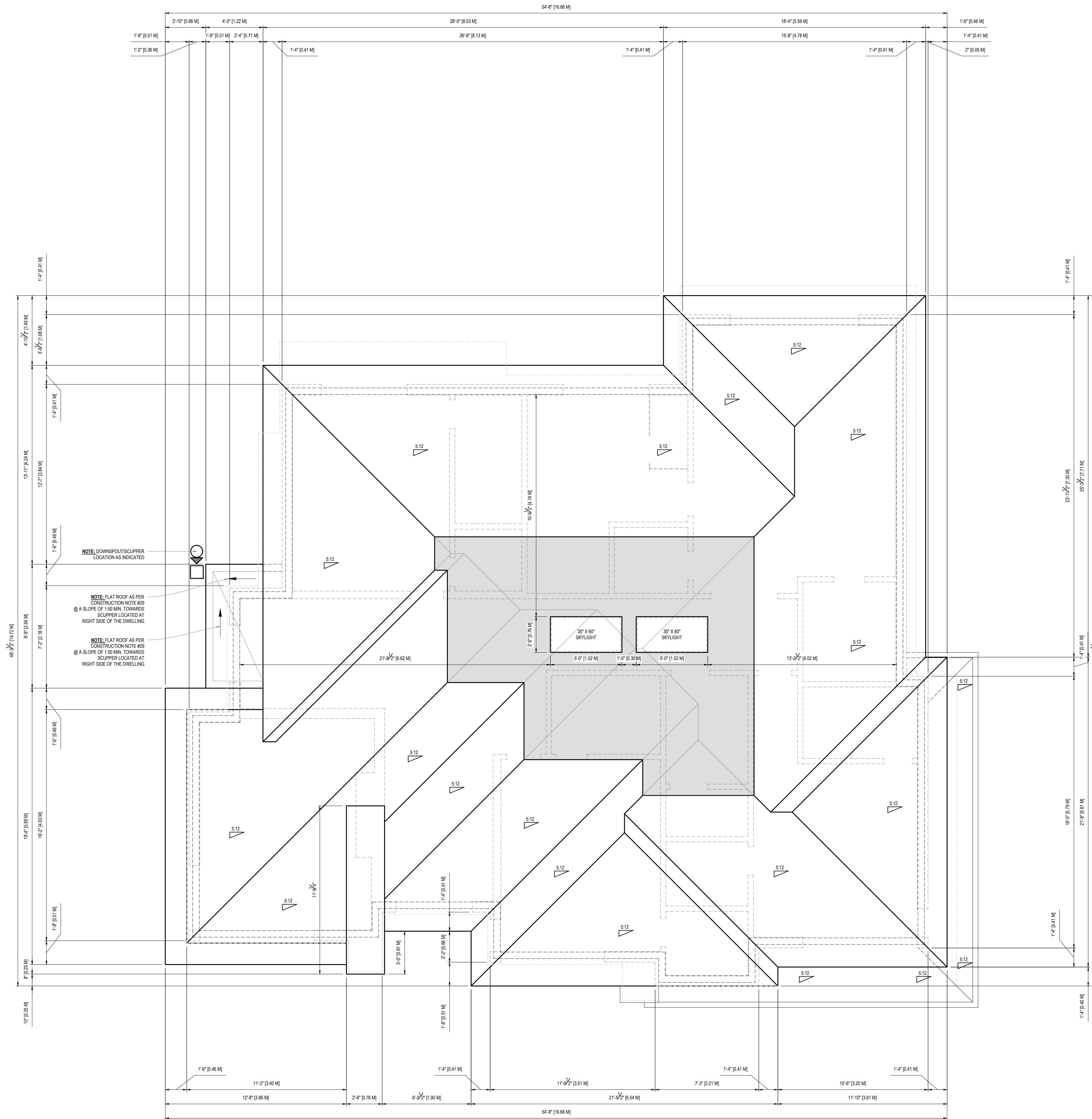


NOTE:
DARK SHADED AREA DENOTES FLAT ROOF PORTION 1:50 SLOPE. MIN.



1/8"=1'-0"
ROOF PLAN

FINAL DESIGN SIGN-OFF
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huis design studio
CUSTOM HOME DESIGN
HUIS DESIGN STUDIO LTD.
CUSTOM HOME DESIGN
14 CONESTOGA DRIVE #201 BRAMPTON, ON L6Z 4N6
T: 1-833-656-4847 (HUIS) E: INFO@HUISDESIGNSTUDIO.COM
HUISDESIGNSTUDIO.COM

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QUALIFICATION INFORMATION
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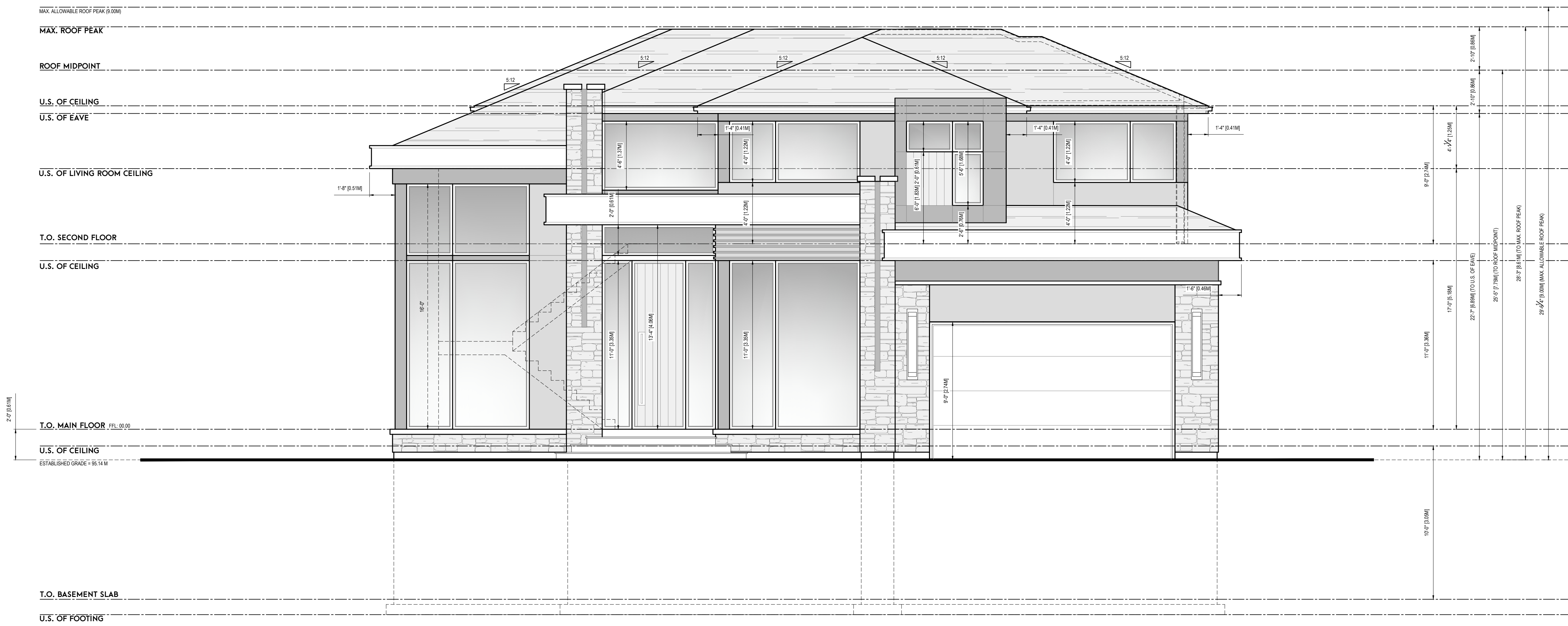
REGISTRATION INFORMATION
REQUIRED UNLESS THE DESIGN IS EXEMPT UNDER DIV. C-3.2.4 OF THE ONTARIO BUILDING CODE.

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REVISION LIST		DATE
1	ISSUED FOR FIRST REVIEW	03.26.2024
2	ISSUED FOR C.O.A.	05.29.2024
3		MM.DD.YYYY
4		MM.DD.YYYY
5		MM.DD.YYYY

PROJECT NORTH **TRUE NORTH**

DRAWING TITLE: ROOF PLAN
DRAWN BY: S.E.
CHECKED BY: K.V.K.
PROJECT ADDRESS: 433 Spadina Ave.
PROJECT NO.: 2024-018
SHEET NO.: A104



FRONT ELEVATION

FINAL DESIGN SIGN-OFF
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CLIENT INITIALS: _____ HUIS INITIALS: _____

huis design studio
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HUIS DESIGN STUDIO LTD.
 CUSTOM HOME DESIGN
 14 CONESTOGA DRIVE #201 | BRAMPTON, ON L6Z 4N6
 T: (905) 886-4847 | P: (905) 886-4847 | E: INFO@HUISDESIGN.CA
 HUISDESIGN.CA

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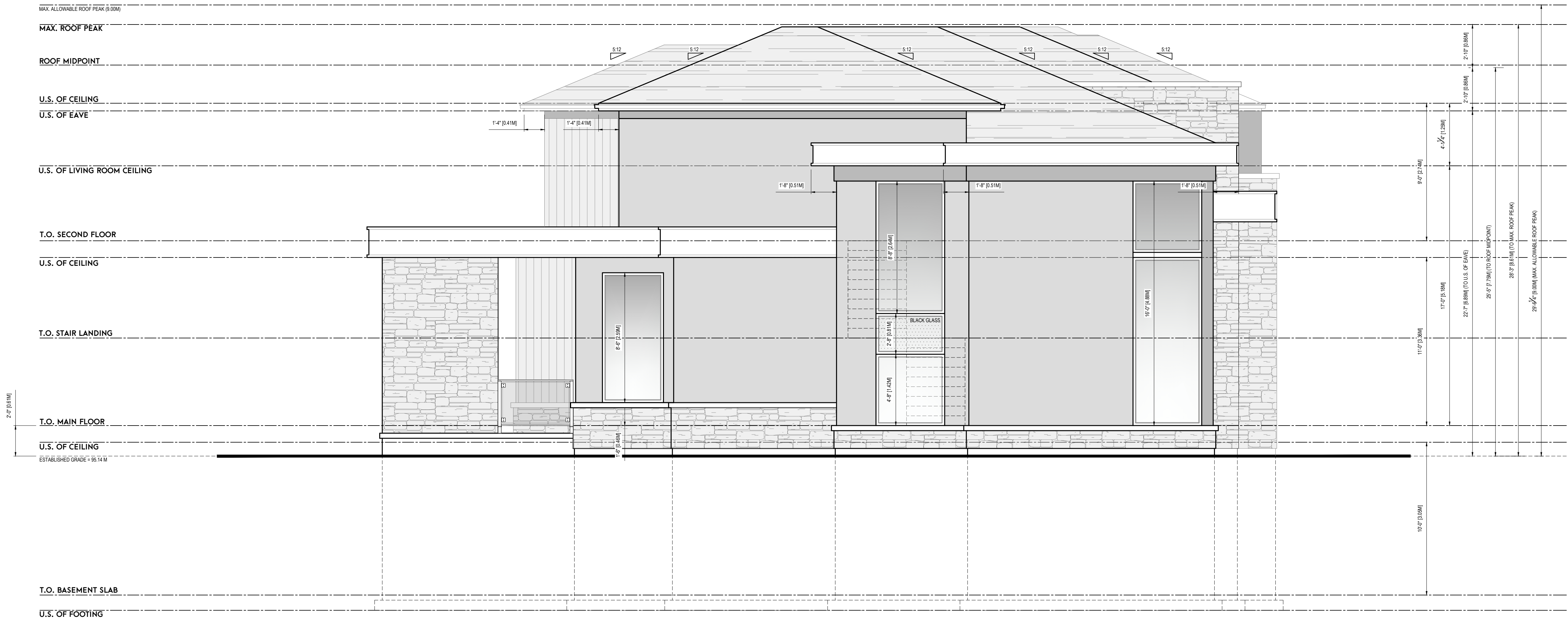
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4	-	MM/DD/YYYY	
5	-	MM/DD/YYYY	

DRAWING TITLE: ARCHITECTURAL ELEVATIONS
DRAWN BY: K.V.K.
PROJECT ADDRESS: 403 Sandhill Cms
PROJECT NO.: 2024-018
SHEET NO.: A201



LEFT ELEVATION

FINAL DESIGN SIGN-OFF
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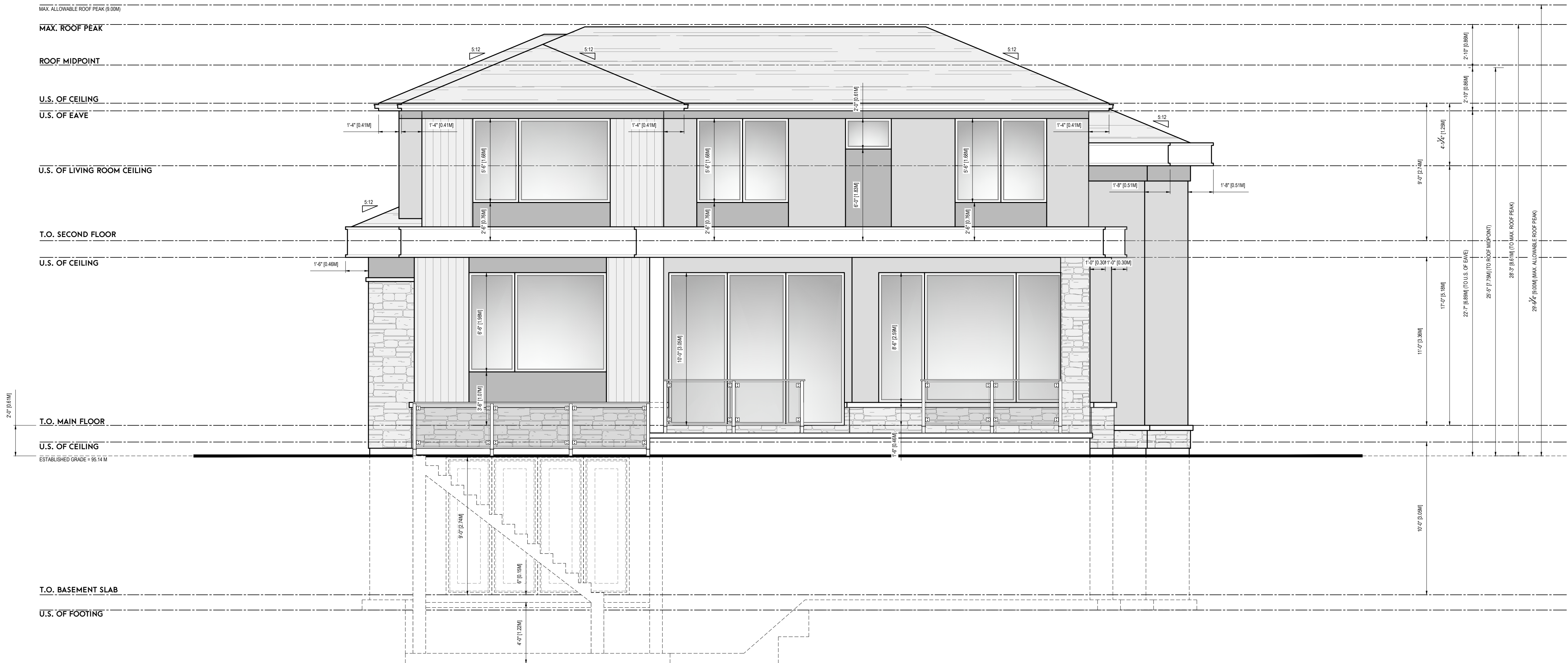
FRM NAME: _____ B.C.I.N.: _____

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1	REVISED PER CLIENT 03.26.2024
2	ISSUED FOR FIRST REVIEW MMLD.YYYY
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5	ISSUED FOR C.O.A. MMLD.YYYY

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1	ISSUED FOR FIRST REVIEW 03.19.2024
2	ISSUED FOR C.O.A. 05.29.2024
3	ISSUED FOR C.O.A. MMLD.YYYY
4	ISSUED FOR C.O.A. MMLD.YYYY
5	ISSUED FOR C.O.A. MMLD.YYYY

DRAWING TITLE: ARCHITECTURAL ELEVATIONS
DRAWN BY: S.E. CHECKED BY: K.V.K.
PROJECT ADDRESS: 433 Sandwich Cres.
PROJECT NO.: 2024-018
SHEET NO.: 14 of 12
SCALE: 1/8" = 1'-0"

A202



1/8" = 1'-0"
REAR ELEVATION

FINAL DESIGN SIGN-OFF
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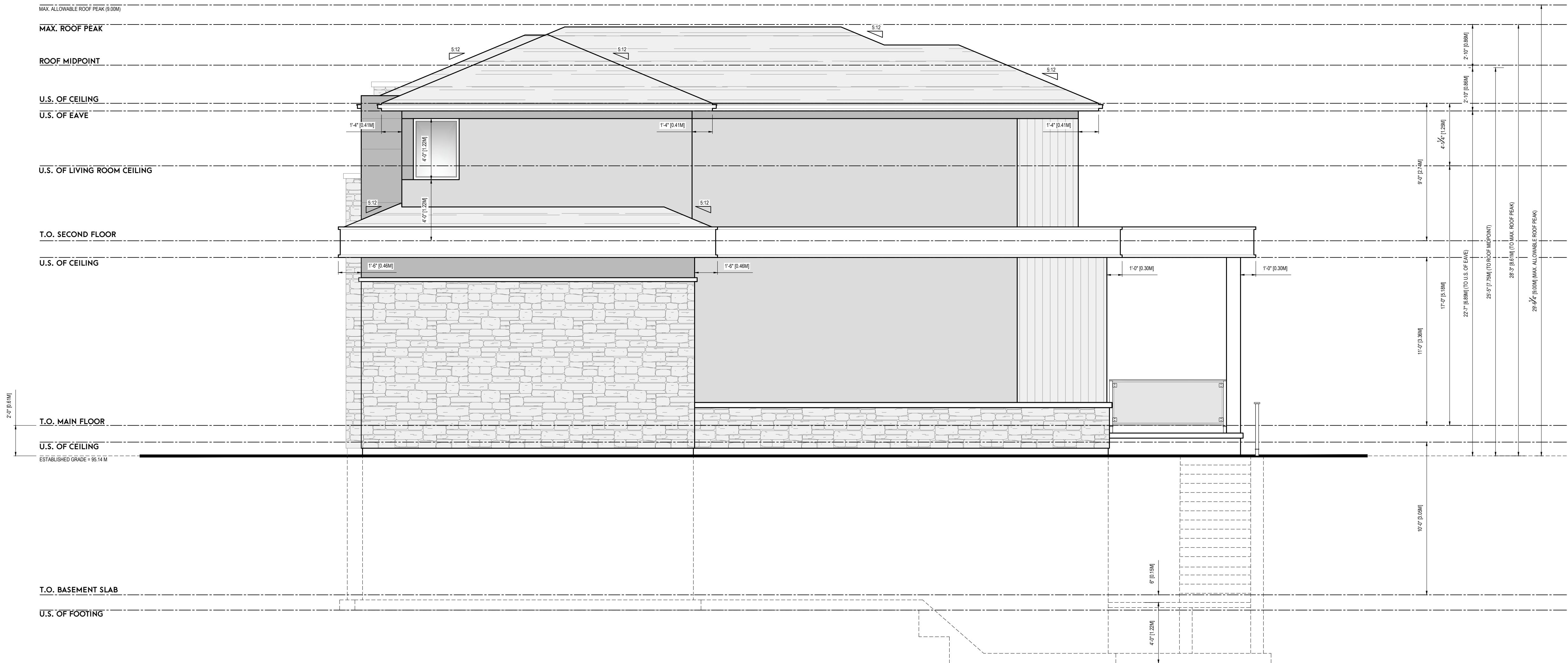
FIRM NAME: B.C.I.N.
REGISTRATION INFORMATION
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4	- MMLD.YYYY
5	- MMLD.YYYY

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3	- MMLD.YYYY
4	- MMLD.YYYY
5	- MMLD.YYYY

DRAWING TITLE: ARCHITECTURAL ELEVATIONS
DRAWN BY: S.E. **CHECKED BY:** K.V.K.
PROJECT ADDRESS: 433 Sandwich Ctr.
PROJECT NO.: 2024-018
SHEET NO.: A203



RIGHT ELEVATION

FINAL DESIGN SIGN-OFF
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4	
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DRAWING TITLE: ARCHITECTURAL ELEVATIONS
DRAWN BY: S.E. **CHECKED BY:** K.V.K.
PROJECT ADDRESS: 43 Scarsdale Cres.
PROJECT NO.: 2024-018
SHEET NO.: A204



453 SCARSDALE CRES

FINAL DESIGN SIGN-OFF
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CLIENT INITIALS: _____ HUIS INITIALS: _____

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 CUSTOM HOME DESIGN

HUIS DESIGN STUDIO LTD.
 CUSTOM HOME DESIGN
 1A CONESTOGA DRIVE #101 BRAMPTON, ON L6Z 4N5
 T: 1.833.458.4847 (HUIS) | E: INFO@HUISDESIGNS.COM
 HUISDESIGNS.COM

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REVISION LIST

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ISSUE LIST

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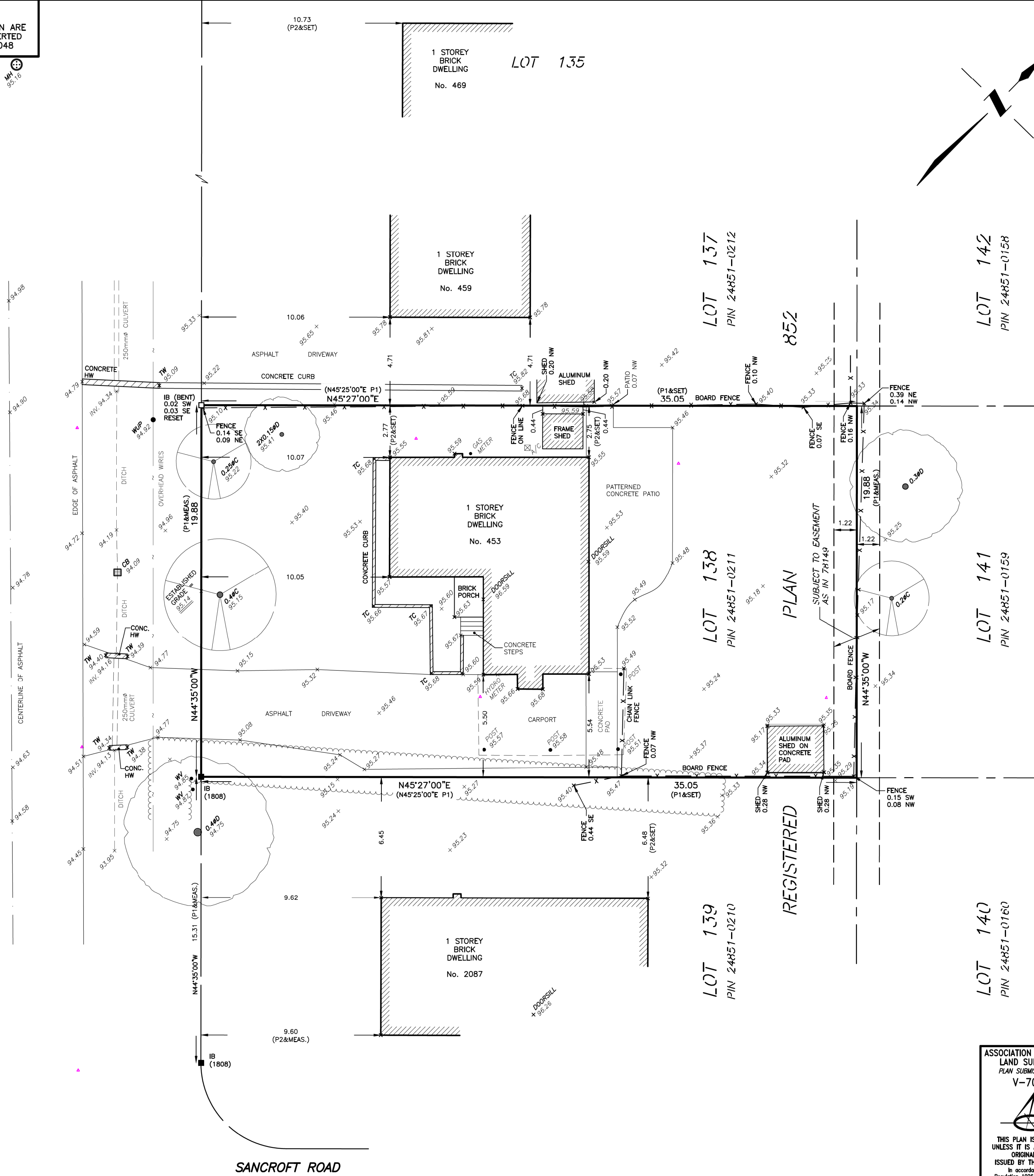
DRAWING TITLE: 3D ARCHITECTURAL ELEVATIONS
DRAWN BY: S.E. **CHECKED BY:** K.V.K.
PROJECT ADDRESS: 453 Scarpsdale Cres.
PROJECT NO.: 2024-016
SHEET NO.: _____

SCALE: 1/8"=1'-0"

A205

METRIC
DISTANCES SHOWN ON THIS PLAN ARE
IN METRES AND CAN BE CONVERTED
TO FEET BY DIVIDING BY 0.3048

SCARSDALE CRESCENT
(BY REGISTERED PLAN 852)
PIN 24851-0199



SURVEYOR'S REAL PROPERTY REPORT
PLAN OF SURVEY WITH TOPOGRAPHY OF
LOT 138
REGISTERED PLAN 852
TOWN OF OAKVILLE
REGIONAL MUNICIPALITY OF HALTON



TARASICK McMILLAN KUBICKI LIMITED
ONTARIO LAND SURVEYORS

© COPYRIGHT, 2024

REPORT SUMMARY
PROPERTY DESCRIPTION: 453 SCARSDALE CRESCENT, BEING LOT 138, REGISTERED PLAN 852, TOWN OF OAKVILLE, REGIONAL MUNICIPALITY OF HALTON, PIN 24851-0211.
EASEMENTS/RIGHTS-OF-WAY: SUBJECT TO EASEMENT IN FAVOUR OF THE BELL TELEPHONE COMPANY OF CANADA AS IN 78149.
COMMENTS: NOTE LOCATION OF FENCES, AND EXTENT OF CONCRETE PATIO ALONG NORTHWEST SIDE LIMIT.

ELEVATION NOTE
ELEVATIONS ARE REFERRED TO CANADIAN GEODETIC VERTICAL DATUM-1928, AND WERE DERIVED FROM TOWN OF OAKVILLE BENCHMARK No. 34, HAVING A PUBLISHED ELEVATION OF 94.232 metres.

BEARING NOTE
BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE NORTHEASTERLY LIMIT OF SCARSDALE CRESCENT AS SHOWN ON REGISTERED PLAN 852, HAVING A BEARING OF N44°35'00"W.

LEGEND

■	DENOTES	SURVEY MONUMENT FOUND
□	DENOTES	SURVEY MONUMENT PLANTED
IB	DENOTES	IRON BAR
TC	DENOTES	TOP OF CURB
MH	DENOTES	MANHOLE
CB	DENOTES	CATCH BASIN
WUP	DENOTES	WOOD UTILITY POLE
WV	DENOTES	WATER VALVE
TW	DENOTES	TOP OF WALL
HW	DENOTES	HEAD WALL
INV	DENOTES	INVERT
P1	DENOTES	REGISTERED PLAN 852
P2	DENOTES	KENNETH McCONNELL O.L.S., APRIL 15, 1959
(1808)	DENOTES	J.H. GELBLOOM SURVEYING LIMITED, O.L.S.

○ 0.20φ DENOTES DECIDUOUS TREE WITH TRUNK DIAMETER
● 0.20φ DENOTES CONIFEROUS TREE WITH TRUNK DIAMETER
TREE CANOPIES ARE DRAWN TO SCALE.

PREPARED FOR:
THIS REPORT WAS PREPARED FOR PRATIK BABARIYA AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

SURVEYOR'S CERTIFICATE
I CERTIFY THAT :
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON MARCH 14, 2024.

MARCH 18, 2024
DATE
SIMEON MITREV
ONTARIO LAND SURVEYOR

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
V-70471

THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR
In accordance with
Regulation 1026, Section 29(3)

TARASICK McMILLAN KUBICKI LIMITED
ONTARIO LAND SURVEYORS
4181 SLADEVIEW CRESCENT, UNIT 42, MISSISSAUGA, ONTARIO L5L 5R2
TEL: (905) 569-8849 FAX: (905) 569-3160
E-MAIL: office@tmksurveyors.com

DRAWN BY: K.H. FILE No. 10044-SRPR-T

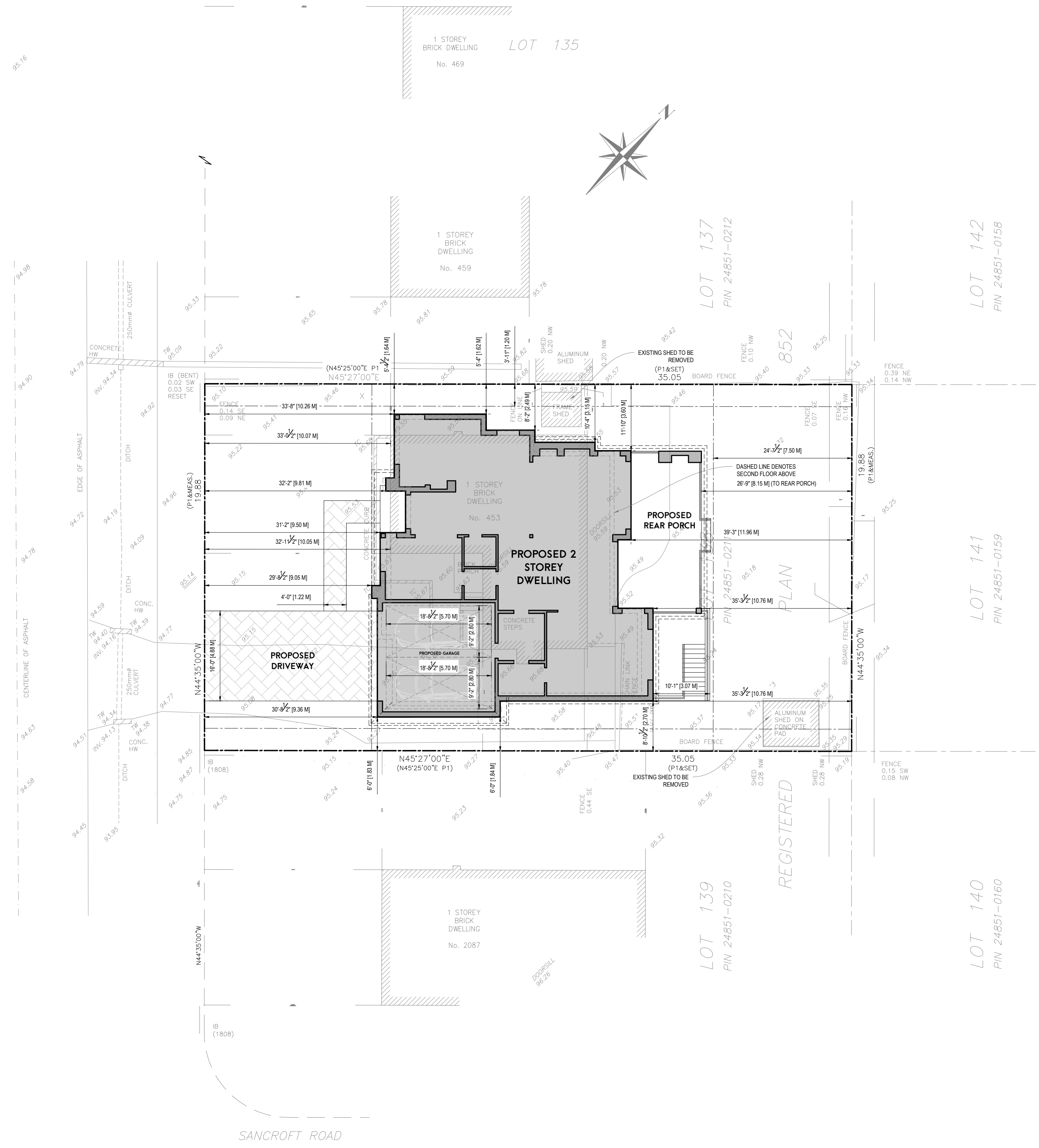
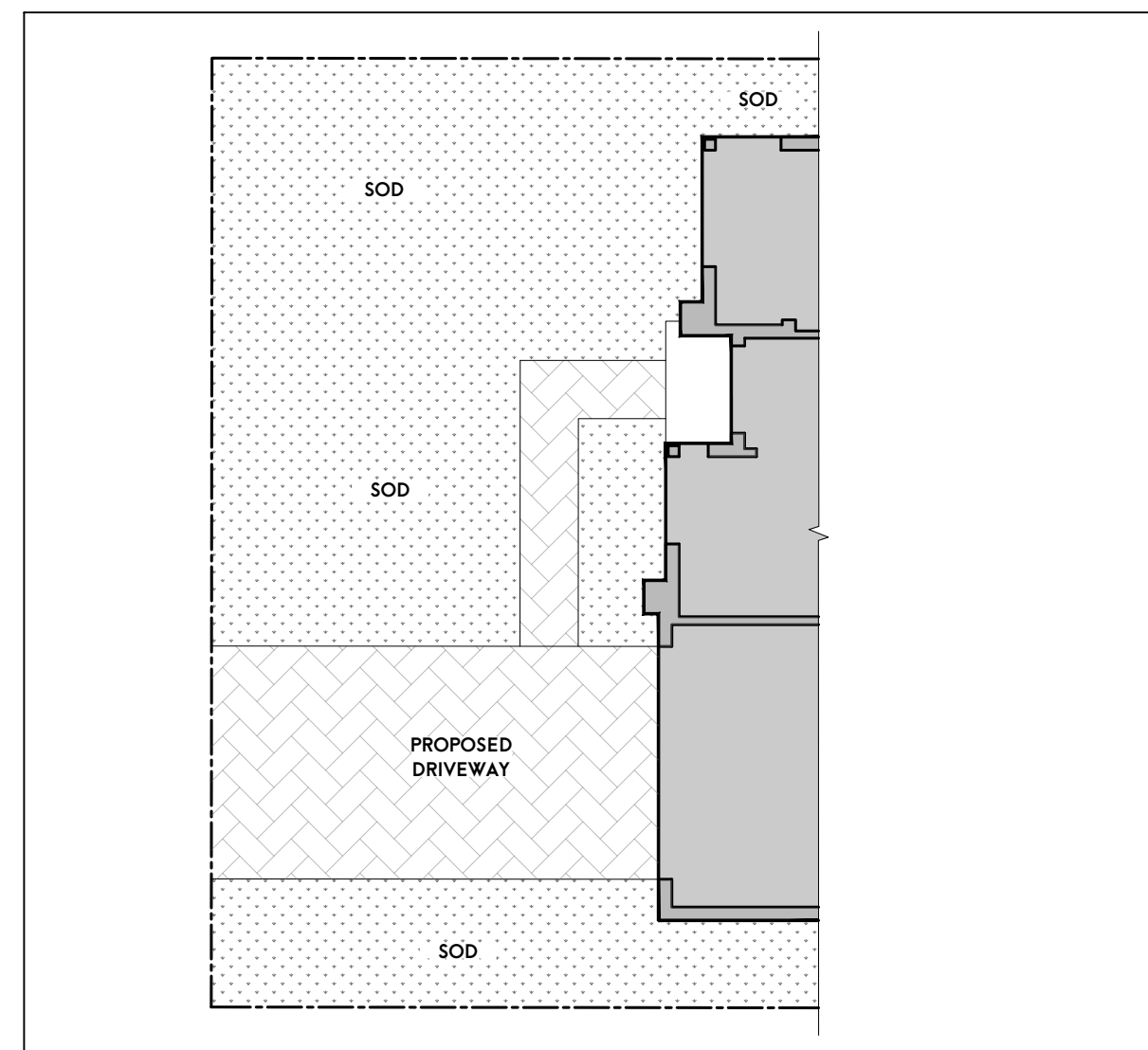


Table 6.4.2: Lot Coverage in the -0 Suffix Zones

Parent Zone	Where the detached dwelling is less than or equal to 7.0 metres in height	Where the detached dwelling is greater than 7.0 metres in height
RL1 and RL2 Zones	Shall be equal to the maximum lot coverage for the parent zone	25%
RL3, RL4, RL5, RL7, RL8, and RL10 Zones		35%



FRONT YARD LANDSCAPING

FRONT YARD AREA	2093.44 SQ.FT (194.48 SQ.M)
PROPOSED FRONT PORCH	34.23 SQ. FT (3.18 SQ M)
PROPOSED DRIVEWAY/WALKWAY	594.06 SQ. FT (55.19 SQ M)
COVERAGE TOTAL	84.91 SQ.M
PERCENTAGE OF HARD LANDSCAPE	31.00 %
PERCENTAGE OF SOFT LANDSCAPE	69.00 %

HATCHING LEGEND

SOD AREA: (SOFT LANDSCAPING)	[Hatched pattern]
DRIVEWAY / WALKWAY AREA: (HARD LANDSCAPING)	[Hatched pattern]
PROPOSED DWELLING: (HARD LANDSCAPING)	[Solid grey pattern]



Table 6.3.1: Regulations in the Residential Low RL1, RL2, RL3, RL4, RL5, and RL6 Zones

	RL1	RL2	RL3	RL4	RL5	RL6
Minimum lot area	1,393.5 m ² (2)	836.0 m ² (2)	557.5 m ² (2)	511.0 m ² (2)	464.5 m ² (2)	250.0 m ² (3)
Minimum lot frontage	30.5 m (2)	22.5 m (2)	18.0 m (2)	16.5 m (2)	15.0 m (2)	11.0 m (3)
Minimum front yard	A 10.5 m (-0)	9.0 m (-0)	7.5 m (-0)	7.5 m (-0)	7.5 m (-0)	3.0 m
Minimum flankage yard (2016-013)	B 4.2 m	3.5 m	3.5 m	3.5 m	3.5 m	3.0 m (8)
Minimum interior side yard	C 4.2 m	2.4 m (4)	2.4 m and 1.2 m (5)	2.4 m and 1.2 m (5)	2.4 m and 1.2 m (5)	1.2 m and 0.6 m
Minimum rear yard	D 10.5 m	7.5 m (6)	7.5 m (6)	7.5 m (6)	7.5 m (6)	7.0 m (6)
Maximum number of storeys	n/a (-0)	n/a (-0)	n/a (-0)	n/a (-0)	n/a (-0)	2
Maximum height	10.5 m (-0)	12.0 m (-0)	12.0 m (-0)	12.0 m (-0)	12.0 m (-0)	10.5 m
Maximum dwelling depth	20.0 m (1)	n/a	n/a	n/a	n/a	n/a
Maximum residential floor area ratio (2017-025)	n/a (-0)	n/a (-0)	n/a (-0)	n/a (-0)	n/a (-0)	75% (7)
Maximum lot coverage for the dwelling (2017-025)	30% (-0)	30% (-0)	35% (-0)	35% (-0)	35% (-0)	n/a

SITE STATISTICS

ADDRESS:	453 SCARSDALE CRESCENT	
ZONING:	RL3-0	
LOT AREA	Proposed 696.59 m ²	Required 557.5 m ²
LOT FRONTAGE (EXISTING)	TBD m	22.50 m ²
ESTABLISHED GRADE	83.85	N/A
HEIGHT TO TOP OF FLAT ROOF	N/A m	N/A
HEIGHT TO HIGHEST POINT	8.61 m	9.00 m
GARAGE INTERIOR AREA (45 m ² MAX.)	56.98 m	36.05 m ²
FLOOR AREA (HABITABLE SPACE)	Proposed	Required
GROUND FLOOR	164.73 m ²	N/A
SECOND FLOOR	183.52 m ²	N/A
SUBTOTAL	348.25 m²	N/A
OPEN AREAS (TO BE DEDUCTED)	35.03 m ²	N/A
TOTAL FLOOR AREA	313.22 m²	285.60 m ²
RFA TO LOT AREA (MAX 41%)	44.96 %	41 %
LOT COVERAGE	Proposed	Required
DWELLING FOOTPRINT (INCL GARAGE)	204.47 m ²	N/A
FRONT PORCH	3.18 m ²	N/A
REAR PORCH/DECK	35.78 m ²	N/A
OTHER	0 m ²	N/A
TOTAL LOT COVERAGE:	243.43 m²	243.81 m ²
MAX ALLOWED = 35%	34.95 %	35 %
SETBACKS	Proposed	Required(MIN.)
FRONT YARD	9.05 m	9.05 m
INTERIOR SIDE YARD	1.62 m	1.2 m
INTERIOR SIDE YARD (GARAGE SIDE)	1.83 m	1.2 m
REAR YARD	10.76 m	7.5 m