DAILY, DURING EXTENDED DURATION RAINFALL EVENTS E. AFTER SIGNIFICANT SNOW MELT EVENTS

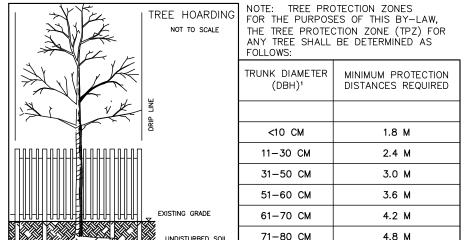
OWNERS AGENT WILL ADDITIONALLY IMMEDIATELY NOTIFY THE TOWN.

3. EROSION AND SEDIMENT CONTROLS SHALL BE MAINTAINED IN PROPER WORKING ORDER AT ALL TIMES. DAMAGED OR CLOGGED DEVICES SHALL BR REPAIRED WITH 48 HOURS. 4. WHERE A SITE REQUIRES DEWATERING AND WHERE THE EXPELLED WATER CAN BE FREELY RELEASED TO A SUITABLE RECEIVER, THE EXPELLED WATER SHALL BE TREATED TO CAPTURE SUSPENDED PARTICLES GREATER THAN 40 MICRON IN SIZE. THE CAPTURED SEDIMENT SHALL BE DISPOSED OF PROPERLY PER MOECC GUIDELINES. THE CLEAN EXPELLED WATER SHALL BE FREELY

RELEASE TO A SUITABLE RECEIVER IN MANNER THAT DOES NOT CREATE DOWNSTREAM ISSUES INCLUDING BUT NOT LIMITED TO EROSION, FLOODING- NUISANCE OR OTHERWISE, INTERFERENCE ISSUES, ETC.

5. EXISTING STORM SEWERS AND DRAINAGE DITCHES ADJACENT TO THE WORKS SHALL BE PROTECTED AT ALL TIMES FROM THE ENTRY OF SEDIMENT/SILL THAT MAY MIGRATE FROM THE SITE. FOR STORM SEWERS: ALL INLETS(REAR LOT CATCHBASINS, ROAD CATCHBASINS, PIPE INLETS, ETC.) MUST BE SECURED/FITTED WITH SILTATION CONTROL MEASURES. FOR DRAINAGE DITCHES: THE INSTALLATION OF ROCK CHECK DAMS, SILTATION FENCING. SEDIMENT CONTAINMENT DEVISES MUST BE INSTALLED TO TRAP AND CONTAIN SEDIMENT. THESE SILTATION CONTROL

DEVICES SHALL BE INSPECTED AND MAINTAINED PER ITEMS 2 AND 3 ABOVE. 6. IN THE EVENT OF A SPILL(RELEASE OF DELETERIOUS MATERIAL) ON OR EMANATING FROM THE SITE, THE OWNER AGENT SHALL IMMEDIATELY NOTIFY THE MOECC AND FOLLOW ANY PRESCRIBED CLEAN UP PROCEDURE. THE OWNER OR



OPEN TRENCHING WILL NOT

BE PERMITTED WITHIN TREE

PRESERVATION AREA

PROPOSED CONNECTIONS

NO OPEN TRENCHING

O BE HORIZONTALLY BORED ONLY

81-90 CM

91-100+ CM

5.4 M

6.0 M

TREE TRUNK TAKEN 1.4 METERS ABOVE GROUND 2 TREE PROTECTION ZONE DISTANCES ARE TO BE MEASURED FROM THE OUTSIDE EDGE OF THE TREE BASE TOWARDS THE DRIP LINE AND MAY BE LIMITED BY AN EXISTING PAVED SURFACE, PROVIDED THAT SURFACE REMAINS INTACT THROUGHOUT SITE ALTERATION

Proposed sanitary service tap by

Region of Halton forces only

SANITARY INVERT= 82.3 +/-

CALCULATED FROM REGION OF HALTON

EXISTING I50mm Ø PVC WATERMAIN

EXISTING I50mm Ø SANITARY FORCEMAIN

EDGE OF ROAD

OVERHEAD WIRES

Existing sanitary service must be disconnectea at the main by the contractor as per

EXISTING 250mm Ø SANITARY SEWER

— SAN — — SAN — — SAN — — SAN —

Region of Halton Standards

ASPHALT ROAD &

N 46° 03' 00" W

2 STOREY

TOWNHOUSES

No. 23

LOT 16, CONCESSION 4

SOUTH OF DUNDAS STREET

PIN 24776-0132

1 DIAMETER AT BREAST HEIGHT (DBH) MEASUREMENT OF

REGIONAL APPROVAL REGION DESIGN OF WATER AND/OR WASTEWATER SERVICES APPROVAL SUBJECT TO DETAIL CONSTRUCTION CONFORMING TO HALTON REGION STANDARDS & SPECIFICATIONS & LOCAL APPROVAL FROM AREA MUNICIPALITY. SIGNED: ___

Development Services The approval of the water system on private property property is the responsibility of the Local Municipality, Regardless, the Applicant must ensure that the Region of Halton's standards and specifications are met, (the Water and Wastewater Linear Design Manual may be obtained on Halton.ca or by calling 311) all water quality tests must be completed to the Region of Halton's satisfaction before the water

EXISTING WATER TO BE DISCONNECTED

S PER REGION OF HALTON STANDARDS

DWELLING

LOT 2

PIN 24776-0104

NOTE: ANY WORKS REQUIRED ON NEIGHBOURING PROPERTY WILL

REQUIRE NEIGHBOURS SIGNED

CONSENT BEFORE COMMENCEMENT.

NOTE: ANY INCREASE IN

IMPERVIOUS SURFACE FROM

REVIEWED VIA REVISION PROCESS

PROVED PLAN REQUIRED TO BE

437

AT THE MAIN BY THE CONTRACTOR

PROPOSED 25MM COPPER 'K' WATER SERVICE,

TAP BY REGION OF HALTON FORCES ONLY

SHARED DRIVEWAY

BROOKFIELD ROAD

(BY REG'D PLAN I)

PIN 24777-0001

PROPOSED INFILTRATION PI

DWELLING

PROPOSED

70

FF.≡87.42

TFW = 87.06

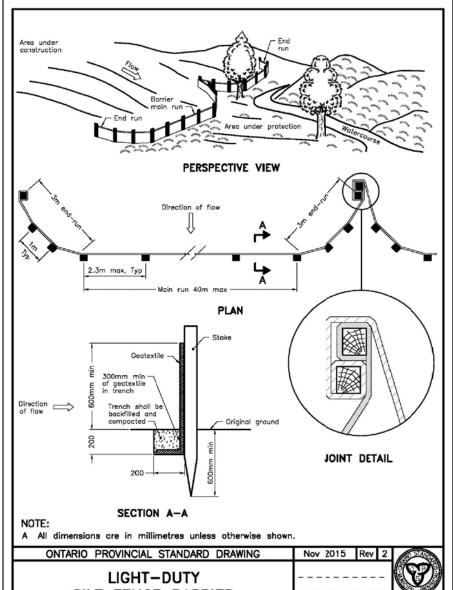
BF= 84.05

UF=/83.75

87.28 ×

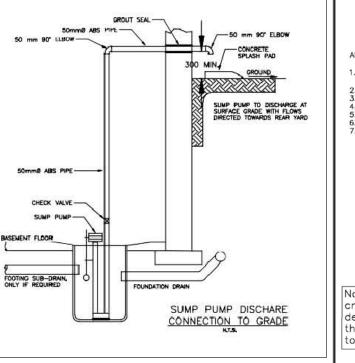
LOT

2-STOREY DWELLING



All dimensions are in millimetres unless otherwise shown.

ONTARIO PROVINCIAL STANDARD DRAWING Nov 2015 Rev 2 SILT FENCE BARRIER OPSD 219.110



3.00 MINIMUM

ASPHALT DRIVEWAY

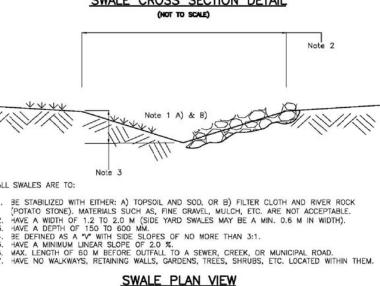
SECTION A-A

(NOT TO SCALE)

REVERSE LEDGE

TFW= 87.25

SCHEDULE 1 TREE PROTECTION BARRIES OAKVILLE Tree Protection Barriers 1) Tree protection barriers must be 1.2m (4ft) high, waferboard hoarding or an equivalent approved by Urban Forestry Services be maintained can be 1.2m (4ft.) high and consist of plastic web snow fencing or 3 Where some excavate or fill has to be temporarily located near a tree protection barrier, plywood must be used to ensure no material enters the Tree Protection Zone. (4) All supports and bracing should be outside the Tree Protection Zone. All such support (5) No construction activity, grade changes, surface treatment or excavations of any kind is permitted within the Tree Protection Zone. SWALE CROSS SECTION DETAIL (NOT TO SCALE)



lote: Provide actual cross—section of swale for each different ross-section proposed on the Grading and Servicing Plan. If the design deviates from the Town standards, it must be demonstrated that adequate capacity is provided, and there is no adverse impact to the adjacent properties. Standard Drawing Name

SWALE CROSS-SECTION DETAIL

Deciduous Tree Scale: Std. Dwg. Number: Coniferous Tree Top of Curb Bottom of Curb Entrance High Point TRW Top of Retaining Wall Embankment BRW Bottom of Retaining Wall (3) Arborist's Tree Number X | Tree to b

MAURICE DRIVE

GARDEN DRIVE

SCALE 1 : 200

o feet dividing by 0.3048.

ITEM DESCRIPTION

AKVILLE BY-LAW

ZONING DESIGNATION

T AREA (MINIMUM)

T FRONTAGE (MINIMUM)

COVERAGE (PROPOSED)

T COVERAGE % (MAXIMUM)

FRONT YARD SETBACK (MINIMUM)

IDE YARD SETBACK (MINIMUM)

REAR YARD SETBACK (MINIMUM)

CLF Chain Link Fence

TFW Top of Foundation Wall

Maintenance Hole

Finished Floor

Utility Pole

RFA TOTAL (MAXIMUM)

OVERALL HEIGHT

LEGEND

RFA/I OT RATIO (MAXIMUM)

T COVERAGE TOTAL (MAXIMUM)

T COVERAGE (GARAGE)

DORVAL DRIVE

ST. JUDE'S CEMETARY

KEY PLAN (NOT TO SCALE)

SITE, GRADING & SERVICING PLAN

10

J.H. Gelbloom Surveying Limited

Ontario Land Surveyor

Distances shown on this plan are in metres and can be converted

511.0 SQ.M.

281.42 SQ.M.

321.62 SQ.M.

6.60

1.20 & 2.40

7.50

9.00

BOS

INV. Invert Elevation

92.56 Proposed Elevation

T.B.R. To Be Removed

TOS Top of Slope

WV Water Valve

— Hoarding

---- Silt Fence

Established Grade

Bottom of Slope

Corrugated Steel Pipe

Existing Elevation

2014-014

804.05 SQ.M.

20.91

242.6 SQ.M.

38.27 SQ.M.

281.40 SQ.M.

34.99%

306.00 SQ.M.

38.06%

1.22 & 3.70

12.84

8.93

REGISTERED PLAN 437

TOWN OF OAKVILLE

SITE ADDRESS 70 BROOKFIELD ROAD OAKVILLE. ONTARIO

BILL & CHRIS FINAN (OWNERS) 64 BROOKFIELD ROAD OAKVILLE, ONTARIO

	/	NOV. 2, 2023	SITE & GRADING	G.S.
2	2	NOV. 6, 2023	REGION COMMENTS	A.M
	3	DEC, 15, 2023	NEW FRONT PORCH	G.S.
4	4	FEB., 20, 2024	TOWN COMMENTS	G.S.
	5	MARCH 05, 2024	REVISE REAR PORCH	M.S.
	6	APR. 23, 2024	TOWN COMMENTS	G.S.
	7	APR. 29, 2024	ENGINEERED INFILTRATION PIT	G.S.
	No.	Date	Description	Ву
		R E V	1 S 1 O N S	

INFORMATION TAKEN FROM A SURVEY PREPARED BY J. H. GELBLOOM SURVEYING LTD., O.L.S. DATED: SEPTEMBER 15, 2023

having an Elevation of 94.7578 m.

SURVEYOR'S CERTIFICATE

DRAINAGE PATTERNS OR ADJACENT PROPERTIES.

SETBACKS HEREON ARE CORRECTLY SHOWN.

Drawn By:

Elevations are Referred to the Town of Oakville Benchmark No. 113

I HAVE REVIEWED THE PLANS FOR THE CONSTRUCTION OF A TWO STOREY ADDITION LOCATED AT 70 BROOKFIELD ROAD AND HAVE PREPARED THIS PLAN

O INDICATE THE COMPATIBILITY OF THE PROPOSAL WITH ALL ADJACENT

PROPERTIES AND EXISTING MUNICIPAL SERVICES. IT IS MY BELIEF THA

ADHERENCE TO THE PROPOSED ELEVATIONS AND GRADIENTS SHOWN WIL PRODUCE ADEQUATE SURFACE DRAINAGE AND PROPER FACILITY OF THE

MUNICIPAL SERVICES WITHOUT DETRIMENTAL EFFECT TO THE EXISTING

WE HEREBY CERTIFY THAT THE DIMENSIONS AND PROPOSED

AS PER OBC 9.14.6.1.(1) I CERTIFY THAT THE BUILDING WILL

Andrew Musil, O.L.S.

Checked By:

Party Chief:

BE LOCATED AND THE SITE GRADING HAS BEEN DESIGNED

SO THAT IT WILL NOT ADVERSELY AFFECT ADJACENT

Sewer contractor to verify in the field and provide 2.5m (MIN.) separation between the Water and Sanitary Lines.

EAVES DO NOT PROJECT MORE THAN

All NEW water and sanitary main

Region of Halton forces only

taps are to be performed by

DOWN SPOUT DISCHARGE LOCATIONS ARE

TO BE DISCHARGED ONTO SPLASH PADS.

SERVICE CONSTRUCTED AT THE SITE DEVELOPERS

ANY WATER OR SANITARY SERVICE THAT DOES

NOT MEET CURRENT REGIONAL STANDARDS MUST

BE DISCONNECTED AT THE MAIN, AND A NEW

O.60M INTO PROPOSED SETBACKS.

Contractor to use existing services.

If the existing sanitary service lateral is used, it must be inspected at the property line by the Regional Inspector, and televised by Regional forces PRIOR to connection

THIS LOT REQUIRES A SUMP PUMP FOR THE FOUNDATION DRAINS AND SHALL DISCHARGE GRADE OUT THE FRONT. COMPLETE WITH BACKFLOW PREVENTER.

Service sizes, inverts and types are derived from the Region of Halton Engineering Department Dwg. No. 0-14594 The contractor must verify inverts.

office@jhgsurveying.ca

Phone:(905) 338-8210

DATE

23-154

APRIL 29, 2024 J. H. Gelbloom Surveying Limited | Project: Ontario Land Surveyor 476 Morden Road, Unit 102, Oakville, Ont., L6K 3W4

ô 19.25 87.87 × 87.84 ¹ N 46° 04' 20" W 0.400 DEC O.04 NE - 0.30 RESERVE 2 STOREY (BY REG'D PLAN 437) STUCCO **DWELLING** DRI 1.22 **7** Q,5 2 STOREY LOT 12 TFW=87.06 FRAME PIN 24776-0102 **DWELLING** No. 193 REG'DSECTION B-B (NOT TO SCALE) (C) UTILITIES CONNECTION 1. SANITARY: (A) MUNICIPAL SANITARY SEWER AVAILABLE ON THE SITE.

GARAGE

VINYL SIDING

TO REMAIN

ROOF PEAK = 92.06

SUMP PUMP DETAIL

2. WATER: (A) SERVICE CONNECTIONS TO BE 25mm DIA. TYPE 'K' SOFT COPPER TUBING (A) A SUMP PUMP WILL BE REQUIRED TO DRAIN THE BASEMENT FACILITIES. UNLESS OTHERWISE NOTED AS PER REGION OF HALTON STANDARDS.

CAR PORT



Prepared for:

Greenlee Design Studio brad@greenleedesignstudio.com 905-979-4576

Project Address:
70 Brookfield Road, Oakville, Ontario
DENG File #n/a

Data Collection and Report Prepared by: Stephen Shelton ON-0542AT, TRAQ 1589 steve@summitsks.ca 25 September 2023

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Summit SKS Limited have been retained by the property owner to prepare this Arborist Report and Tree Protection Plan for 70 Brookfield Road in Oakville, Ontario. The owner intends to demolish the existing house and build a new one. The tree assessment was completed on the 30th day of July 2023. All field and appraisal work was conducted by qualified consultants as defined by the Town and in accordance with Private Tree Protection By-Law 2017-038. A Tree Protection Agreement will be required for this project.

The purpose of this report is to inventory and assess trees 15cm in diameter, measured at breast height and larger on the subject property, in the city road allowance adjacent to the property and any trees within 6m of the property line. There are four (4) trees that are recommended for removal as a result of this proposed construction or their current condition.

Municipally Owned Trees

Tree number M1 is a 18cm dbh Dogwood that is growing near the street in front of the house. This tree is in fair condition and requires a tree protection zone of 2.4m.

Tree number M2 is a 11cm dbh Lilac Ivory Silk that is growing near the street in front of the house. This tree is in fair condition and requires a tree protection zone of 2.4m.



Tree Number		Diameter of Appraised Tree (cm)	Appraised	Replaceme	Area of the Replaceme nt Tree (cm)	Replaceme	Basic Price				Condition Rating	Appraised Value
M1	Dogwood	11	94.985	6	28.26	650	23.00071	72.00%	1831.736	80.00%	75.00%	3042
M2	Ivory Silk Lilac	18	254.34	6	28.26	750	26.53928	77.00%	5070	80.00%	75.00%	1099.04167

Neighbouring Trees

Tree number N1 is a 40cm dbh White Spruce that is growing near the east property line in the backyard of 193 Lakewood Drive. This tree is in poor condition and requires a tree protection zone of 3m.

Privately Owned Trees

Tree number P1 is a 30cm dbh Spruce White that is growing near the north side of the front lawn. This tree is in fair condition and requires a tree protection zone of 3.0m.

Tree number P2 is a 49cm dbh Pine Eastern White that is growing near the north east corner of the existing house. This tree is in fair condition however it is recommended for removal due to development impacts.

Tree number P3 is a 15cm dbh Mulberry White that is growing near the north property line. This tree is in poor condition and is recommended for removal.

Tree number P4 is a 15cm dbh Mulberry White that is growing near the north property line. This tree is in poor condition and is recommended for removal.

Tree number P5 is a 38cm dbh Maple Manitoba that is growing near the north west corner of the existing house. This tree is in fair condition however it is recommended for removal due to development impacts.

All protective tree hoarding shall be installed prior to commencement of any construction activities as per Town of Oakville specifications.

Tree #	Common Name	Latin Name	DBH (cm)	Height (m)	Crown Reserve (m)	Crown Height (m)	Canopy Cover Area (m)	Health	Structure	TPZ (m)	Site Plan Results
M1	Dogwood	Cornus spp.	18	7	4	5	16	fair	fair	2.4m	preserve
M2	Lilac Ivory Silk	Syringa reticulata 'Ivory Silk'	11	4	2	3	4	fair	fair	2.4m	preserve
N1	Spruce White	Picea glauca	40	10	5	7	25	poor	poor	3m	preserve
P1	Spruce White	Picea glauca	30	9	6	9	36	fair	fair	3.0m	preserve
P2	Pine Eastern White	Pinus strobus	49	12	9	10	81	fair	fair	3.0m	remove
P3	Mulberry White	Morus alba	15	8	3	7	9	fair	poor	2.4m	remove
P4	Mulberry White	Morus alba	15	8	3	5	9	fair	poor	2.4m	remove
P5	Maple Manitoba	Acer negundo	38	11	7	8	49	fair	poor	3.0m	remove

Tree ownership is indicated by the tree naming system, tree names beginning with the letter M are municipally owned, tree names beginning with the letter N are on neighbouring properties within 6m of the property line and tree names beginning with the letter P are privately owned and on the subject property.

Limitations of Assessment

It is the policy of Summit SKS Limited to attach the following clause in regards to limitations. This is to ensure that the client is fully aware of what is technically and professionally realistic in the preservation and assessment of trees in the urban environment.

The assessment of the trees in this report has been done in conjunction with and according to accepted arboriculture methods and techniques. These include an examination of the above ground parts of the tree for structural defects, scars, cracks, the overall condition of the visible root structures, the severity and direction of lean (if any), the general condition of the trees and the surrounding environment, external indications of decay such as fungal fruiting bodies, evidence of attack by insects, symptoms of infestation and pathogens, discoloured foliage, and the proximity of potential targets should a tree fail. Except where specifically noted, the trees not cored, probed or climbed and there was no detailed inspection of the root crowns involving excavations, or samples taken to be scientifically tested.

Notwithstanding the recommendations and conclusions presented in this report, it must be acknowledged that trees are living organisms. They are not immune to changes in site conditions, dramatic weather events or seasonal variations in climate. Therefore it should always be recognized that trees are ever evolving and their health and vigour constantly vary over time. While all reasonable efforts have been made to ensure that the subject trees are healthy, no guarantees are offered or implied that these trees or part(s) of any trees will remain intact.

It is professionally and practically impossible to predict with absolute certainty the behaviour of any tree or its component parts under all circumstances and variables. Most trees have the potential for failure under adverse weather conditions and the risk can only be completely eliminated if the tree is removed. inherently, a standing tree will always pose some level of risk. Although every effort has been made to ensure that this assessment is reasonably accurate, trees should be re-assessed periodically. The assessment presented in this report is valid at the time of inspection.

The report is the property of Summit SKS Limited and/or its agents and may not be used until payment is made in full unless written permission is granted to do so. Summit SKS Limited reserves the right to withdraw this report and its recommendations, if any requirements are not met. All details and graphics are copyright of Summit SKS Limited.

On Behalf of Summit SKS Limited

Stephen Shelton, Certified Arborist ON-0542AT

TRAQ 1589











The International Society of Arboriculture

Hereby Announces That

Stephen W. Shelton

Has Earned the Credential

ISA Certified Arborist ®

By successfully meeting ISA Certified Arborist certification requirements through demonstrated attainment of relevant competencies as supported by the ISA Credentialing Council

Caitlyn Pollihan
CEO & Executive Director

18 March 2000

30 June 2024

ON-0542AT

Issue Date

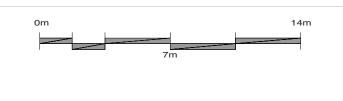
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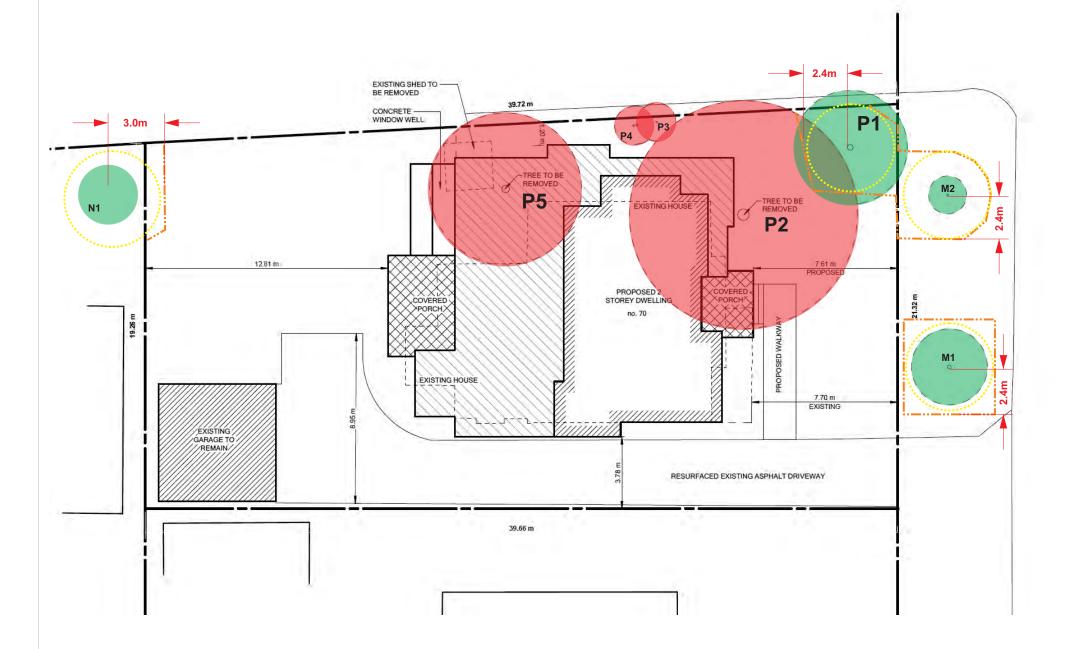
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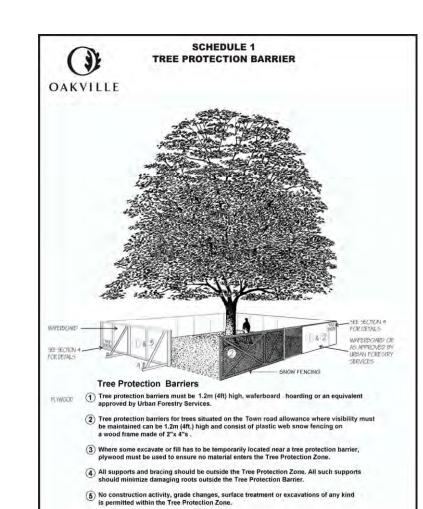


ISA Certified Arborist

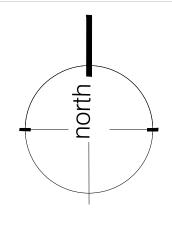








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LEGEND

____ property line



isting tree number (refer to chart)



ting vegetation to be removed



minimum tree protection zone (tpz)



pcnj_ack clrnpccjma_rgmlq

NOTE: Vegetation inventory undertaken

REVISIONS/ SUBMISSIONS

CERTIFICATIONS





Greenlee Designs
MUNICIPALITY
Town of Oakville

Private Residence
70 Brookfield Road

MUNICIPAL FILE NUMBER #- n/a

SHEET

Tree Protection Plan



