

**Underground Utilities:**

The Location Of Underground Services Shown On This Plan Is Only Approximate And Is For Planning And Design Purposes Only. This Information Must Not Be Assumed To Be Complete Or Up-To-Date And An On-Site Locate Must Be Ordered Prior To Any Excavation. David W. Small Designs Inc. Accepts No Responsibility For Any Claims Or Losses Due To Improper Use Of This Information.

**Notes:**

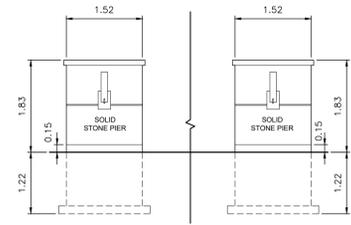
There Are To Be No Grad Changes Within 0.3m Of Common Property Lines  
 The Existing Sanitary Lateral Must Be Inspected At The Property Line By Regional Inspector, And Televised By Regional Forces Prior To Connection. A Lateral That Does Not Meet Current Regional Standards Must Be Disconnected At The Main. A Revision To The Service Permit Drawings And Payment Of Applicable Fees Is Required.  
 Existing Services Must Be Disconnected At The Main By The Contractor  
 All Water And Sanitary Main Taps Are To Be Performed By Region Of Halton Forces Only  
 Contractor To Determine Existing Inverts And Report Any Discrepancies To The Engineer  
 Contractor To Determine San. Inverts On Site And Determine If San. Ejector Pump Is Required

**Site Data**

Lot Area	1,807.06 sm	(0.1807 ha)
Zoning	RL-10	
Established Grade	85.10	
<b>Floor Area</b>		
Ground Floor	233.83 sm	2517.0 sf
Second Floor	106.17 sm	1142.8 sf
<small>(Includes 82.9 sf of Stairs &amp; 161.7 sf of O.T.B.)</small>		
<b>Total Area</b>	340.0 sm	3659.8 sf
<b>Garage</b>	75.02 sm	807.5 sf
Finished Basement	161.18 sm	1735.0 sf
<small>(Measured to Inside Face of Finished Basement Walls)</small>		
<b>Lot Coverage</b>		
Proposed Footprint	17.86%	322.81 sm
Proposed Covered Porches	4.85%	63.85 sm
Total Proposed Coverage	21.67%	391.50 sm
Max Allowed Coverage	25.00%	451.77 sm

**Arborist Notes:**

- During the Demolition of the existing east building foundation wall, there shall be no over-dig so as to minimize the Potential for root injury to tree # 24.
- A Certified Consulting Arborist shall be on-site during both demolition of the existing east building foundation wall and excavation for the proposed east building foundation to determine the size and quantity of Tree #21 & 24's roots that could be affected. Any roots in the immediate area of the excavation shall be assessed and, if feasible and reasonable, be properly pruned by the attending Arborist. This Action is anticipated to minimize the extent of root injury and provide any pruned root with the best opportunity to regenerate.

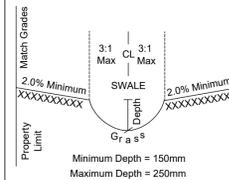
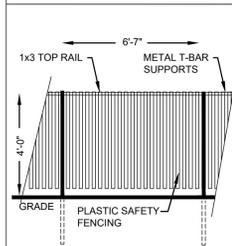


STONE FENCE PILLAR DETAIL N.T.S.  
 Refer to Architectural sheet A5 for additional details including Address Wall

Region Design Of Water &/or Wastewater Services Approval Subject To Detail Construction Conforming To Halton Region Standards & Specifications & Location Approval From Area Municipality.

Signed: Infrastructure Planning & Policy Dated: \_\_\_\_\_

The Approval Of The Water System On Private Property Is The Responsibility Of The Local Municipality. Regardless, The Applicant Must Ensure That The Region Of Halton's Standards Are Met. (The Water And Wastewater Linear Design Manual May Be Obtained On Halton.ca Or By Calling 311) All Water Quality Tests Must Be Completed To The Region Of Halton's Satisfaction Before The Water Supply Can Be Turned On.



**Tree Protection Barrier Detail**

**Legend**

- 3R Main Level
- 3R Lower Level
- Property Line
- Existing To Be Removed
- Existing Spot Elevation
- Proposed Spot Elevation to Match Existing Elevation
- Proposed Spot Elevation
- Rainwater Downspouts
- Air Conditioner
- Solid Hoarding
- Framed Hoarding
- Area Drain
- Denotes Coniferous Tree (with trunk diameter) To Remain
- Denotes Deciduous Tree (with trunk diameter) To Remain
- Denotes Tree (with trunk diameter) To Be Removed
- Denoted Replacement Tree Native Species Min 60mm Caliper For Deciduous And 1.8m Height For Coniferous (SM Refers To Sugar Maple (RM) Refers To Red Maple)

**Typical Swale Detail**

**Base Information:**

Base Information Taken From Plan Of Survey BY: Young & Young Surveying Inc. Dated: October 31, 2019

**Location**

Part of Lot 46 Registered Plan 1009 Town Of Oakville Regional Municipality of Halton

**City Benchmark**

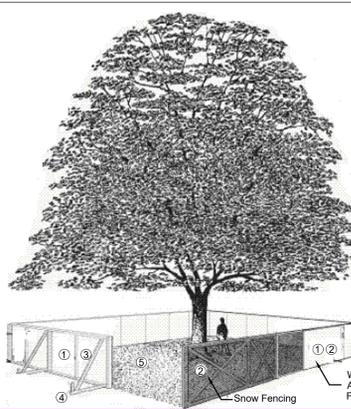
Elevations Are Geodetic And Are Referenced To The Town Of Oakville No. 4, Having A Published Elevation of 85.08 Meters

**\*TFW (Top Of Foundation Wall)**

Floor Slab Plate On Inside Face Of Foundation. See Reduced Thickened Foundation Wall Detail & Reverse Veneer Detail For Foundation Wall Ledger Condition On Outside Face Of Foundation Walls. - Extent Of Each Type To Be Determined By Contractor On Site During Construction

**\*\*U/F (Under Side Of Footing)**

- U/F Denotes Minimum Depth Of Under Side Of Footing. - Under Side Of Footing May Differ Depending On Basement Conditions. See Floor Plans And Elevations For Specific Under Side Of Footing Conditions. - Footings To Be Min 1.2m Below Grade

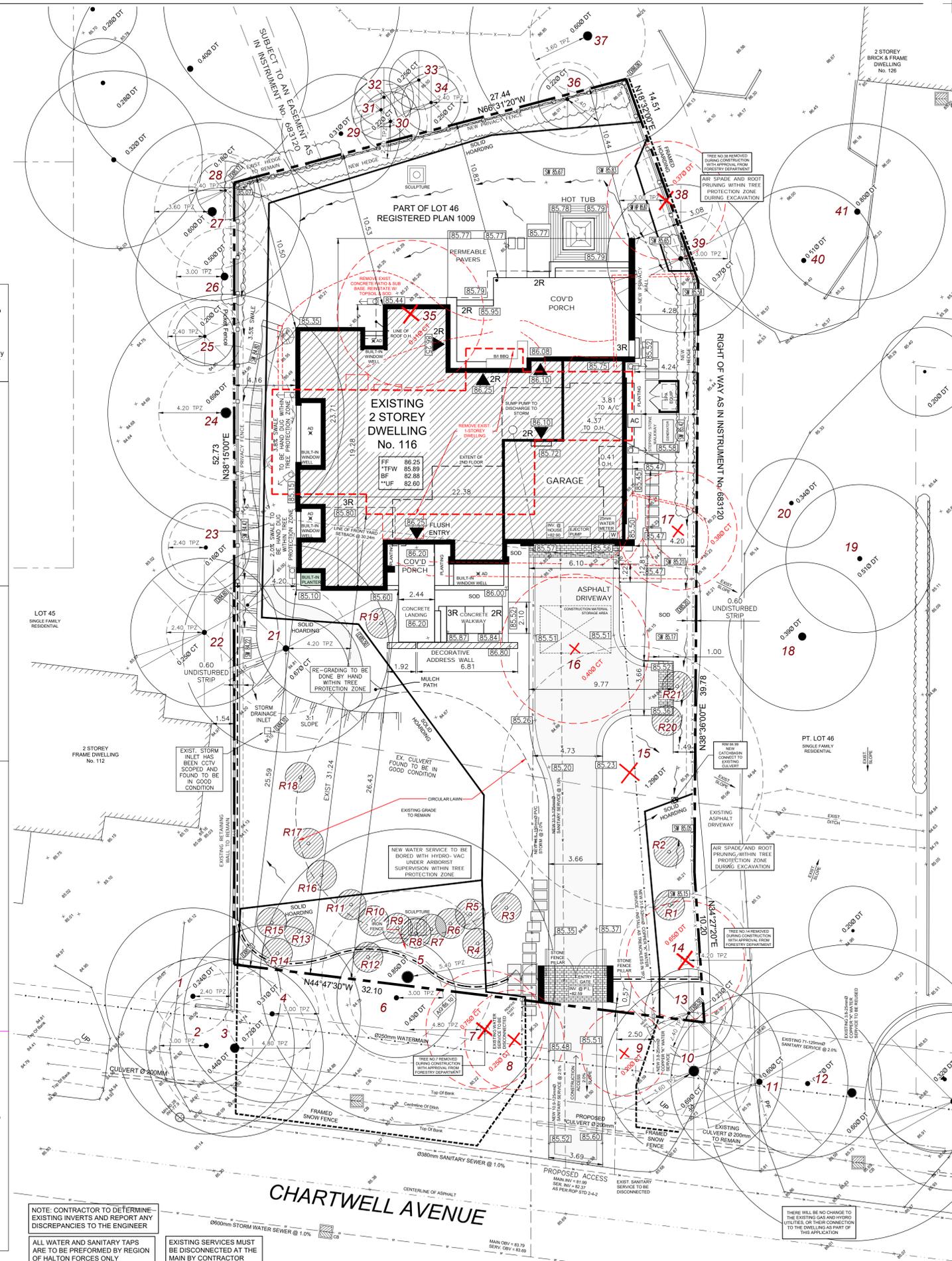


**Tree Protection Barriers**

- Tree Protection Barriers Must Be 1.2m (4ft.) High, Wafboard Hoarding Or An Equivalent Approved By Urban Forestry Services.
- Tree Protection Barriers For Trees Situated On The Town Road Allowance Where Visibility Must Be Maintained Can Be 1.2m (4ft.) High And Consist Of Orange Plastic Snow Fencing On A Wood Frame Made Of 2x4's.
- Where Some Excavate Or Fill Has To Be Temporarily Located Near A Tree Protection Barrier, Plywood Must Be Used To Ensure No Material Enters The Tree Protection Zone.
- All Supports And Bracing Should Be Outside The Tree Protection Zone. All Such Supports Should Minimize Damaging Roots Outside The Tree Protection Barrier.
- No Construction Activity, Grade Changes, Surface Treatment Or Excavation Of Any Kind Is Permitted Within The Tree Protection Zone.

**General Notes:**

- Do Not Scale Drawings
- These Plans Are To Remain The Property Of The Designer And Must Be Returned Upon Request. These Plans Must Not Be Used In Any Other Location Without The Written Approval Of The Designer.
- All Works To Be In Accordance With The Ontario Building Code And All Code References Refer To O.B.C. 2012 Division 3'



**Key Plan nts**

**ENGINEER'S CERTIFICATE**

I have reviewed this plan as it relates to site grading and drainage. It is my belief that adherence to the proposed grades as shown will produce adequate surface drainage without any detrimental effect to the existing drainage patterns of adjacent properties.

**Van Harten**  
 3 SURVEYING INC.  
 LAND SURVEYORS AND ENGINEERS  
 1 LICENSED PROFESSIONAL ENGINEER OF ONTARIO

The Undersigned Has Reviewed And Takes Responsibility For This Design, And Has The Qualifications And Meets The Requirements Set Out In The Ontario Building Code To Be A Designer. Qualification Information Required Unless The Design Is Exempt Under Division C-3.2.4.1. Of The 2012 ONTARIO Building Code.

Peter Giordano 25061  
 Name Signature BCIN  
 Registration Information Required Unless The Design Is Exempt Under Division C-3.2.4.1. Of The 2012 ONTARIO Building Code  
 DAVID W. SMALL DESIGNS INC. 29999  
 Firm Name BCIN

no.	date	revision / comment
12	Feb 16/24	Landscape Coordination
11	Jan 29/24	Landscape Coordination
10	Jan 23/24	Landscape Coordination
9	Jun 06/21	As Per Updated Water Supply
8	July 28/20	Revised As Per City Comments
7	June 16/20	Revised As Per Landscape Architect Design
6	May 07/20	Client Requested Driveway Revision
5	Mar 31/20	As Per DESP Comments
4	Feb 07/20	As Per Lot Grading Coordination
3	Jan 27/20	As Per Client Request
2	Jan 10/20	As Per Arborist Coordination
1	Dec 16/19	Issued To Owner For Building Permit Applcn

**Project:**

**The Doble Home**  
 116 Chartwell Road  
 Part of Lot 46  
 Registered Plan 1009  
 Town of Oakville,  
 Regional Municipality of Halton

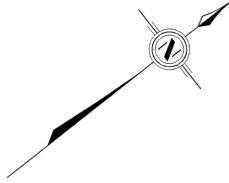
**Drawing:**

**Site Plan**

Scale: 1:150  
 Date: Dec. 2019  
 Dwn by: EC  
 Proj. no.: 19- 1778



**DAVID SMALL DESIGNS**.COM



MICHAEL TERRACE



REGISTERED

LOT 42

LOT 43

LOT 44

LOT 45

LOT 46

SURVEYOR'S REAL PROPERTY REPORT - PART 1  
 PLAN OF  
**Part Of LOT 46**  
**REGISTERED PLAN 1009**  
**TOWN of OAKVILLE**  
 Regional Municipality Of Halton  
 SCALE 1 : 200  
  
**YOUNG & YOUNG SURVEYING**  
 (ETOBICOKE 2006) INC.  
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**METRIC**  
 DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

**BEARING NOTE**  
 BEARINGS ARE ASTROMONIC AND ARE REFERRED TO THE WEST LIMIT OF CHARTWELL ROAD, HAVING A BEARING OF N44°47'30"W ACCORDING TO REGISTERED PLAN 20R-3236.

**ELEVATION NOTE**  
 ELEVATIONS ARE GEODETIC AND ARE REFERRED TO THE TOWN OF OAKVILLE BENCHMARK NO. 4 HAVING A PUBLISHED ELEVATION OF 85.08 METRES.

**LEGEND**

■	DENOTES SURVEY MONUMENT FOUND
RP	REGISTERED PLAN 1009
PL	PLAN 20R-3236
N.S.E.W	NORTH,SOUTH,EAST, WEST MEASURED
IP	IRON PIPE
SIB	STANDARD IRON BAR
IB	IRON BAR
OU	ORIGIN UNKNOWN
WT	WITNESS
P.I.N.	PROPERTY IDENTIFIER NUMBER
—○—	OVERHEAD WIRES & UTILITY POLE
PF	PICKET FENCE
BRW	BRICK RETAINING WALL
SRW	STONE RETAINING WALL
ILB	INTERLOCKING BRICK
CB	CATCH BASIN
MH	MANHOLE
TC	TOP OF CURB
BC	BOTTOM OF CURB
DSE	DOORSILL ELEVATION
TRE	TOP OF ROOF ELEVATION
DT	DECIDUOUS TREE
CT	CONIFEROUS TREE
Ø	DIAMETER
BT	BELL TELEPHONE
D	INSTRUMENT NO. 683120
(760)	K.H. MCCONNELL, O.L.S.

ASSOCIATION OF ONTARIO  
 LAND SURVEYORS  
 PLAN SUBMISSION FORM  
**2108054**  
  
 THIS PLAN IS NOT VALID UNLESS IT IS AN ENGLISH ORIGINAL COPY ISSUED BY THE SURVEYOR IN ACCORDANCE WITH REGULATION 1026, SECTION 29(3).

**SURVEYOR'S CERTIFICATE**  
 I CERTIFY THAT:  
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYORS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.  
 2. THE SURVEY WAS COMPLETED ON THE 29TH DAY OF OCTOBER, 2019.

OCTOBER 31, 2019  
 DATE  
 CHRIS BERESNIEWICZ  
 ONTARIO LAND SURVEYOR

THIS PLAN WAS PREPARED FOR DAVID SMALL DESIGNS  
**PART 2 - SURVEY REPORT**  
 1) PLEASE NOTE LOCATION OF FENCES, OVERHEAD WIRES, CONCRETE CURB AND ASPHALT DRIVEWAY ALONG THE NORTH BOUNDARY  
 2) REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY TOGETHER WITH A RIGHT-OF-WAY AS IN INSTRUMENT NO. 683120  
 3) THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BY-LAWS

**YOUNG & YOUNG**  
 SURVEYING (ETOBICOKE 2006) INC.  
 310 North Queen St., Unit 102, Toronto ON M9C5K4  
 Tel: (416) 621-2876 - Fax: (416) 621-3380  
 EMAIL: info@youngandyoung.ca

DRAWN:A.M. CHECKED:C.B. PROJECT 19-T10273

CHARTWELL ROAD  
 (Road Allowance Between Lots 10 And 11, Concession 3, South Of Dundas Street)  
 P.I.N. 24802-0120

P.I.N. 24810 - 0159

P.I.N. 24810-0158

P.I.N. 24810 - 0157

2 Storey Frame Dwelling No. 112  
 TRE=91.92

2 1/2 Storey Brick And Stucco Dwelling No. 116  
 TRE=93.54

2 Storey Brick And Frame Dwelling No. 126  
 TRE=97.28

2 Storey Brick Dwelling No. 134  
 TRE=93.96