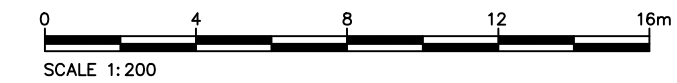


MEADOWOOD CRESCENT

SURVEYOR'S REAL PROPERTY REPORT
PART 1 - PLAN OF SURVEY SHOWING
TOPOGRAPHY OF
LOT 78
REGISTERED PLAN M-6
TOWN OF OAKVILLE
REGIONAL MUNICIPALITY OF HALTON



SCALE 1:200
THE INTENDED PLOT SIZE OF THIS PLAN IS 559mm IN WIDTH BY 432mm IN HEIGHT WHEN PLOTTED AT A SCALE OF 1:200.
© 2023 Y. ZHANG SURVEYING LIMITED

METRIC DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

DISTANCES HEREON ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999725.

BEARINGS HEREON ARE GRID AND DERIVED FROM OBSERVED REFERENCE POINTS A AND B, BY REAL TIME NETWORK(RTN) OBSERVATIONS, UTM ZONE 17, NAD83 (CSRS)(2010.0).

OBSERVED REFERENCE POINTS (ORPs): UTM ZONE 17, NAD83(CSRS)(2010.0)
COORDINATES ARE TO URBAN ACCURACY PER O.REG. 216/10 SECTION 14(2).

POINT ID	NORTHING (m)	EASTING (m)
ORP A	4 805 694.02	604 006.87
ORP B	4 805 752.68	604 050.45

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH THE CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

FOR BEARING COMPARISONS, A ROTATION OF 00°52'30" COUNTER-CLOCKWISE WAS APPLIED TO BEARINGS ON P1.

ELEVATIONS HEREON ARE REFERRED TO CANADIAN GEODETIC VERTICAL DATUM 1928 AND ARE DERIVED FROM TOWN OF OAKVILLE BENCHMARK No. 123, HAVING AN ELEVATION OF 90.583m.

LEGEND

- DENOTES SURVEY MONUMENT FOUND
- DENOTES SURVEY MONUMENT SET
- SIB DENOTES STANDARD IRON BAR
- IB DENOTES IRON BAR
- CC DENOTES CUT CROSS
- NI DENOTES NOT IDENTIFIABLE
- NTS DENOTES NOT TO SCALE
- RW DENOTES RETAINING WALL
- CONC. DENOTES CONCRETE
- P1 DENOTES REGISTERED PLAN M-6
- P2 DENOTES SURVEYOR'S REAL PROPERTY REPORT BY DAVID HORWOOD LIMITED, DATED JULY 26th, 2010
- WV DENOTES WATER VALVE
- WK DENOTES WATER KEY
- HP DENOTES HYDRO POLE
- SAN DENOTES MANHOLE (SANITARY)
- ⊙ DENOTES FIRE HYDRANT
- ⊕ DENOTES GAS METER
- ⊖ DENOTES HYDRO METER
- ⊗ DENOTES SHRUB
- DIA DENOTES CONIFEROUS TREE with DIAMETER
- ⊙ DENOTES DECIDUOUS TREE with DIAMETER
- DENOTES OVERHEAD WIRE

ALTERNATIVE MONUMENTS WERE SET DUE TO LACK OF OVERBURDEN AND/OR PROXIMITY OF UNDERGROUND UTILITIES IN ACCORDANCE WITH O.REG. 525/91 SECTION 11(4).

ALL BUILDING TIES WERE TAKEN TO THE FOUNDATION UNLESS OTHERWISE NOTED.

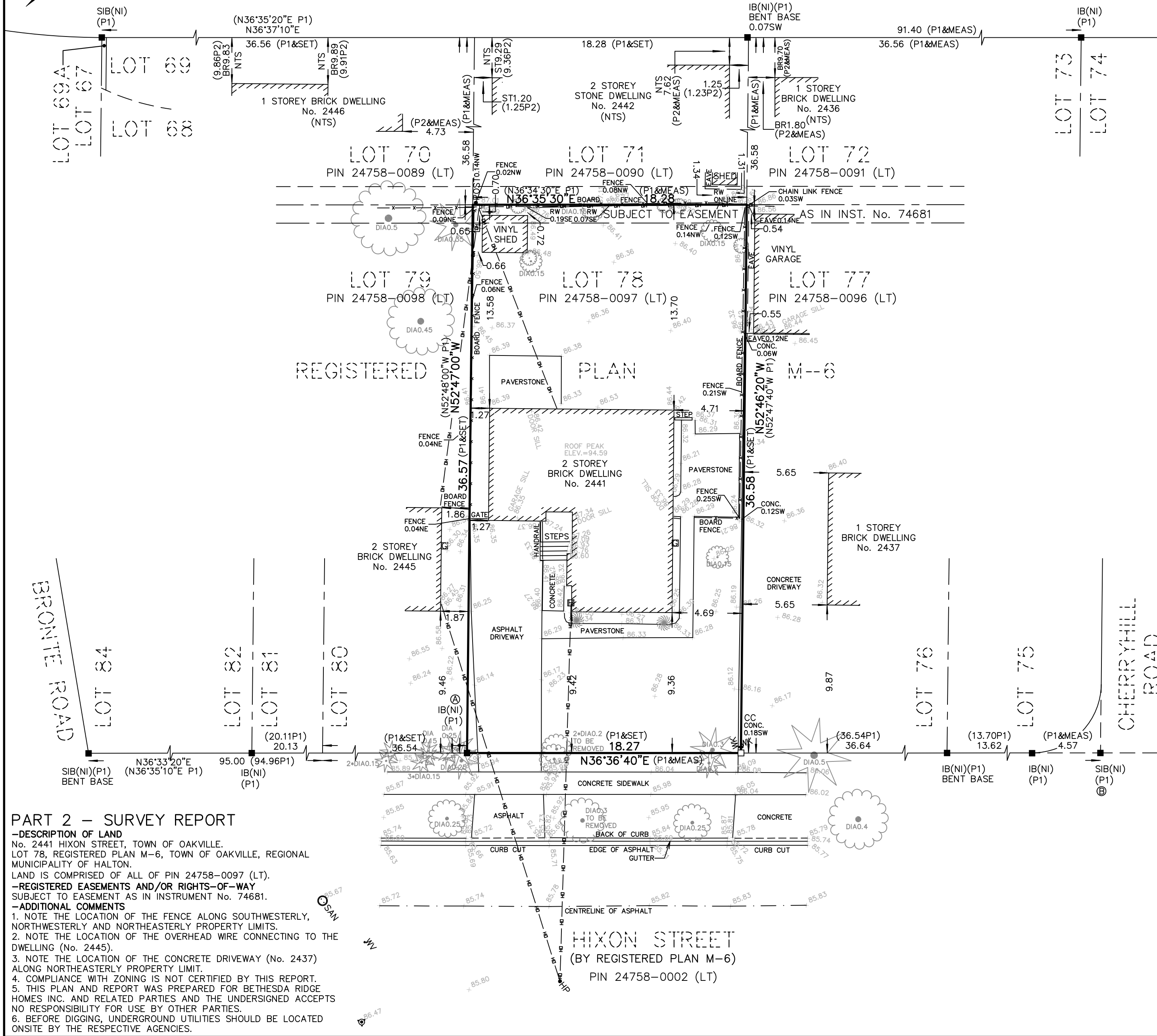
SURVEYOR'S CERTIFICATE

I CERTIFY THAT,
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 20th DAY OF NOVEMBER, 2023.

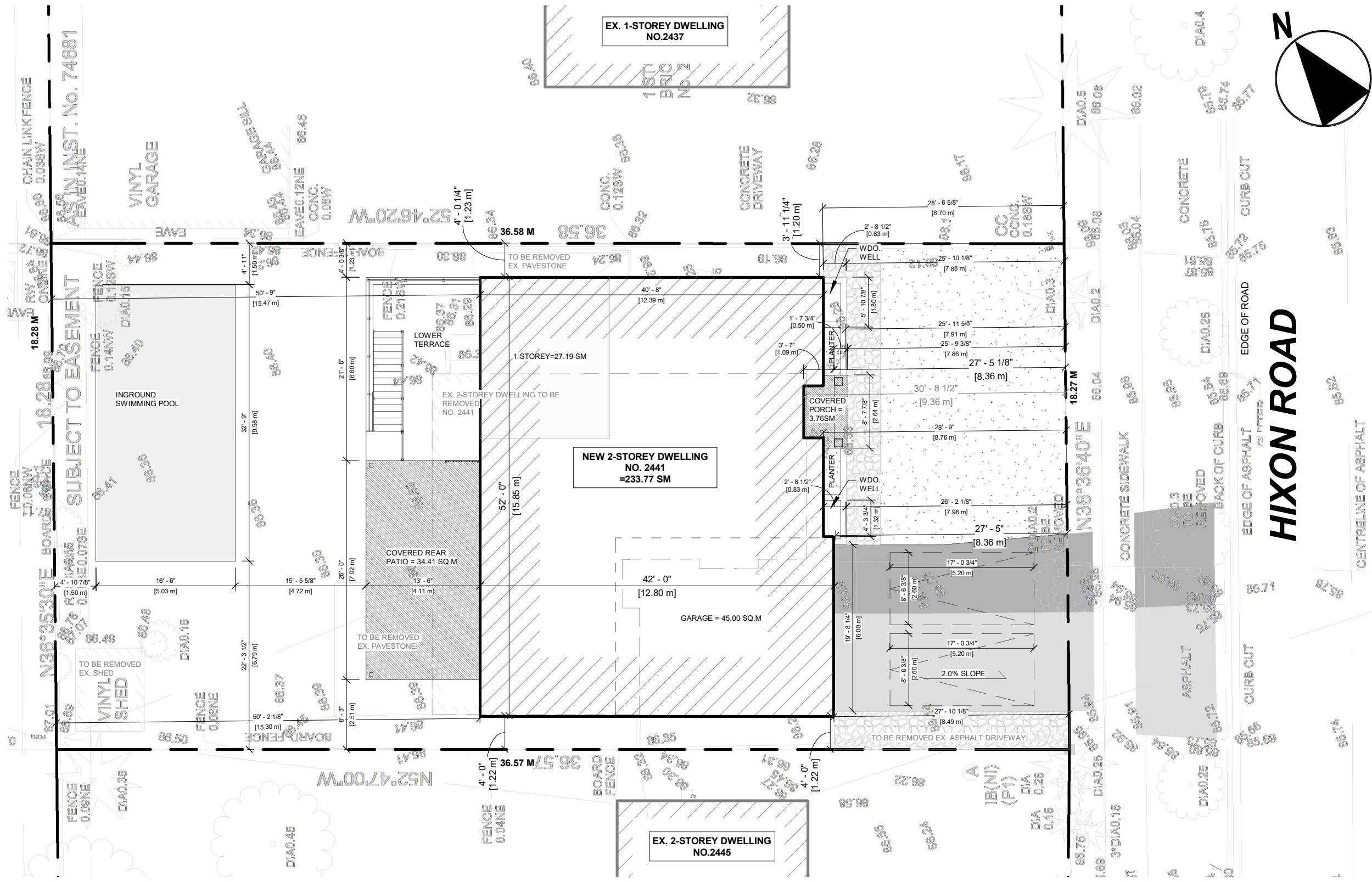
DECEMBER 8th, 2023
DATE
YIFAN ZHANG
ONTARIO LAND SURVEYOR
THIS PLAN OF SURVEY RELATES TO AOLS PLAN SUBMISSION FORM NUMBER V-58972.

Y. ZHANG SURVEYING LIMITED
ONTARIO LAND SURVEYORS
www.yzsurveying.com

FIELD: NG	CAD: HZ	CHECKED by: Yifan Z.
JOB NUMBER: 23-021 SRPR AND TOPO	DATE: December 8, 2023	
DRAWING FILE: D:\Y. ZHANG SURVEYING Limited\Projects\23-021 2441 Hixon Street Oakville\CAD\23-021 SRPR AND TOPO.dwg		



PART 2 - SURVEY REPORT
-DESCRIPTION OF LAND
 No. 2441 HIXON STREET, TOWN OF OAKVILLE.
 LOT 78, REGISTERED PLAN M-6, TOWN OF OAKVILLE, REGIONAL MUNICIPALITY OF HALTON.
 LAND IS COMPRISED OF ALL OF PIN 24758-0097 (LT).
-REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY
 SUBJECT TO EASEMENT AS IN INSTRUMENT No. 74681.
-ADDITIONAL COMMENTS
 1. NOTE THE LOCATION OF THE FENCE ALONG SOUTHWESTERLY, NORTHWESTERLY AND NORTHEASTERLY PROPERTY LIMITS.
 2. NOTE THE LOCATION OF THE OVERHEAD WIRE CONNECTING TO THE DWELLING (No. 2445).
 3. NOTE THE LOCATION OF THE CONCRETE DRIVEWAY (No. 2437) ALONG NORTHEASTERLY PROPERTY LIMIT.
 4. COMPLIANCE WITH ZONING IS NOT CERTIFIED BY THIS REPORT.
 5. THIS PLAN AND REPORT WAS PREPARED FOR BETHESDA RIDGE HOMES INC. AND RELATED PARTIES AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES.
 6. BEFORE DIGGING, UNDERGROUND UTILITIES SHOULD BE LOCATED ONSITE BY THE RESPECTIVE AGENCIES.



PROPOSED SITE PLAN INFORMATION TAKEN FROM:

PLAN OF LOT 78
REGISTRAR'S COMPILED PLAN M-6
TOWN OF OAKVILLE

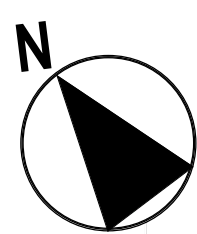
PREPARED BY:
Y. ZHANG SURVEYING LIMITED

SITE STATISTICS

	PERMITTED	PROPOSED
TOTAL LOT COVERAGE	= 35% (2,516.64 sq.ft.)	= 35% (2,516.19 sq.ft./ 233.76 sq.m)
- 1ST FLOOR + GARAGE - COVERED FRONT PORCH - COVERED REAR PATIO		= 2,125.94 sq.ft. = 39.25 sq.ft. = 351.00 sq.ft.
TOTAL FLOOR AREA RATIO	= 41% (2,948.07 sq.ft.)	= 45.22% (3,251.67 sq.ft./ 302.09 sq.m)
- 1ST FLOOR - 2ND FLOOR - VOID AREA DEDUCTION		= 1,597.36 sq.ft. = 1,654.31 sq.ft. = 69.33 sq.ft.
- TWO CAR GARAGE		= 484.00 sq.ft./ 45.00 sq.m
BUILDING HEIGHT	= 9.0 m	= 9.00 m
SETBACKS		
- FRONT	= 8.36 m	= 8.36 m
- REAR	= 7.50 m	= 15.30 m
- SIDE YARD (NORTH)	= 1.20 m	= 1.20 m
- SIDE YARD (SOUTH)	= 1.20 m	= 1.22 m

FRONT YARD AREA = 1,711.29 SQ.FT.
PROPOSED DRIVEWAY AREA = 556.85 SQ.FT.
PROPOSED LANDSCAPE AREA = 1,154.44 SQ.FT. (67.46%)
PROPOSED SOFT LANDSCAPE AREA = 798.16 SQ.FT. (69.14%)

- EX. DRIVEWAY
- NEW INTERLOCK DRIVEWAY
- SOFT LANDSCAPING
- WALKWAY



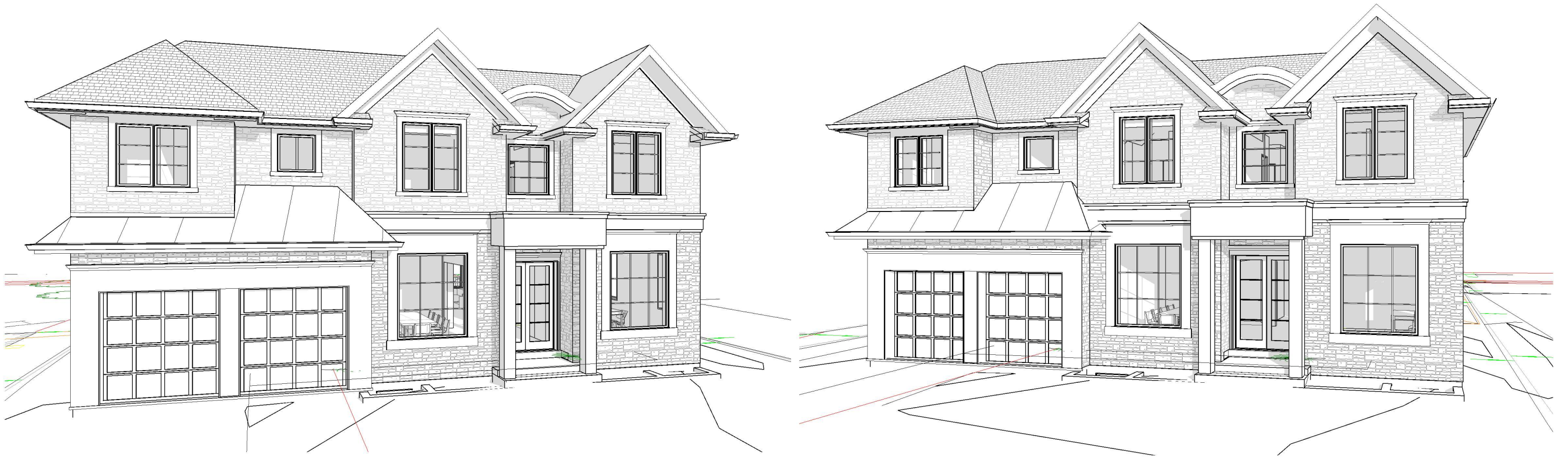
HIXON ROAD

2441 HIXON ST
OAKVILLE, ON L6L 1V2

PROPOSED 2-STOREY DWELLING		CONTRACTOR SHALL VERIFY SITE DIMENSIONS
Drawn by	LY	
Date	2024-5-26	
Scale	As indicated	
Project Number	24001	

DRAWING NAME
SITE PLAN

SHEET NUMBER
A1.1



2441 HIXON ST

OAKVILLE, ON L6L 1V2

PROPOSED 2-STOREY DWELLING

Drawn by **LY**
Date **2024-5-26**

Scale
Project Number **24001**

CONTRACTOR SHALL
VERIFY SITE DIMENSIONS

DRAWING NAME

COVERED PAGE

SHEET NUMBER

A1.0

GENERAL NOTES:
 CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ALL JOB SITE CONDITIONS PRIOR TO PROCEEDING WITH CONSTRUCTION AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE DESIGNER. ONLY THE LATEST APPROVED DRAWINGS ARE TO BE USED FOR CONSTRUCTION.



① EAST ELEVATION
 3/16" = 1'-0"

PROPOSED 2-STOREY DWELLING

2441 HIXON ST

OAKVILLE, ON L6L 1V2

CONTRACTOR SHALL
 VERIFY SITE DIMENSIONS

NO.	DESCRIPTION	DATE	BY
1		1/8/2024	LY
2		1/24/2024	LY
3		2/18/2024	LY
4	ISSUED FOR Co/A	5/28/2024	LY

Drawn by **Author**

Date **2024-5-26**

Scale **3/16" = 1'-0"**

Project Number **24001**

DRAWING NAME

NEW ELEVATION

SHEET NUMBER

A3.1

GENERAL NOTES:
 CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ALL JOB SITE CONDITIONS PRIOR TO PROCEEDING WITH CONSTRUCTION AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE DESIGNER. ONLY THE LATEST APPROVED DRAWINGS ARE TO BE USED FOR CONSTRUCTION.



PROPOSED 2-STOREY DWELLING

2441 HIXON ST

OAKVILLE, ON L6L 1V2

CONTRACTOR SHALL
 VERIFY SITE DIMENSIONS

NO.	DESCRIPTION	DATE	BY
1		1/8/2024	LY
2		1/24/2024	LY
3		2/18/2024	LY
4	ISSUED FOR Co/A	5/28/2024	LY

Drawn by **Author**

Date **2024-5-26**

Scale **3/16" = 1'-0"**

Project Number **24001**

DRAWING NAME

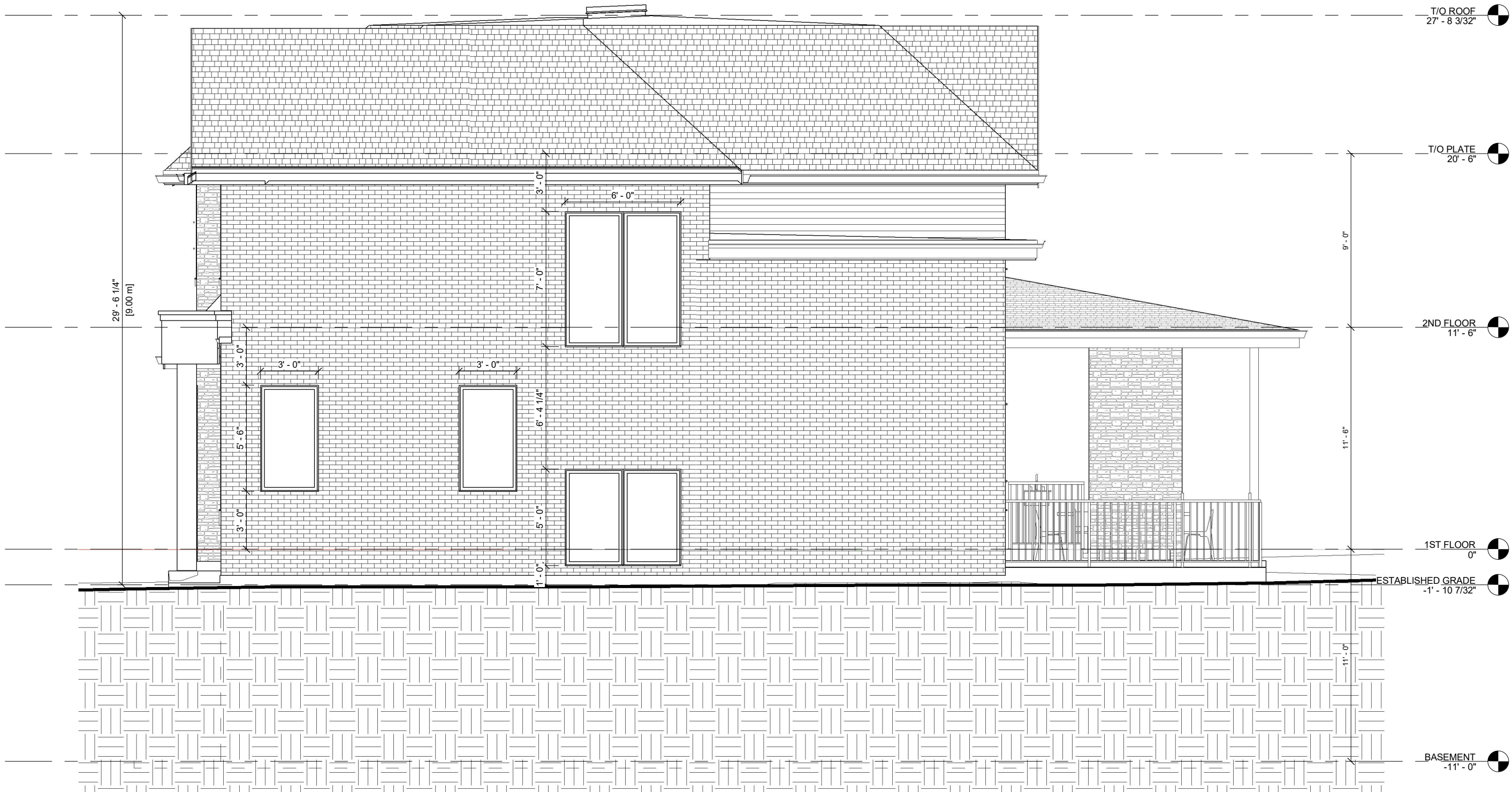
NEW ELEVATION

SHEET NUMBER

A3.2

1 WEST ELEVATION
 3/16" = 1'-0"

GENERAL NOTES:
 CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ALL JOB SITE CONDITIONS PRIOR TO PROCEEDING WITH CONSTRUCTION AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE DESIGNER. ONLY THE LATEST APPROVED DRAWINGS ARE TO BE USED FOR CONSTRUCTION.



1 NORTH ELEVATION
 3/16" = 1'-0"

PROPOSED 2-STOREY DWELLING

2441 HIXON ST

OAKVILLE, ON L6L 1V2

CONTRACTOR SHALL VERIFY SITE DIMENSIONS

NO.	DESCRIPTION	DATE	BY
1		1/8/2024	LY
2		1/24/2024	LY
3		2/18/2024	LY
4	ISSUED FOR CoA	5/28/2024	LY

Drawn by **Author**

Date **2024-5-26**

Scale **3/16" = 1'-0"**

Project Number **24001**

DRAWING NAME

NEW ELEVATION

SHEET NUMBER

A3.3

GENERAL NOTES:
 CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ALL JOB SITE CONDITIONS PRIOR TO PROCEEDING WITH CONSTRUCTION AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE DESIGNER. ONLY THE LATEST APPROVED DRAWINGS ARE TO BE USED FOR CONSTRUCTION.



PROPOSED 2-STOREY DWELLING

2441 HIXON ST

OAKVILLE, ON L6L 1V2

CONTRACTOR SHALL VERIFY SITE DIMENSIONS

NO.	DESCRIPTION	DATE	BY
1		1/8/2024	LY
2		1/24/2024	LY
3		2/18/2024	LY
4	ISSUED FOR CofA	5/28/2024	LY

Drawn by **Author**

Date **2024-5-26**

Scale **3/16" = 1'-0"**

Project Number **24001**

DRAWING NAME

NEW ELEVATION

SHEET NUMBER

A3.4

1 SOUTH ELEVATION
 3/16" = 1'-0"