

TREE PROTECTION NOTE

1. ALL EXISTING TREES WHICH ARE TO REMAIN SHALL BE FULLY PROTECTED WITH HOARDING, ERECTED BEYOND THEIR DRIP LINE PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT. GROUPS OF TREES AND OTHER EXISTING PLANTINGS TO BE PROTECTED SHALL BE TREATED IN A LIKE MANNER, WITH THE HOARDING AROUND THE ENTIRE CLUMPS' AREAS WITHIN THE PROTECTIVE FENCING SHALL REMAIN UNDISTURBED AND SHALL NOT BE USED FOR THE STORAGE OF THE BUILDING MATERIAL AND EQUIPMENT.
2. NO RIGGING CABLES SHALL BE WRAPPED AROUND OR INSTALLED IN TREES AND SURPLUS SOIL, EQUIPMENT, DEBRIS OR MATERIALS SHALL NOT BE PLACED OVER ROOT SYSTEMS OF THE TREES WITHIN THE PROTECTIVE FENCING. NO CONTAMINANTS WILL BE DUMPED OR FLUSHED WHERE FEEDER ROOTS OF TREES EXIST.
3. THE DEVELOPER OR HIS/HER/ITS AGENTS SHALL TAKE EVERY PRECAUTION NECESSARY TO PREVENT DAMAGE TO TREES OR SHRUBS TO BE RETAINED.
4. WHERE LIMBS OR PORTIONS OF TREES ARE REMOVED TO ACCOMMODATE CONSTRUCTION WORK, THEY WILL BE REMOVED CAREFULLY IN ACCORDANCE WITH ACCEPTED ARBORICULTURAL PRACTICE.
5. WHERE ROOT SYSTEMS OF PROTECTED TREES ARE EXPOSED DIRECTLY TO OR DAMAGED BY CONSTRUCTION WORK, THEY SHALL BE TRIMMED NEATLY AND THE AREA BACKFILLED WITH APPROPRIATE MATERIAL TO PREVENT DESICCATION.
6. WHERE NECESSARY, THE TREES WILL BE GIVEN AN OVERALL PRUNING TO RESTORE THE BALANCE BETWEEN THE ROOTS AND TOP GROWTH OR TO RESTORE THE APPEARANCE OF THE TREES.
7. IF GRADES AROUND TREES TO BE PROTECTED ARE LIKELY TO CHANGE, THE OWNER SHALL BE REQUIRED TO TAKE SUCH PRECAUTIONS AS DRY WELLING, RETAINING WALLS AND ROOT FEEDING TO THE SATISFACTION OF THE PLANNING AND BUILDING DEPARTMENT OF THE TOWN OF OAKVILLE.

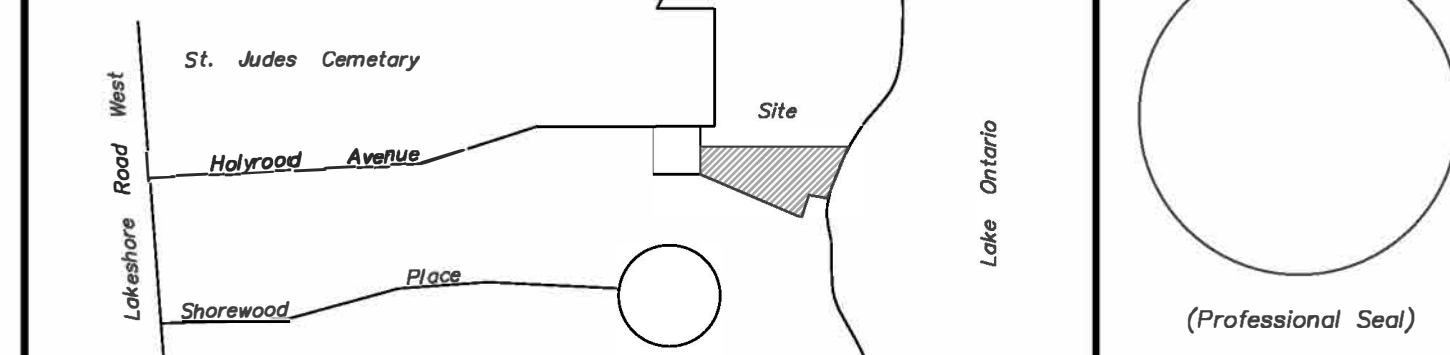
MUNICIPAL RIGHT-OF-WAY NOTES

1. ALL WORKS WITHIN THE PUBLIC RIGHT-OF-WAY ARE TO BE CARRIED TO THE SATISFACTION OF THE TOWN OF OAKVILLE PUBLIC WORKS. ADDITIONAL PERMITS MAY BE REQUIRED.
2. ALL STREET TREES ARE TO BE ADEQUATELY PROTECTED WITH PLYWOOD HOARDING.

MIGRATORY BIRDS CONVENTION ACT:

1. TO AVOID THE HARM AND DESTRUCTION OF NESTS, EGGS, AND YOUNG OF BIRD SPECIES AS PER THE MIGRATORY BIRDS CONVENTION ACT, NO VEGETATION REMOVAL CAN OCCUR DURING THE BREEDING AND NESTING BIRD SEASON GENERALLY MAY 1 AND JULY 31.

KEY PLAN
NOT TO SCALE



STANDARD DEVELOPMENT NOTES

- (A) ENGINEERING AND CONSTRUCTION DEPARTMENT**
1. DRIVEWAYS ON THE MUNICIPAL RIGHT-OF-WAY SHALL BE PAVED BY THE APPLICANT.
 2. AT THE ENTRANCES TO THE SITE, THE MUNICIPAL CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY AND A CURB DEPRESSION WILL BE PROVIDED FOR THE ENTRANCE.
 3. THE TOPS OF ANY CURBS BORDERING THE DRIVEWAYS WITHIN THE MUNICIPAL BOULEVARD WILL BE FLUSH WITH THE MUNICIPAL SIDEWALK AND ROAD CURB.
- (B) GENERAL NOTES**
1. THE EXISTING GRADES SHOWN ON THIS DRAWING ARE TO REMAIN UNCHANGED.
 2. THERE IS AN EASEMENT REGISTERED ON TITLE AND AFFECTING THE SUBJECT LANDS.
 3. THE STOCKPILING OF CONSTRUCTION MATERIAL TO BE DONE AT THE SIDE OF THE PROPOSED DWELLING ON PROPOSED DRIVEWAY.
 4. ALL ROOF DOWNSPOUTS FROM EAVESTROUGH TO DISCHARGE ONTO SURFACE AND THE RUNOFF DIRECTED TOWARDS THE REAR WHERE POSSIBLE AND TO THE ROAD.
 5. ROOF DOWNSPOUT IS LOCATED IN SUCH MANNER AS TO DIRECT DRAINAGE AWAY FROM WALKWAYS, DRIVEWAYS OR PATIO AREAS TO THE SATISFACTION OF THE TOWN OF OAKVILLE.
 6. MAINTAIN EXISTING GRADES IN AREA AROUND TREES TO BE PRESERVED.
 7. PRIOR TO CONSTRUCTION, CONTRACTOR TO VERIFY IN FIELD THE EXACT SIZE AND INVERTS OF THE EXISTING WATER SERVICE CONNECTION AND SEWER CONNECTIONS AND REPORT IT TO THE ENGINEER.
 8. ALL SURPLUS/EXCAVATED MATERIAL TO BE REMOVED FROM THE SITE.
 9. CONTRACTOR TO MATCH EXISTING GRADES ALONG PROPERTY LINES.
 10. ALL DISTURBED AREAS WITHIN EXISTING ROAD ALLOWANCE TO BE REINSTATED WITH TOPSOIL AND SOD TO THE SATISFACTION OF THE TOWN OF OAKVILLE.
 11. THE CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS, IF ANY DISCREPANCIES, THEY MUST BE REPORTED TO THE ENGINEER IMMEDIATELY PRIOR TO CONSTRUCTION.
 12. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES DURING CONSTRUCTION. GAS, HYDRO, TELEPHONE OR ANY OTHER UTILITIES THAT MAY EXIST ON THE SITE OR WITHIN THE STREETLINE MUST BE LOCATED BY ITS OWN UTILITIES AND VERIFIED PRIOR TO CONSTRUCTION.
 13. ALL CONNECTIONS SHALL BE INSTALLED AS PER REGIONAL STANDARDS AND SPECIFICATIONS.
 14. BUILDER IS TO VERIFY TO THE ENGINEER THAT THE FINAL FOOTING ELEVATION AND TOP OF FOUNDATION WALL ELEVATION ARE IN CONFORMITY WITH THE BUILDING CODE AND THE CERTIFIED GRADING PLAN PRIOR TO PROCEEDING.
 15. OUTSIDE FINISHED GRADE TO BE A MINIMUM OF 150 mm BELOW BRICK/STONE VENEER ELEVATION.
 16. PRIOR TO ANY SOODING, THE BUILDER IS TO ENSURE TO THE SOIL CONSULTANT AND/OR THE ENGINEER THAT THE LOT HAS BEEN GRADED AND TOPSOILED AND SOODED COMPLETELY WITH A MINIMUM DEPTH OF 100 mm OF TOPSOIL AND N 1 NURSURY SOD AND A MINIMUM DEPTH OF 150 mm CRUSHED STONE TO BE PROVIDED ON THE ENTIRE LENGTH OF EACH DRIVEWAY ON A FIRM SUBGRADE AND THE DRIVEWAY TO BE PAVED WITH A MINIMUM COMPACTED DEPTH OF 75 mm OF ASPHALT BETWEEN THE CURB AND THE GARAGE.
 17. NO SOODING ON ANY LOT IS PERMITTED UNTIL PRELIMINARY INSPECTION IS DONE BY THE ENGINEER AND THE BUILDER.
 18. DRIVEWAY GRADES SHOULD BE NOT LESS THAN 2.0% AND NOT GREATER THAN 7.0%.
 19. LAWN AND SWALES SHALL HAVE MINIMUM SLOPE OF 2.0% AND A MAXIMUM SLOPE OF 5.0%.
 20. WHERE GRADES IN EXCESS OF 5% ARE REQUIRED, THE MAXIMUM SLOPE SHALL BE 3:1. GRADE CHANGES IN EXCESS OF 1.0m ARE TO BE ACCOMPLISHED BY USE OF A RETAINING WALL. RET. WALLS HIGHER THAN 0.6m SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE.
 21. THE SERVICE CONNECTION TRENCH THROUGH THE TRAVELLED PORTION OF THE ROAD ALLOWANCE SHALL BE BACKFILLED WITH UNSHRINKABLE BACKFILL MATERIAL AS PER TOWN OF OAKVILLE STANDARDS UNLESS OTHERWISE SPECIFIED PRIOR APPROVAL FOR OTHER BACKFILL MATERIAL HAS BEEN OBTAIN.
 22. ALL WATERMANS AND WATER SERVICE MATERIALS AND CONSTRUCTION METHODS MUST CORRESPOND TO CURRENT REGION OF HALTON STANDARDS AND SPECIFICATIONS.
 23. WATERMANS AND/OR WATER SERVICES ARE TO HAVE A MINIMUM DEPTH OF 1.7 m WITH A MINIMUM HORIZONTAL SPACING OF 1.5 m FROM THEMSELVES AND OTHER UTILITIES AND 2.5m MINIMUM FROM ALL SEWERS.
 24. SEDIMENT CONTROL FENCE TO BE INSTALLED AS PER THE TOWN OF OAKVILLE STANDARDS.
 25. ALL DAMAGED AND DISTURBED AREAS TO BE REINSTATED WITH TOPSOIL AND SOD.
- (C) UTILITIES CONNECTION**
1. SANITARY: (A) MUNICIPAL SANITARY SEWER AVAILABLE ON THE SITE.
(B) EXISTING CONNECTION TO REMAIN UNCHANGED.
 2. STORM: (A) MUNICIPAL STORM SEWER NOT AVAILABLE ON THE SITE.
(B) PROPOSED SLUMP PUMP TO DISCHARGE TO EXISTING STORM CHANNEL.
 3. WATER: (A) EXISTING 20mm# SERVICE CONNECTION (PUBLIC-SIDE) TO BE ABANDONED AND REPLACED WITH 25mm# TYPE K SOFT COPPER AS PER REGION OF HALTON STANDARDS. REFER TO SERVICE CONNECTION DETAIL.
(B) SERVICE CONNECTIONS (PRIVATE-SIDE) TO BE 32mm# TYPE 'K' SOFT COPPER TUBING AS PER TOWN OF OAKVILLE STANDARDS.

SITE STATISTICS - ZONE RL3-0
ZONING BY-LAW 2014-014

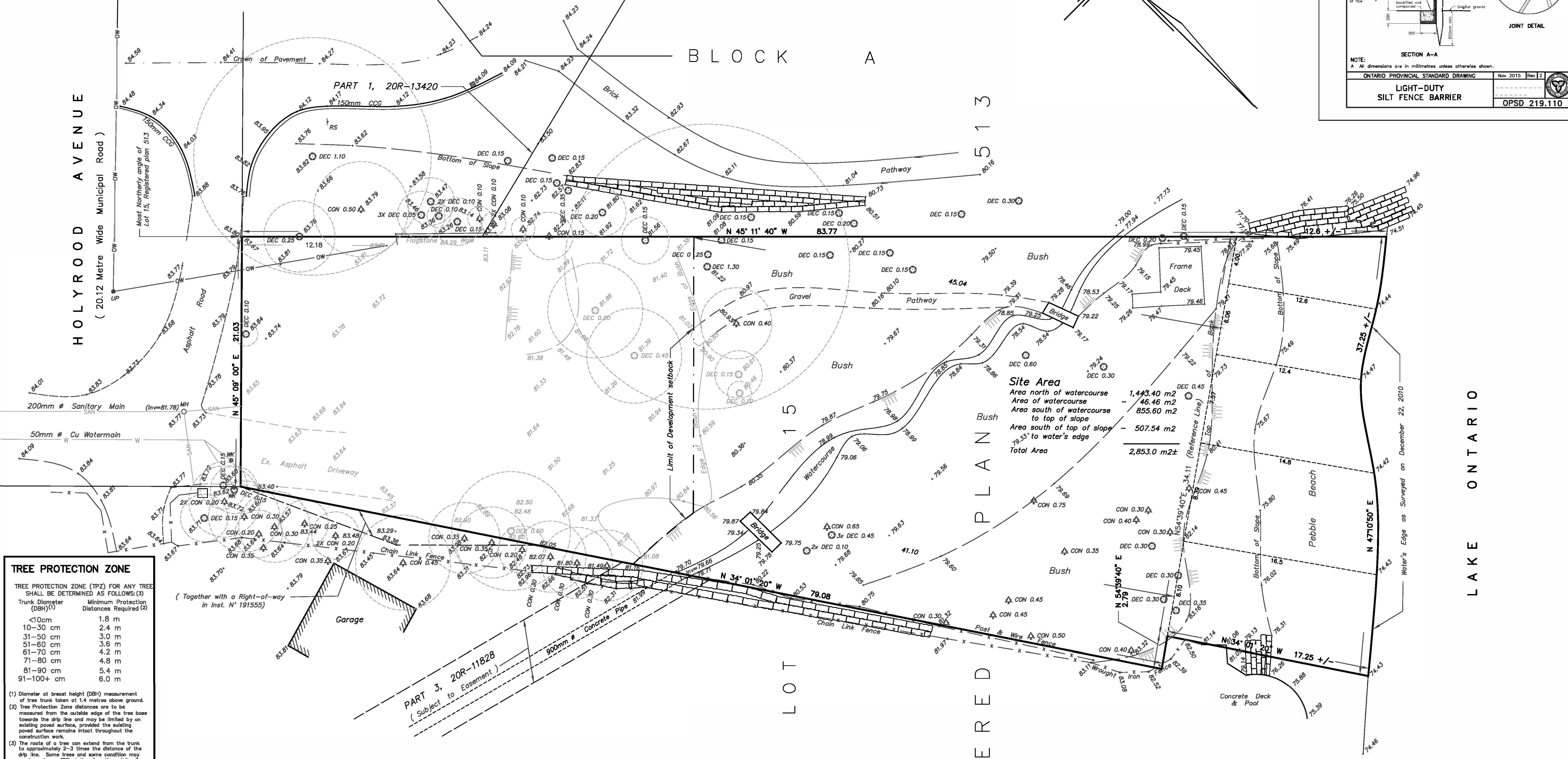
1. LOT AREA = 2,853 m² (597.5 m² Minimum).
2. LOT FRONTAGE = 22.51 m (18.00 m Minimum).
5. ESTABLISHED GRADE = 83.70 m.

REGION OF HALTON CERTIFICATE

REGION DESIGN OF WATER AND/OR WASTEWATER SERVICES APPROVAL SUBJECT TO DETAIL CONSTRUCTION CONFORMING TO HALTON REGION STANDARDS & SPECIFICATIONS & LOCATION APPROVAL FROM AREA MUNICIPALITY.

SIGNED: _____ DATED: _____
INFRASTRUCTURE PLANNING & POLICY

The approval of the water system on private property is the responsibility of the Local Municipality, regardless, the Applicant must ensure that the Region of Halton's standards and specifications are met, (the water and wastewater Linear Design Manual may be obtained on Halton.ca or by calling 311)
All water quality tests must be completed to the Region of Halton's satisfaction, before the water supply can be turned on.

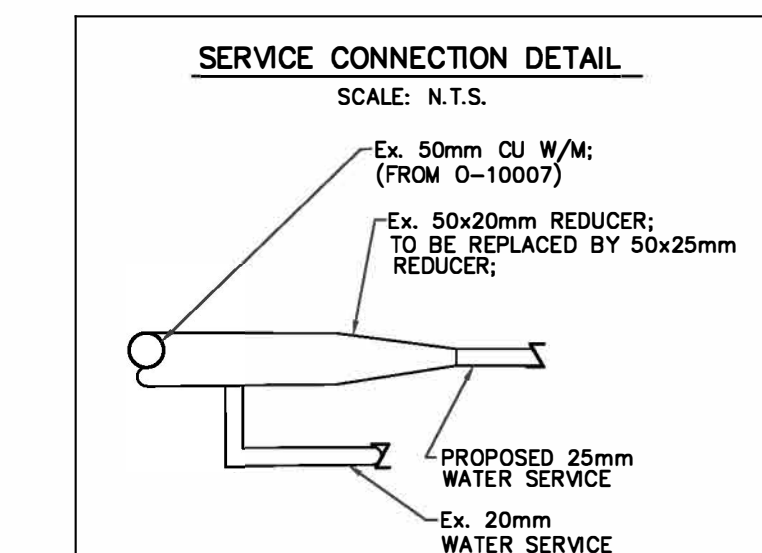
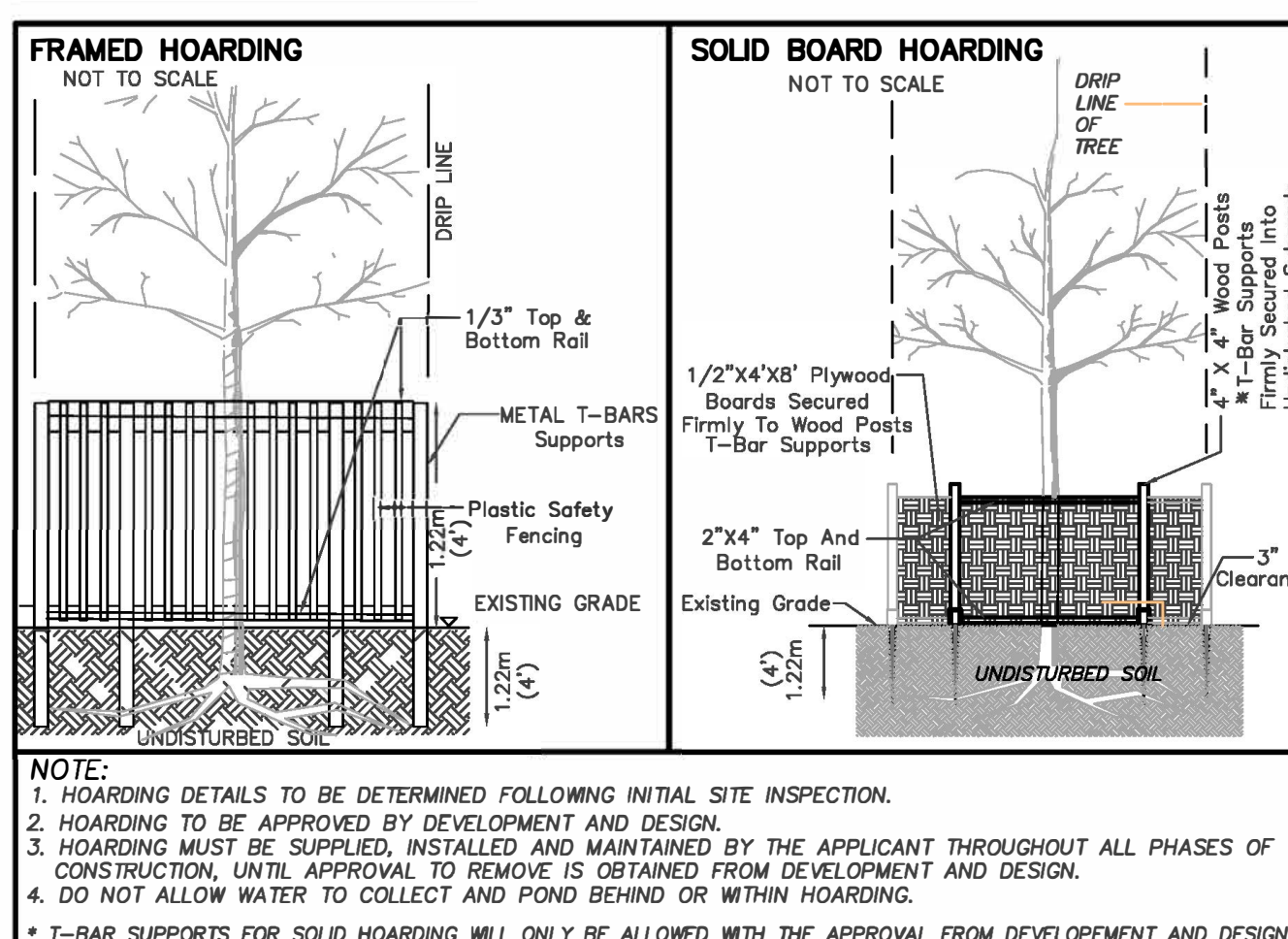


TREE PROTECTION ZONE

TREE PROTECTION ZONE (TPZ) FOR ANY TREE SHALL BE DETERMINED AS FOLLOWS:

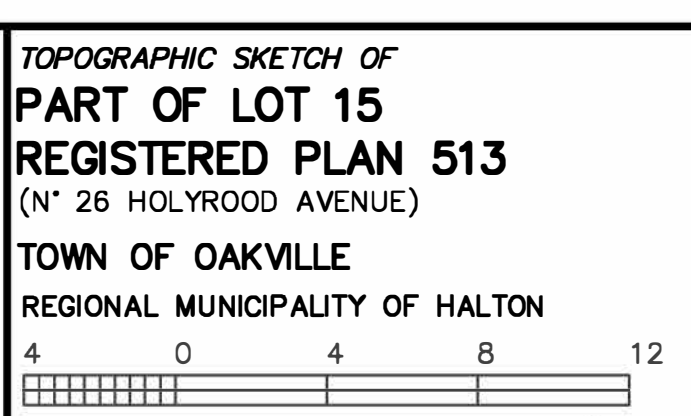
Trunk Diameter (DBH)	Minimum Protection Distances Required (M)
<10cm	1.8 m
10-30 cm	2.4 m
31-50 cm	3.0 m
51-60 cm	3.6 m
61-70 cm	4.2 m
71-80 cm	4.8 m
81-90 cm	5.4 m
91-100+ cm	6.0 m

(1) Diameter of breast height (DBH) measurement of tree trunk taken at 1.4 metres above ground.
(2) Tree Protection Zone distances are to be measured from the outside edge of the tree base towards the drip line and may be limited by an existing paved surface, provided the existing paved surface remains intact throughout the construction work.
(3) The roots of a tree can extend from the trunk to approximately 2-3 times the distance of the drip line. Some trees and some conditions may require a larger TPZ in the direction of the tree.



DESIGN LEGEND

- (86.85) DENOTES PROPOSED GRADE
- (95.85) DENOTES EXISTING GRADE TO REMAIN
- DENOTES EXISTING GRADE
- DENOTES DOOR ENTRANCE
- DENOTES DRAINAGE DIRECTION
- DENOTES DRAINAGE WATER METER
- DENOTES PROPOSED SLUMP PIT
- DENOTES PROPOSED TREE HOARDING
- DENOTES DOWNSPOUT C/W SPLASHPAD



BOUNDARY NOTE
ALL BOUNDARY DATA SHOWN HEREON WAS COMPILED FROM THE REGISTRY OFFICE RECORDS AND WAS VERIFIED IN THE FIELD.

ELEVATION NOTE
ALL ELEVATIONS SHOWN HEREON ARE GEODETIC AND WERE DERIVED FROM THE TOWN OF OAKVILLE BENCHMARK N° 20 HAVING AN ELEVATION OF 90.334m (CGVD-1929).

TREE NOTE
ONLY TREES OF A DIAMETER GREATER THAN 0.15 m WERE LOCATED FOR THIS PLAN.

METRIC NOTE
ALL DISTANCES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED INTO FEET BY DIVIDING BY 0.3048.

LEGEND

- AW DENOTES ANCHOR WIRE(S)
- BW DENOTES BELL BOX
- U/G DENOTES U/G BELL CABLE
- CON-0.20 DENOTES CONDUITS TREE 0.20 DIA
- DEC-0.20 DENOTES DECIDUOUS TREE 0.20 DIA
- PH DENOTES FIRE HYDRANT
- GM DENOTES GAS METER
- GV DENOTES GAS VALVE
- U/G DENOTES U/G GAS MAIN
- U/G DENOTES U/G HYDRO CABLE
- LS DENOTES LIGHT STANDARD (LAMP)
- MI DENOTES MANHOLE
- OW DENOTES OVER HEAD WIRES
- SA DENOTES SANITARY SEWER
- STW DENOTES STORM SEWER
- U/P DENOTES UTILITY POLE
- UPLS DENOTES UTILITY POLE LIGHT STANDARD
- WV DENOTES WATER VALVE (WV)
- W DENOTES U/G WATER MAIN

UNDERGROUND SERVICES NOTE
ONLY UNDERGROUND SERVICES VISIBLE ON THE GROUND WERE LOCATED FOR THIS PLAN.
THE USER OF THIS PLAN SHALL CONTACT THE LOCAL UTILITY COMPANIES FOR LOCATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION WORKS.

SURVEYOR'S NOTE
1. CERTIFY THAT:
1. THIS PLAN WAS PREPARED FOR DESIGN PURPOSES ONLY AND IS NOT SUITABLE FOR ANY LEGAL TRANSACTIONS.
2. THE TOPOGRAPHIC DETAIL SHOWN HEREON WAS ACCURATE ON 22nd DAY OF DECEMBER, 2010.
DATE: DEC. 31, 2010

ROBERT D. MCCONNELL
ONTARIO LAND SURVEYOR

CUNNINGHAM McCONNELL LIMITED
ONTARIO LAND SURVEYORS

1200 SPEERS ROAD, UNIT 38
OAKVILLE, ONTARIO L6L 2K4
PHONE (905) 845-3497
FAX (905) 845-3519
E-mail: rlmcc@mcconnell.ca

205 MAIN STREET
MILTON, ONTARIO L7T 1N7
PHONE (905) 878-7810
FAX (905) 878-8672
E-mail: mlm@mcconnell.ca

CLIENT: HICKS DESIGN STUDIO
O.L.S FILE N° 165-10 (BD-537)

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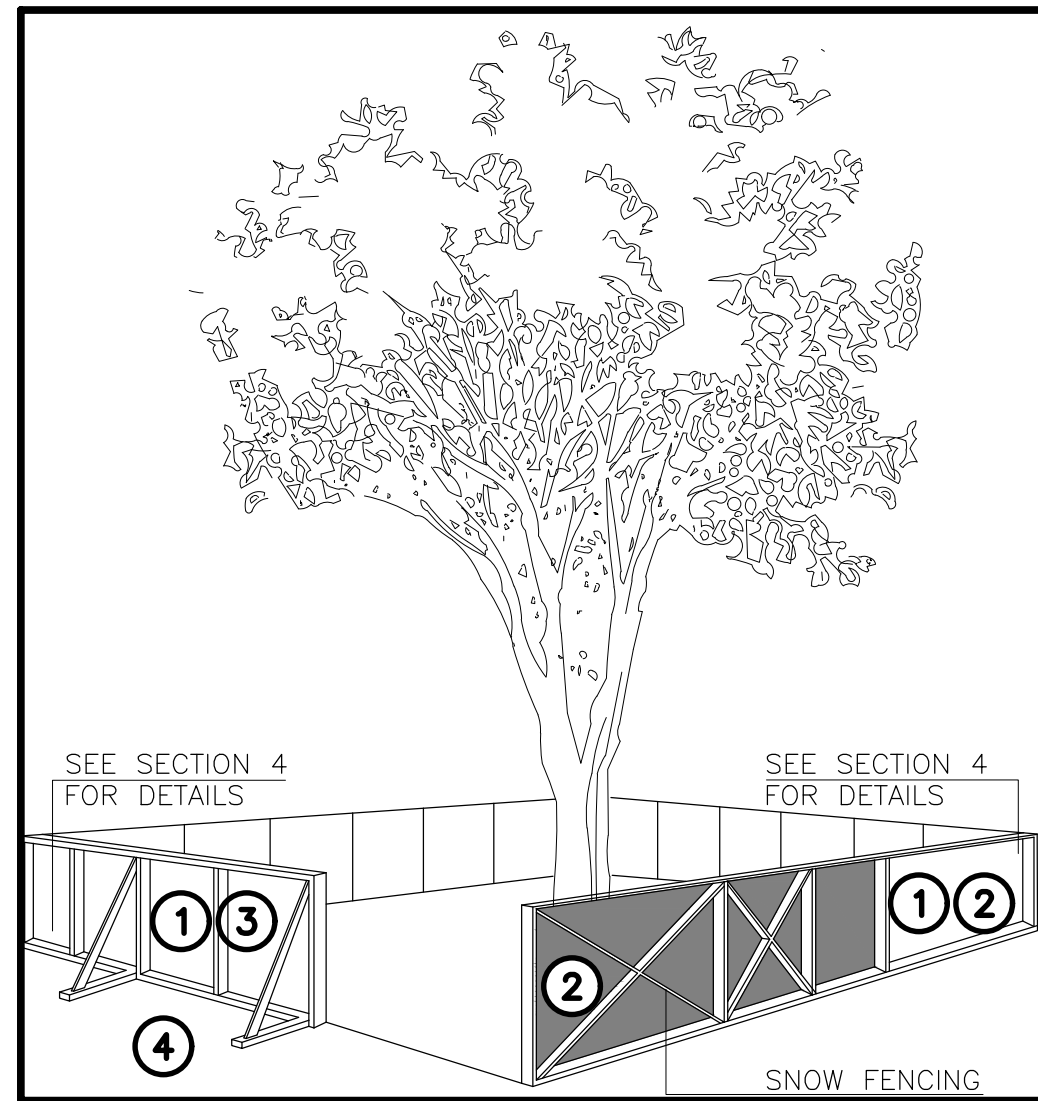
DATE	REVISIONS	INITIAL
2021/11/05	EXISTING DWELLING REMOVED	RLM
2019/11/21	MIGRATORY BIRD NOTE ADDED	RLM
2019/10/31	SILT FENCE DETAILS ADDED	RLM
2019/07/23	REVISED AS PER TOWN COMMENTS	RLM
2019/04/03	REVISED PER TOWN COMMENTS	RLM
2019/03/01	REVISED DWELLING DESIGN	RLM
2019/02/08	REVISED DWELLING DESIGN	RLM
2019/02/06	REVISED DWELLING DESIGN	RLM
2019/11/20	REVISED DWELLING DESIGN	RLM
2019/10/25	REVISED DWELLING DESIGN	RLM
2017/06/19	REVISED AS PER TOWN COMMENTS	RLM
2010/12/31	ISSUED FOR DESIGN	RLM

N° 26 HOLYROOD AVENUE, OAKVILLE

SITE PLAN

SITE GRADING AND SERVICING PLAN

DATE: APRIL 8, 2024 SCALE 1 : 200
REGIONAL DRAWING N° _____ PLAN N° 165-10-1



- ### TREE PROTECTION BARRIERS
- TREE PROTECTION BARRIERS MUST BE 1.2m (4'-0") HIGH, WAFERBOARD HOARDING OR AN EQUIVALENT APPROVED BY URBAN FORESTRY SERVICES.
 - TREE PROTECTION BARRIERS FOR TREES SITUATED ON THE TOWN ROAD ALLOWANCE WHERE VISIBILITY MUST BE MAINTAINED CAN BE 1.2m (4'-0") HEIGHT AND CONSIST OF ORANGE PLASTIC WEB SNOW FENCING ON A WOOD FRAME MADE OF 2"x4"s.
 - WHERE SOME EXCAVATE OR FILL HAS TO BE TEMPORARILY LOCATED NEAR A TREE PROTECTION BARRIER, PLYWOOD MUST BE USED TO ENSURE NO MATERIAL ENTERS THE TREE PROTECTION ZONE.
 - ALL SUPPORTS AND BRACING SHOULD BE OUTSIDE THE TREE PROTECTION ZONE. ALL SUCH SUPPORTS SHOULD MINIMIZE DAMAGING ROOTS OUTSIDE THE TREE PROTECTION BARRIER.
 - NO CONSTRUCTION ACTIVITY, GRADE CHANGES, SURFACE TREATMENT OR EXCAVATIONS OF ANY KIND IS PERMITTED WITHIN THE TREE PROTECTION ZONE.
 - ALL LOCATES MUST BE OBTAINED PRIOR TO THE INSTALLATION OF THE PROPOSED HOARDING WITHIN THE MUNICIPAL RIGHT OF WAY.

— TYPE 1 = TREE HOARDING WAFER BOARD
 — TYPE 2 = TREE HOARDING ORANGE SNOW FENCE

SECTION 4, SIGNAGE

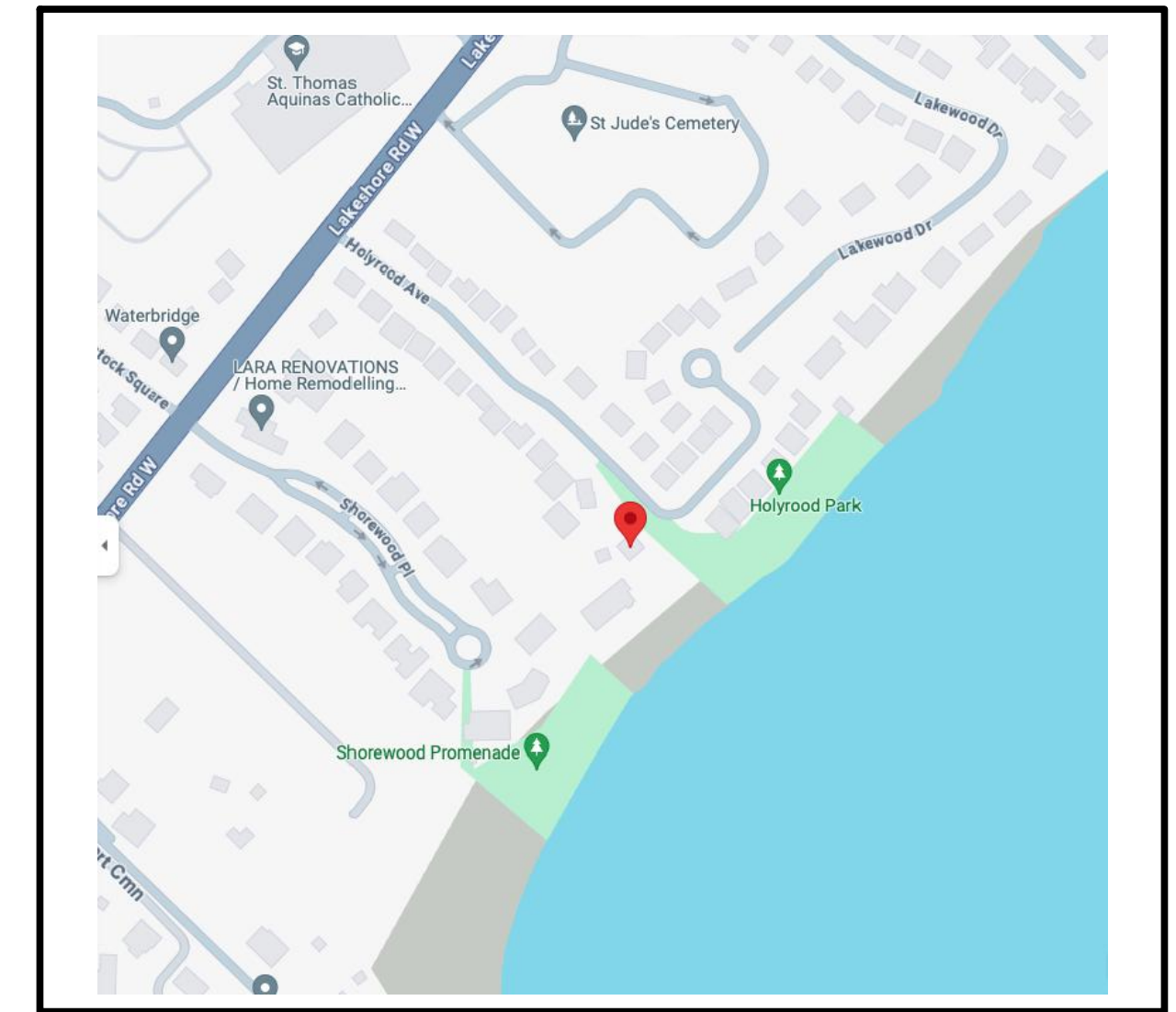
- A SIGN (AS PER BELOW) MUST BE MOUNTED ON ALL SIDES OF A TREE PROTECTION BARRIER FOR THE DURATION OF THE PROJECT. THE SIGN SHOULD BE A MINIMUM OF 40cmX60cm AND MADE OF WHITE GATOR BOARD OR EQUIVALENT MATERIAL.

"TREE PROTECTION ZONE"
 NO GRADE CHANGE, STORAGE OF MATERIALS OR EQUIPMENT IS PERMITTED WITHIN THIS AREA. THE TREE PROTECTION BARRIER MUST NOT BE REMOVED WITHOUT THE WRITTEN AUTHORIZATION OF THE TOWN OF OAKVILLE."

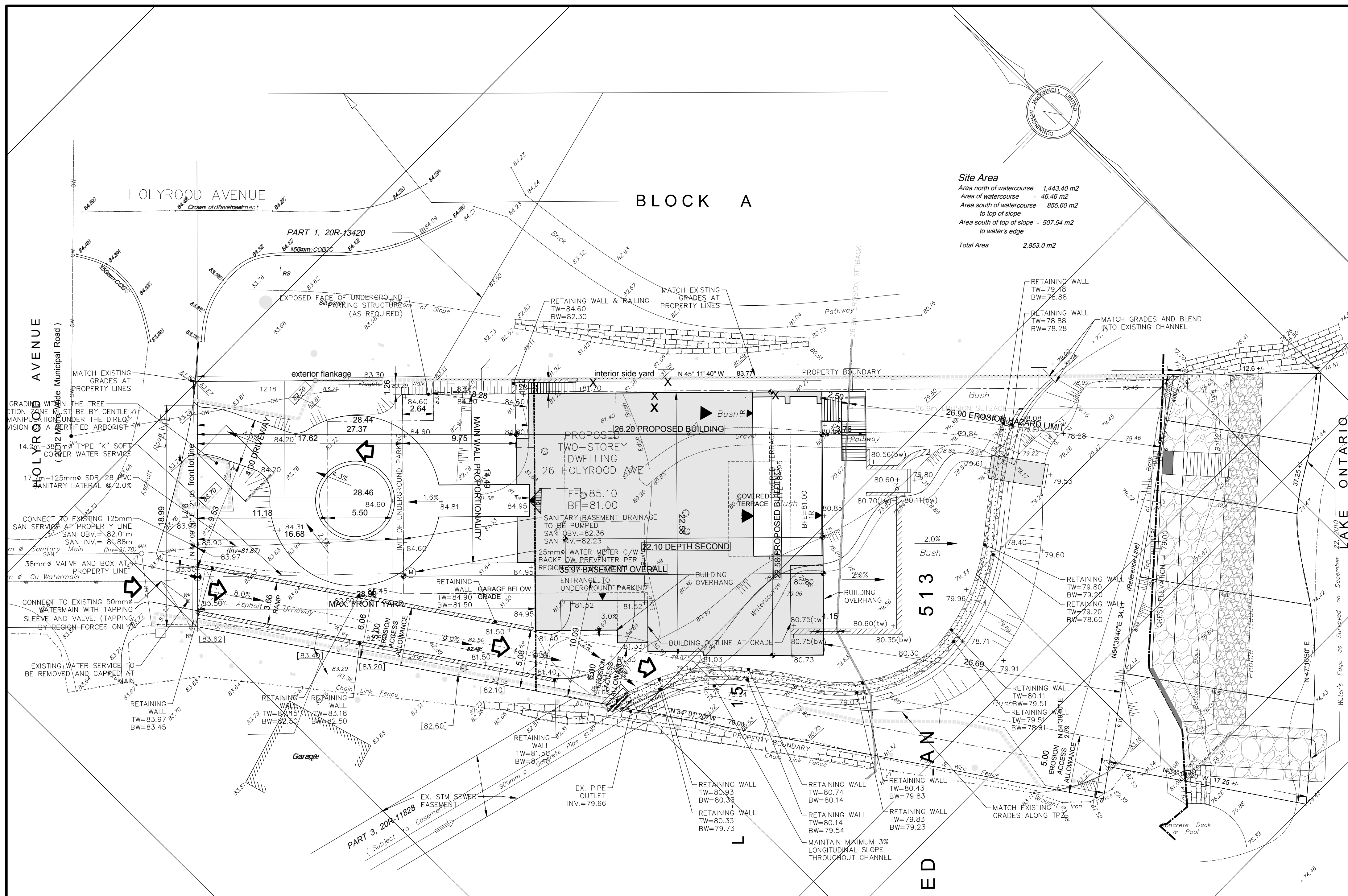
TOWN OF OAKVILLE PARKS AND RECREATION DEPARTMENT

NAME: TREE PROTECTION BARRIERS
 DATE:
 FILE NO.:

4 TREE PROTECTION
 A1.1 SCALE: N.T.S.



3 KEY PLAN
 A1.1 SCALE: N.T.S.



3 SITE PLAN
 A1.1 SCALE: 1:200

OWNER: PIYUSH AND ARTI PATEL 26 HOLYROD AVENUE OAKVILLE, ON L6K 2V3 416 419 8300	
DESIGNER: HDS DWELL INC 20 GILMOUR ROAD PUSLINCH, ONTARIO N0B 2J0 ATTENTION: JASON HUETHER PH: 226-979-4493	
APPLICANT: HDS DWELL INC. ATTENTION: JASON HUETHER PH: 226-979-4493	
SITE STATISTICS	26 HOLYROD AVENUE OAKVILLE, ON L6K 2V3 PART OF LOT 15 REG. PLAN 512 RL3-0
ADDRESS:	
LEGAL DESCRIPTION:	
ZONING:	
LOT AREA TO WATERS EDGE:	% METRIC IMPERIAL 2853 30710.44
LOT FRONTAGE:	
AT STREET	21.03 69.00
AS PER DEFINITION (7.5m back from property line)	22.51 73.85
GROSS FLOOR AREA:	
PROPOSED	468.03 5,038.00
SECOND FLOOR	275.36 2,964.00
THIRD FLOOR	400.86 4,315.00
FIRST FLOOR AREA	
TOTAL PROPOSED GFA	1144.25 12,317.00
PROPOSED PERCENTAGE	40.11%
ALLOWABLE GROSS FLOOR AREA:	
29% OF LOT AREA WATERS EDGE	827.37 8906.03
UNDERGROUND GARAGE AREA	260.12 2,800.00
UNFINISHED AREA	32.14 346.00
SUB BASEMENT	125.04 1,346.00
LOT COVERAGE: (Includes porches & decks more than 10sq.m. & more than 0.6m above grade)	
PERMITTED	35.00 998.55 10,748.65
PROPOSED DWELLING	468.05 5,038.00
PROPOSED BELOW GRADE GARAGE	171.87 1,850.00
PROPOSED COVERED ENTRY PORCHES	5.85 63.00
PROPOSED REAR COVERED PORCHES	45.06 485.00
UNCOVERED REAR PORCH	38.65 416.00
EAVE PROJECTIONS IN EXCESS OF 0.6M	10.13 109.00
PROPOSED TOTAL LOT COVERAGE WATERS EDGE	25.92 739.60 7,961.00
MAXIMUM HEIGHT TO HIGHEST RIDGE:	
PERMITTED	9.00 29'-6"
PROPOSED	9.00 29'-6"
MAXIMUM DRIVEWAY WIDTH	9.00 29'-6"
PROPOSED DRIVEWAY WIDTH	7.93 26'-0"
MAXIMUM GARAGE PROJECTION	1.50 4'-10"
PROPOSED GARAGE PROJECTION	20.89 68'-6"
NORTHWEST SETBACK (FRONT)	17.62
SOUTHEAST SETBACK (REAR)	25.69
NORTHEAST SETBACK (SIDE)	1.22
SOUTHWEST SETBACK (SIDE)	5.08

1 SITE STATISTICS
 A1.1 SCALE: N.T.S.

Drawings must NOT be scaled.
 Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the architect prior to proceeding with any of the work.

SITE LEGEND:

PROPERTY LINE
EXISTING GRADE
FINISHED GRADE
FINISHED FLOOR ELEVATION
FINISHED BASEMENT ELEVATION
FINISHED DECK ELEVATION
MAIN ENTRANCE
SECONDARY ENTRANCE
EXISTING STRUCTURES TO BE REMOVED
BORE HOLE LOCATION & No. PER SOILS REPORT
ROOF DOWNSPOUT LOCATION, DISCHARGE ON ROOFING CONC. PAVEMENT
PROPOSED DIMENSIONS TO NEW STRUCTURES
EXISTING DIMENSIONS TO EXISTING STRUCTURES
NEW SUMP WITH DISCHARGE DIRECTION
TREE HOARDING
TREE NUMBER PER ARBOURIST REPORT
EXISTING TREE TO REMAIN - DASHED LINE INDICATES TPZ (TREE PROTECTION ZONE PER ARBOURIST REPORT)
EXISTING TREE TO BE REMOVED
EXISTING TREE TO BE REMAIN

REGION OF HALTON CERTIFICATE

REGION DESIGN OF WATER AND/OR WASTEWATER SERVICES APPROVED SUBJECT TO DETAIL CONSTRUCTION CONFORMING TO HALTON REGION STANDARDS AND SPECIFICATIONS AND LOCATION APPROVAL FROM AREA MUNICIPALITY.

SIGNED: _____ DATED: _____

Planning & Public Works Department
 The Applicant should be aware that the approval of the water system on private property is the responsibility of the Local Municipality. Regulations, the Applicant must ensure that the Region of Halton's standards and specifications are met. (The Design Criteria, Standard Drawings & Specifications manual may be obtained from the Planning & Public Works Department at 905-825-6032.)
 Furthermore, all water quality tests must be completed to the Region of Halton's satisfaction, before the water supply can be turned on.

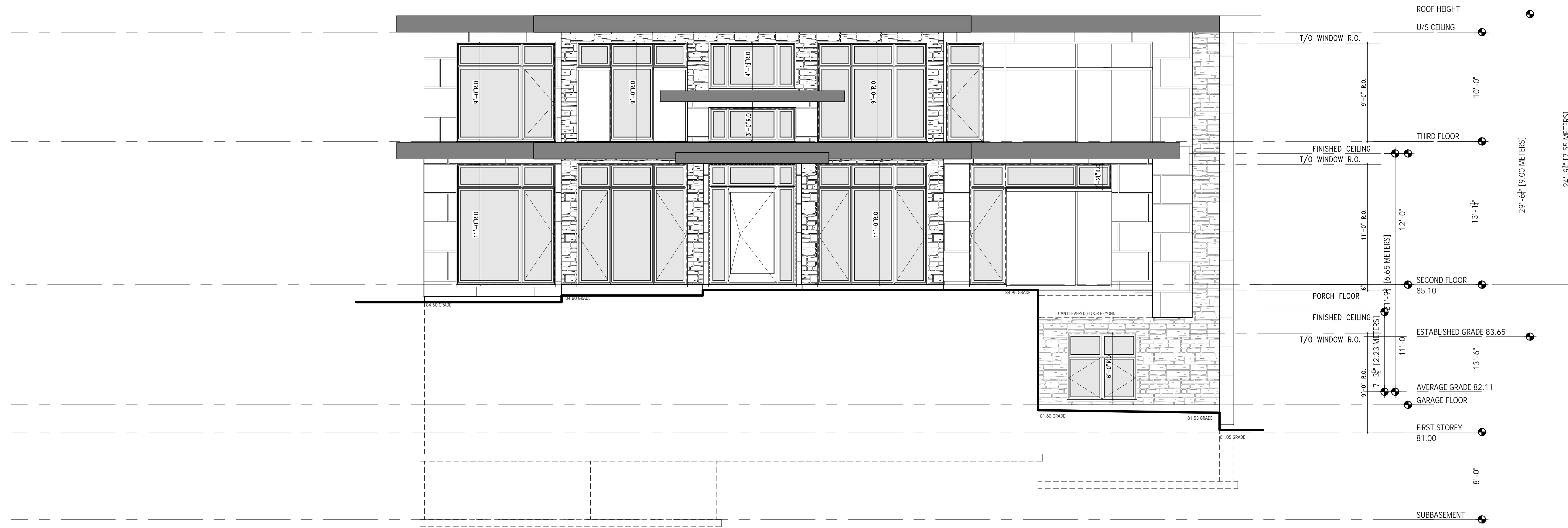
LOT AREA TO WATERS EDGE:	%	METRIC	IMPERIAL
		2853	30710.44
LOT FRONTAGE:			
AT STREET		21.03	69.00
AS PER DEFINITION (7.5m back from property line)		22.51	73.85
GROSS FLOOR AREA:			
PROPOSED		468.03	5,038.00
SECOND FLOOR		275.36	2,964.00
THIRD FLOOR		400.86	4,315.00
FIRST FLOOR AREA			
TOTAL PROPOSED GFA		1144.25	12,317.00
PROPOSED PERCENTAGE		40.11%	
ALLOWABLE GROSS FLOOR AREA:			
29% OF LOT AREA WATERS EDGE		827.37	8906.03
UNDERGROUND GARAGE AREA		260.12	2,800.00
UNFINISHED AREA		32.14	346.00
SUB BASEMENT		125.04	1,346.00
LOT COVERAGE: (Includes porches & decks more than 10sq.m. & more than 0.6m above grade)			
PERMITTED		35.00	998.55 10,748.65
PROPOSED DWELLING		468.05	5,038.00
PROPOSED BELOW GRADE GARAGE		171.87	1,850.00
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EAVE PROJECTIONS IN EXCESS OF 0.6M		10.13	109.00
PROPOSED TOTAL LOT COVERAGE WATERS EDGE		25.92	739.60 7,961.00
MAXIMUM HEIGHT TO HIGHEST RIDGE:			
PERMITTED		9.00	29'-6"
PROPOSED		9.00	29'-6"
MAXIMUM DRIVEWAY WIDTH		9.00	29'-6"
PROPOSED DRIVEWAY WIDTH		7.93	26'-0"
MAXIMUM GARAGE PROJECTION		1.50	4'-10"
PROPOSED GARAGE PROJECTION		20.89	68'-6"
NORTHWEST SETBACK (FRONT)		17.62	
SOUTHEAST SETBACK (REAR)		25.69	
NORTHEAST SETBACK (SIDE)		1.22	
SOUTHWEST SETBACK (SIDE)		5.08	

05.21.24	REISSUED FOR C OF A
04.06.24	REISSUED FOR C OF A
02.06.24	ISSUED FOR CONSERVATION
01.24.24	ISSUED FOR C OF A
REF. DATE:	DESCRIPTION:
REVISIONS / ISSUANCE:	
CLIENT: THE PATEL RESIDENCE	
ADDRESS: 26 HOLYROD DR OAKVILLE	
DRAWING TITLE: SITE PLAN	
DRAWN: J.W.H	
DATE: 01.24.24	SCALE: 1:200
JOB NUMBER: 24-064	SHEET NUMBER: A1.1

CITY OF MISSISSAUGA STAMP:



Drawings must NOT be scaled. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the architect prior to proceeding with any of the work.



2	02.06.24	ISSUED FOR CONSERVATION
1	01.24.24	ISSUED FOR C OF A
REF.	DATE	DESCRIPTION
REVISIONS / ISSUANCE:		



CLIENT:
THE PATEL
RESIDENCE

ADDRESS: 26 HOLYROD DR
CITY: OAKVILLE

DRAWING TITLE:
NORTH
ELEVATION

DRAWN: J.W.H.
DATE: 01.24.24
JOB NUMBER: 24-064
SCALE: 3/16"=1'-0"
SHEET NUMBER: A4.1

\\P001\USERS\JWHELL\PROJECTS\CONSERVATION\HDS\DWELL\PROJECTS\24_064\24-064-NORTH ELEVATION.dwg

CITY OF MISSISSAUGA STAMP:



Drawings must NOT be scaled. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the architect prior to proceeding with any of the work.



2	02.06.24	ISSUED FOR CONSERVATION
1	01.24.24	ISSUED FOR C OF A
REF.	DATE	DESCRIPTION
REVISIONS / ISSUANCE:		



CLIENT:
THE PATEL
RESIDENCE

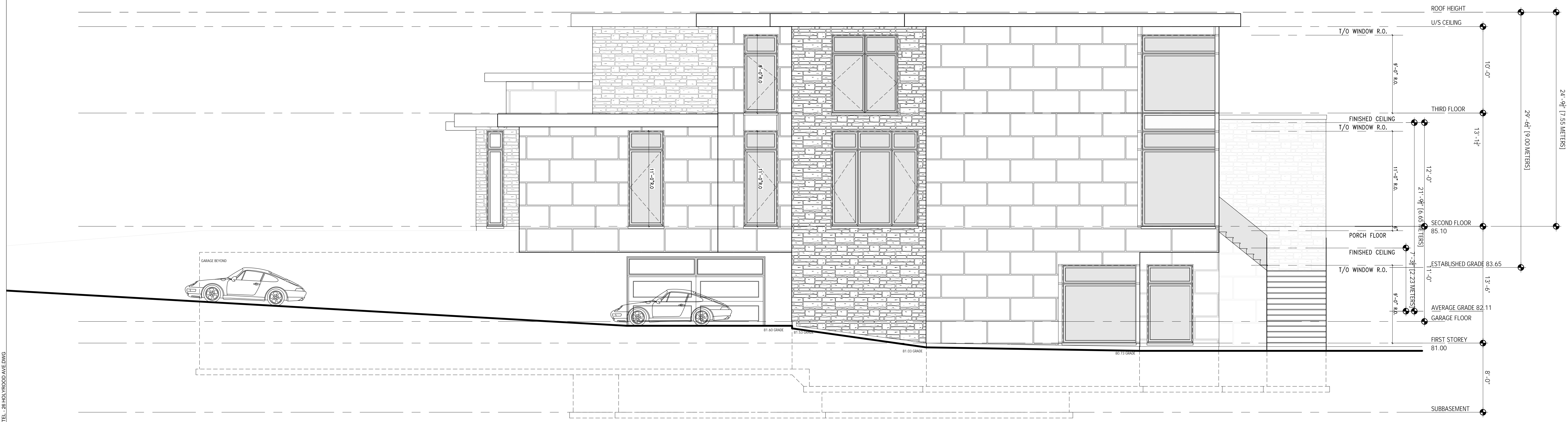
ADDRESS: 26 HOLYROD DR
CITY: OAKVILLE

DRAWING TITLE:
SOUTH
ELEVATION

DRAWN: J.W.H
DATE: 01.24.24
JOB NUMBER: 24-064

SCALE: 3/16"=1'-0"
SHEET NUMBER: A4.3

P:\2024_06\24\26 HOLYROD DR\CONSERVATION\HDS DWELL\24-064\24-064-01 WEST ELEVATION.dwg



CITY OF MISSISSAUGA STAMP:

QUALIFICATION INFORMATION	
PROFESSIONAL DESIGNER'S LICENSE NUMBER	20081
PROFESSIONAL DESIGNER'S NAME	J.W.H.
REGISTRATION INFORMATION	
PROFESSIONAL DESIGNER'S LICENSE NUMBER	11999
PROFESSIONAL DESIGNER'S NAME	J.W.H.

Drawings must NOT be scaled. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the architect prior to proceeding with any of the work.

2	02.06.24	ISSUED FOR CONSERVATION
1	01.24.24	ISSUED FOR C OF A
REF.	DATE	DESCRIPTION

REVISIONS / ISSUANCE:

**HDS DWELL
INC.**

HDS DWELL INC.
25 GLENVIEW ROAD, PLEASANTON, ONTARIO, CANADA M9B 3J0
WWW.HSDWELL.COM TEL: 905.882.4400

CLIENT:
THE PATEL
RESIDENCE

ADDRESS: 26 HOLYROD DR
CITY: OAKVILLE

DRAWING TITLE:
WEST
ELEVATION

DRAWN: J.W.H.	SCALE: 3/16"=1'-0"
DATE: 01.24.24	SHEET NUMBER:
JOB NUMBER: 24-064	A4.4



HDS DWELL
INC.

VARIANCE RATIONALE FOR 26 HOLYROD AVE, OAKVILLE, ON

We are the Designers assisting the Owner of the property known as 26 Holyrod Ave with their new 2 storey dwelling and we are requesting some Minor variances connected to the property. The variances requested are listed below along with a brief rationale.

VARIANCES REQUIRED - RL3-0 ZONING

FLANKAGE YARD SETBACK - Required 3.5m, Proposed 1.26 to an underground garage

MAXIMUM FRONT YARD SETBACK - Required 16.68m, Proposed 28.99m

PROJECTING GARAGE - Allowable 1.5m., Proposed 20.89m

3 STOREYS WHERE 2 ARE PERMITTED - Permitted is 2 stories, proposed is 3 stories

FLOOR AREA ABOVE THE 2ND STOREY - Permitted is 0 sqm, proposed is 276 sq

DRIVEWAY SETBACK TO SECOND DRIVEWAY - Permitted 11.2m, Proposed 18.99m

GARAGE AREA - Permitted 45sqm, Proposed 261sqm

MAX RESIDENTIAL FLOOR AREA - Permitted 29% or 826.2sqm, Proposed 1145sqm

REASONS FOR VARIANCE:

EXTERIOR SIDE YARD SETBACK - Required 3.5m, Proposed 1.26 to an underground garage

This is a rather odd shaped lot. What appears to be an interior side yard setback is actually an exterior side yard up until a point it intersects the park block lot line, where it switches back to an interior side yard. We are proposing a setback of a small square of underground garage that is 1.26m from the exterior lot line versus 3.5m required. This is a below grade structure and this condition only applies for a length of 2.64m after which it complies.

MAXIMUM FRONT YARD SETBACK - Required 16.68m, Proposed 28.99m

The house is pushed back on the lot given its lake front location. This also helps better align the home with the neighbouring properties. The lot had a previous house and the required minimum front yard would have been 11.18m. The required max to the front main wall will be 28.99 as we have the house deeper on the lot thus beyond the allowable max setback. This allows us to comply with a required 5.0m conservation setback and sets the house back further from the corner road.

PROJECTING GARAGE - Permitted is 1.5m, Proposed 20.89m

This is a very technical variance given the garage is located entirely underground beneath the earth surface. The first storey of the dwelling is actually what would normally be classified as a basement (again technicality based in established grade) the garage projects 20.89m from the longest main floor exterior wall beneath grade. This has no affect whatsoever on neighbouring properties and is invisible from the street as it is all below grade.

3 STOREYS WHERE 2 ARE PERMITTED - Permitted is 2 stories, proposed is 3 stories

The lot in its natural state slopes drastically from the street front to the lake, with a large overland flow south along the west side. Given the slope, the technical definition for a storey based on established grade now makes the basement walkout (which exists naturally) as the first storey. The house is a 2 storey home from the street, but based on the OBC definition, it must be classified as a 3 storey home.

FLOOR AREA ABOVE THE 2ND STOREY - Permitted is 0sqm, proposed is 276 sqm

Similar to the variance above for 3 stories. The bylaw does not permit GFA above a second storey. Since we are technically classified as 3 stories our proposed second floor of 276sqm is above the second storey. The house is a 2 storey in design and complies with height. It is a technical variance based on the natural lot slope to the lake.

DRIVEWAY SETBACK TO SECOND DRIVEWAY - Permitted 11.2m, Proposed 18.99m

Again a rather technical variance for the main driveway into the front door, based on bylaw required dimensions. The driveway is a long way away from the actual intersection given the park lot next to us, which is the intent of this measurement.

GARAGE AREA - Permitted 45sqm, Proposed 261sqm

Again this variance is rather technical in nature as the entire garage is accessed from a ramp and is buried below grade. Given the designation as 3 stories the basement (and the garage) are now classified as the first floor and are thus required to be included. Were this not a natural walkout lot, and we proposed the full underground garage, it would not require a variance as it would be in the basement.

RESIDENTIAL FLOOR AREA - Permitted 29% or 826.30sqm, Proposed 1145sqm

Again this variance is rather technical in nature given the requirement to classify the home as 3 stories. With this designation the basement is now classified as the first storey/ floor and is thus required to be included in the total GFA. Were this not a natural walkout lot, and we proposed the same finished basement, it would not require a variance as it would be in the basement. The house as viewed from the street is 2 stories and those natural 2 stories comply with the 29% at 743 sqm in fact it is significantly less. The basement can only be seen from the lake and the additional GFA is out of site from all neighbouring dwellings. It is essentially below grade where the additional GFA exists and does not make the home feel larger as a result.

Why this application meets the four tests.

Are the variances Minor In Nature?

The variances as requested are minor in nature, there is no cumulative affect to the requested variances and they do not pose impacts on the neighbouring homes, as this home is bordered for the most part by a town park block and the lakefront

Is the proposal desirable and appropriate?

The new home is in keeping with the scale, size and character for the neighbourhood. This house will sit gently on this lakefront property and takes advantage of of the odd shaped lot in order to conceal major portions of the home

Is it in keeping with the general Intent of the Zoning Bylaw?

Is it in keeping with the general Intent of the Official Plan?

The requested variances are minor in nature and will not pose impacts to surrounding homes. They do not create an overbuild for the site and the home sits comfortably on this lakefront lot.

Thank you very much. If you have any questions at all please feel free to reach out via phone or email below.

Yours truly,

**Jason Huether
HDS Dwell Inc.
226 979-4493
jhuether@hdsdwell.ca**