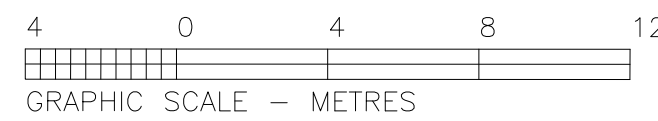


BASED ON PLAN OF SURVEY:
 LOTS 1, 2, 4, 'A'
 and PART of LOT 3,
 BLOCK 51
 REGISTERED PLAN N° 1
 TOWN OF OAKVILLE
 REGIONAL MUNICIPALITY OF HALTON



BEARING NOTE
 ALL BOUNDARY SHOWN HEREON WAS COMPILED FROM OFFICE RECORDS AND WAS VERIFIED IN THE FIELD.

METRIC NOTE
 ALL DISTANCES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED INTO FEET BY DIVIDING BY 0.3048.

ELEVATION NOTE
 ALL ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE REFERRED TO THE TOWN OF OAKVILLE BENCHMARK N° G-19 HAVING AN ELEVATION OF 87.43 m.

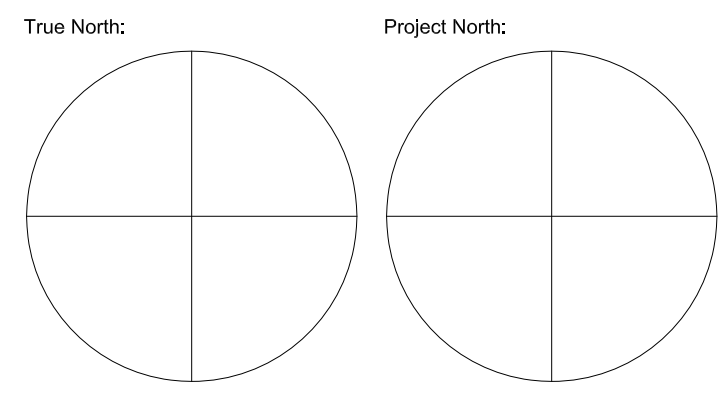
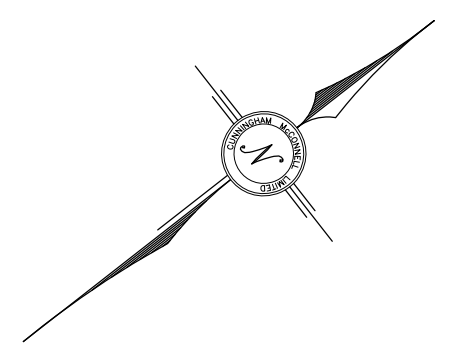
UNDERGROUND SERVICES NOTE
 ONLY UNDERGROUND SERVICES VISIBLE ON THE GROUND WERE LOCATED FOR THIS PLAN. THE LOCAL PUBLIC UTILITIES SHALL BE CONTACTED FOR LOCATES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION WORK.

LEGEND

AW	DENOTES ANCHOR WIRE
BB	DENOTES BELL BOX
CBX	DENOTES CABLE BOX
CB	DENOTES CATCH BASIN
CSN	DENOTES CONCRETE SIGN
CM	DENOTES GAS METER
CV	DENOTES GAS VALVE
MH	DENOTES MANHOLE
MP	DENOTES METAL POST
RS	DENOTES ROAD SIGN
UP	DENOTES UTILITY POLE
WP	DENOTES WATER VALVE
W	DENOTES OVER HEAD WIRE
CN-0.30 X2	DENOTES CONIFEROUS TREE 0.30 m DIAMETER WITH 2 TRUNKS
DC-0.30 X2	DENOTES DECIDUOUS TREE 0.30 m DIAMETER WITH 2 TRUNKS
SC	DENOTES LAMP STANDARD

NOTE
 THE TOPOGRAPHIC DETAIL SHOWN ON THIS PLAN WAS COMPLETED ON THE 12TH DAY OF MAY, 2008.

DATE: MAY 12, 2008



Key Plan:

No.	Date	Issued/Revision	By:
32	Jan 07/24	Car Lift	R.M.
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8	Feb 25/20	Rev for Heritage application	R.M.
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SMDA Design + Architecture
 1492 Wallace Rd., unit 9
 Oakville ON L6L 2Y2
 Tel: 905 842 2848
 smda.ca

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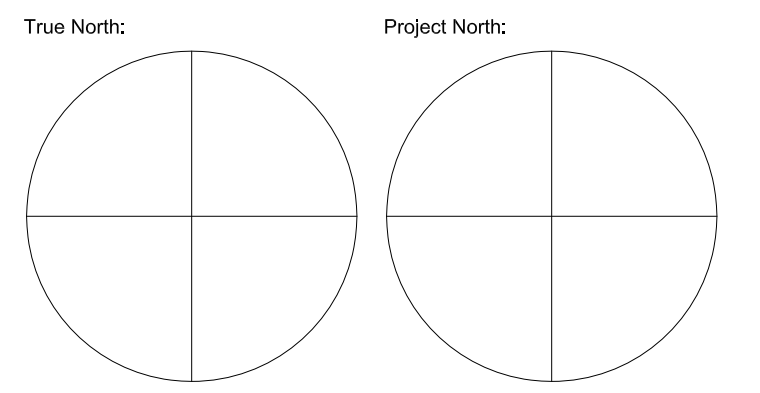
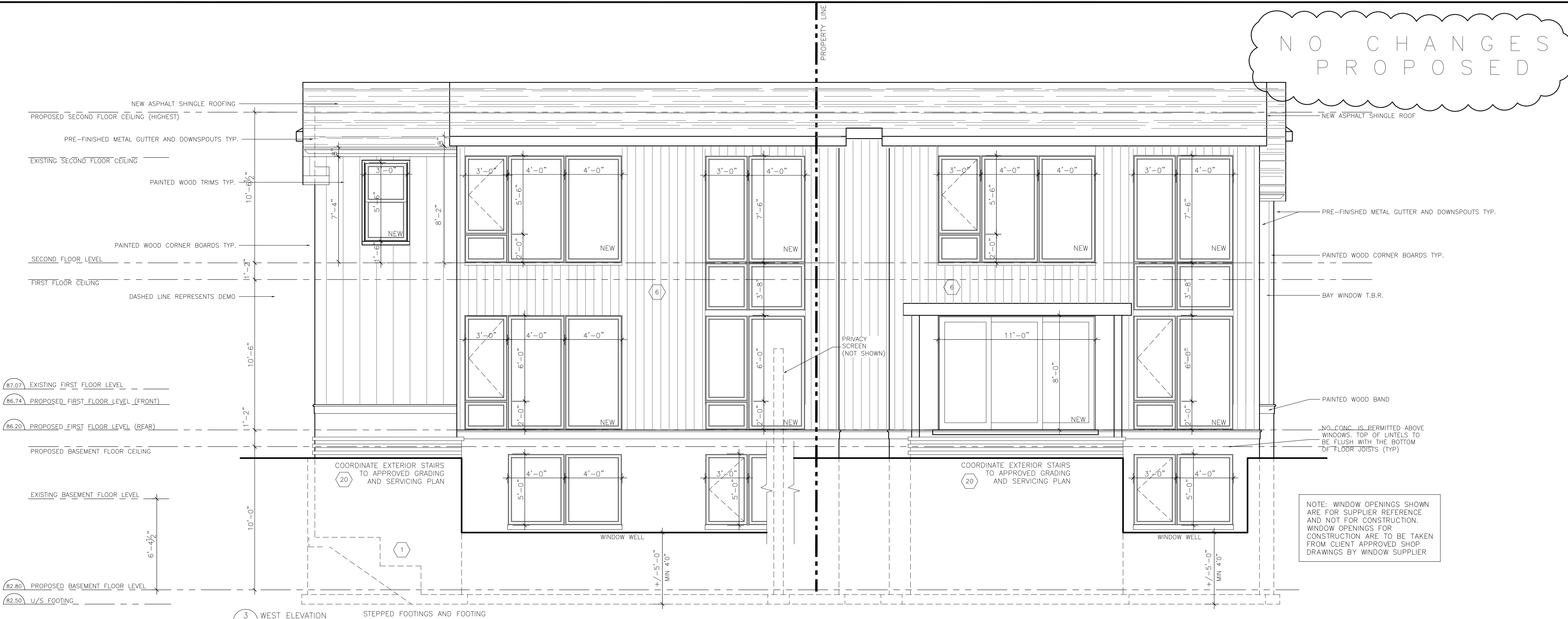
QUALIFICATION INFORMATION:
 RICK MATELIAN BCIN 39448
 SMDA DESIGN LTD, BCIN 128915

Project:
Johnston Navy Street
 68 & 70 Navy Street
 Oakville, ON

Sheet Title:
Site Plan

Design By:	Drawn By:	Approved By:
R.M.	K.A.	R.M.
Scale:	Date:	Project No:
1:200	May 2014	14.16

Drawing No:
A001.1

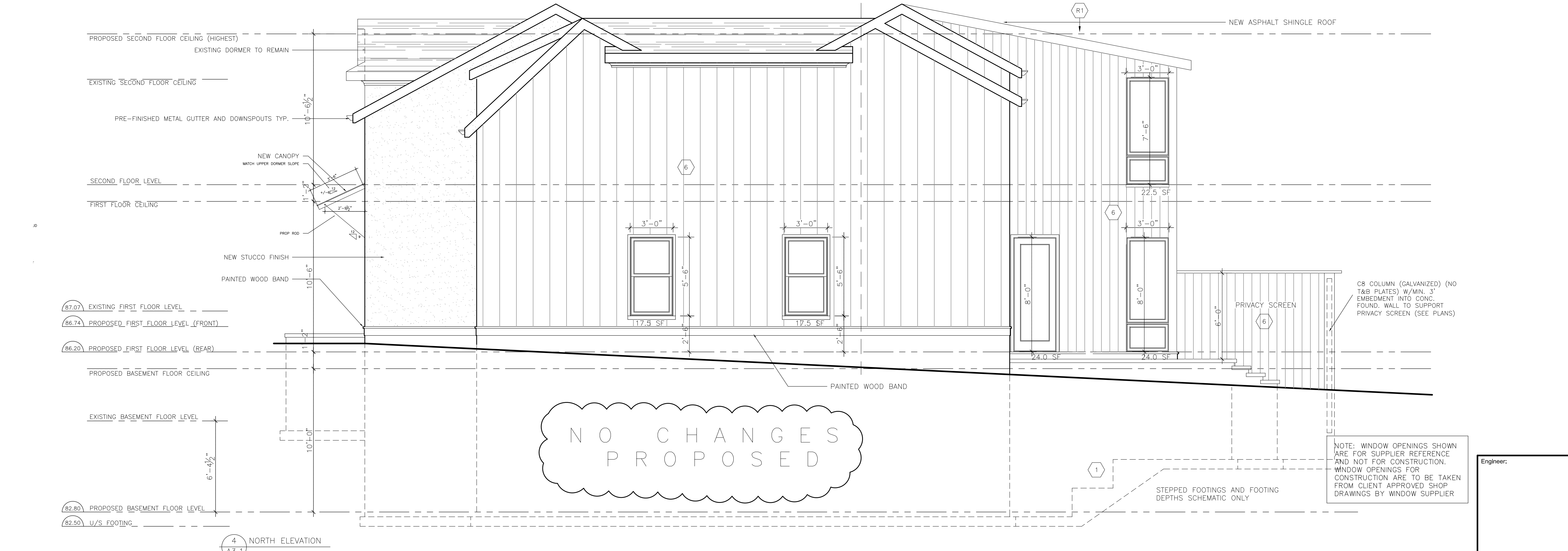


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AREA "A" GLAZED OPENINGS CALCULATION PER O.B.C. 9.10.15.4
 NORTH ELEVATION:
 EXPOSING BUILDING FACE: 777 SF
 LIMITING DISTANCE: 2.1m
 ALLOWABLE OPENINGS: 8.2% (INTERPOLATED)(63.7 SF)
 PROPOSED OPENINGS: 4.5% 35.0 SF

AREA "B" GLAZED OPENINGS CALCULATION PER O.B.C. 9.10.15.4
 NORTH ELEVATION:
 EXPOSING BUILDING FACE: 510 SF
 LIMITING DISTANCE: 5.3m
 ALLOWABLE OPENINGS: 14.5% (INTERPOLATED)(74.0 SF)
 PROPOSED OPENINGS: 13.8% 70.5 SF



SMDA design + architecture

SMDA Design + Architecture

1492 Wallace Rd., unit 9
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QUALIFICATION INFORMATION:
 RICK MATELIAN BCIN 39448

SMDA DESIGN LTD, BCIN 128915

Project:
Johnston Navy Street
 68 & 70 Navy Street
 Oakville, ON

Sheet Title:
**West Elevation
 North Elevation**

Design By:	Drawn By:	Approved By:
R.M.	K.A.	R.M.

Scale: 1/4"=1'-0"
 Date: May 2014
 Project No: 14.16

Drawing No:
A003.1

NO CHANGES PROPOSED

REFER TO HVAC DESIGN AND EEDS FORM FOR REQUIRED INSULATION AND WINDOW PERFORMANCE DATA



CONFIRM ALL GRADING INFORMATION WITH APPROVED GRADING AND SERVICING PLAN (TYP)

NOTE: WINDOW OPENINGS SHOWN ARE FOR SUPPLIER REFERENCE AND NOT FOR CONSTRUCTION. WINDOW OPENINGS FOR CONSTRUCTION ARE TO BE TAKEN FROM CLIENT APPROVED SHOP DRAWINGS BY WINDOW SUPPLIER

NOTE REGARDING SIDING AND WINDOW MATERIALS AND INSTALLATION:

Exterior above-grade walls or wall assemblies must be designed and constructed according to rainscreen principles that include both Primary and Secondary Planes of Protection (water barriers), provision for drying of the assembly, and an air space no less than 10mm deep behind the cladding with positive drainage to the exterior to protect the interior of the building from precipitation that penetrates the Primary Plane of Protection.

i) Windows must be designed and constructed according to rainscreen principles, inserted into a wall where they are fully supported at the perimeter, where all the components are specified and used in conformity with the structural and installation parameters of the relevant Canadian Standards Association (CSA) and Canadian Government Specifications Board (CCSB) documents, or other standards referenced in the applicable building code.

ii) Solid masonry or concrete walls are permitted where drying of the masonry or concrete is not adversely affected by any other exterior building material.

iii) Precast concrete walls must be designed and constructed as drained systems utilizing two stage drained joints.

iv) Glass and metal Curtain Wall systems must incorporate both Primary and Secondary Planes of Protection (water barriers) with provision for positive drainage to the exterior in a rainscreen design.

v) Window Wall systems may be used on projects classified under Part 9 of the Ontario Building Code that incorporate both Primary and Secondary Planes of Protection (water barriers) and ventilated air spaces with provision for positive drainage to the exterior in a rainscreen design.

vi) Window Wall systems may be used on projects other than those classified under Part 9 of the Ontario Building Code that comply with the conditions as provided by the most recently issued Window Wall Endorsement issued by the Fire-Demolition Insurance Company.

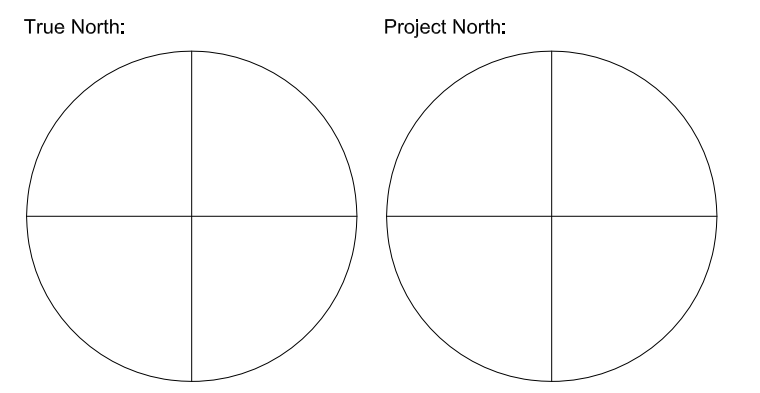
vii) Pre-Engineered buildings or siding systems incorporating both Primary and Secondary Planes of Protection (water barriers) and provision for drainage to the exterior in a rainscreen design are permitted.

GLAZED OPENINGS CALCULATION PER O.B.C. 9.10.15.4 SOUTH ELEVATION:
 EXPOSING BUILDING FACE: 1292 SF
 LIMITING DISTANCE: 1.8m
 ALLOWABLE OPENINGS: 7.5% (INTERPOLATED)(96.9 SF)
 PROPOSED OPENINGS: 6.8% 87.5 SF



NO CHANGES PROPOSED

NOTE: WINDOW OPENINGS SHOWN ARE FOR SUPPLIER REFERENCE AND NOT FOR CONSTRUCTION. WINDOW OPENINGS FOR CONSTRUCTION ARE TO BE TAKEN FROM CLIENT APPROVED SHOP DRAWINGS BY WINDOW SUPPLIER



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 SMDA DESIGN LTD, BCIN 128915

Project:
 Johnston Navy Street
 68 and 70 Navy Street
 Oakville, ON

Sheet Title:
 East Elevation
 South Elevation

Design By:	Drawn By:	Approved By:
R.M.	K.A.	R.M.
Scale:	Date:	Project No:
1/4"=1'-0"	May 2014	14.16

Drawing No: **A003.0**