



Feb 14, 2024

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REVISIONS & ISSUES:

#	DATE	DESCRIPTION
1	16-01-2024	ISSUED FOR CLIENT REVIEW
2	14-02-2024	ISSUED FOR PERMIT
3	11-03-2024	REVISED FOR INITIAL ZONING REVIEW

DRAWN BY: NA
CHECKED BY: MM

SURVEY PLAN

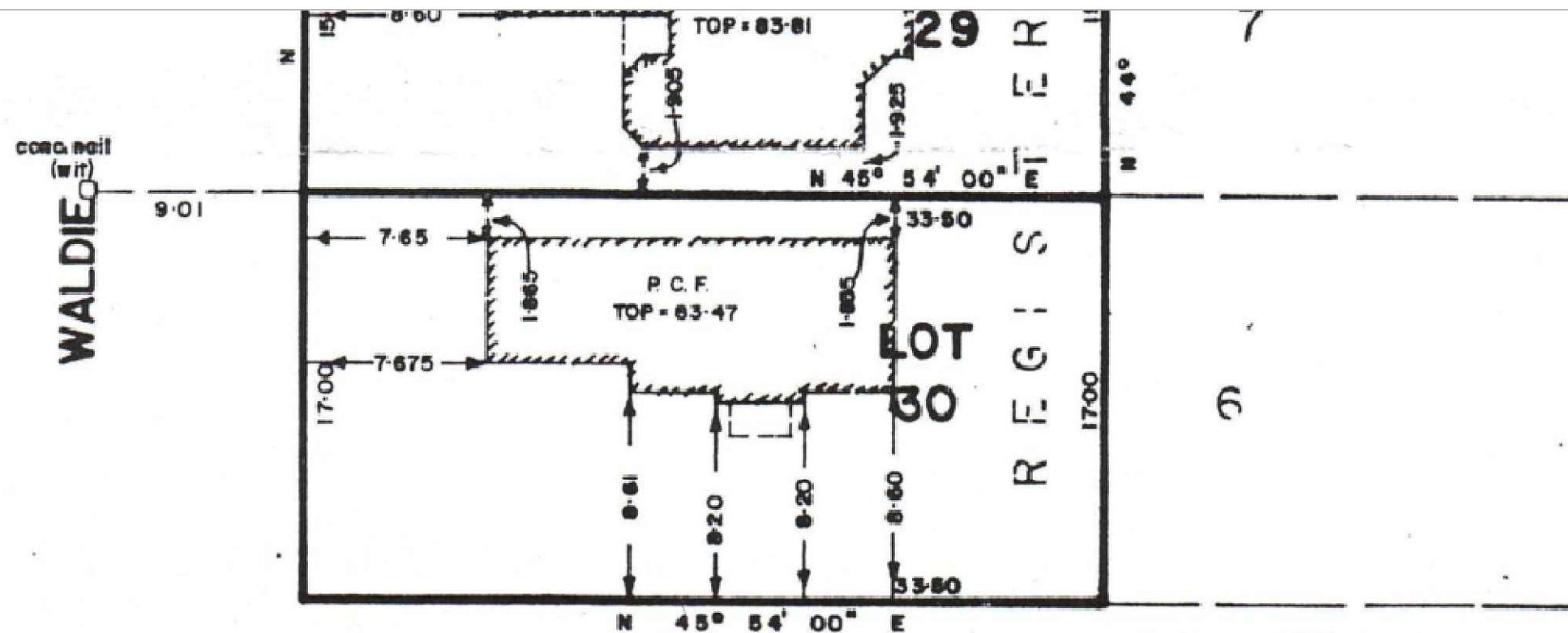
C100

Scale: NTS

Date: 12-09-2023

Project: PROPOSED COVERED DECK

3489 STEDFORD ROAD,
OAKVILLE, ON



STEDFORD ROAD

ROYAL PARK ESTATES

NOTE: P.C.F. DENOTES POURED CONCRETE FOUNDATION

SURVEYOR'S CERTIFICATE:

I CERTIFY THAT
THE FIELD SURVEY REPRESENTED ON THIS PLAN WAS
COMPLETED ON THE 15th. DAY OF MARCH, 1985

DATE: MARCH 19, 1985

M. M. Maughan
M. M. MAUGHAN, O.L.S.

NOTE:

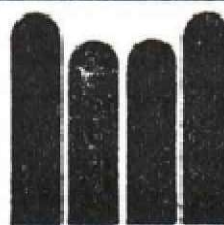
BEARINGS SHOWN HEREON ARE ASTRONOMIC AND ARE REFERRED TO THE NORTHEAST LIMIT OF WALDIE ROAD ASSUMED TO BE N 44° 22' 40" W PER R. P. 20M - 316

LEGEND:

SIB DENOTES STANDARD IRON BAR (0-025 x 0-025 x 1-22)
IBØ DENOTES ROUND IRON BAR (0-018 DIA. x 0-61)

BUILDING LOCATION SURVEY OF
LOTS 28, 29 & 30
REGISTERED PLAN 20M - 316
TOWN OF OAKVILLE
REGIONAL MUNICIPALITY
OF HALTON.

© McCONNELL, MAUGHAN LIMITED, O.L.S., 1985



**mcconnell,
maughan
limited**

**CONSULTING ENGINEERS
AND SURVEYORS**
OAKVILLE - TORONTO

407 SPERS ROAD SUITE 200 OAKVILLE ON L6K 3T5 TEL (416) 846-3407

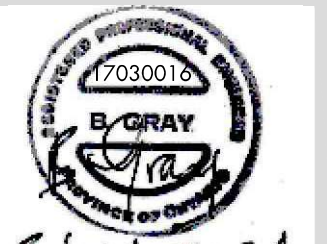
SITE STATISTICS	ZONING INFORMATION & SITE STATISTICS:					
	RL5	EXISTING	PROPOSED		ZONING BYLAW (MAX. ALLOWANCE)	NOTES:
	LOT AREA:	569.5m ² (6138.1 ft ²)				
	LOT COVERAGE	230.25 m ² (1291.6 ft ²)	21.04%	168.05 m ² (1808.93 ft ²)	29.47%	35%
	BUILDING HEIGHT	N/A		N/A		PROPOSED INCLUDES EXISTING HOUSE, PORCH, EX. SWIM POOL AND NEW DECK AS PER EXISTING CONDITIONS
	REAR YARD COVERAGE	9.29 M ² (100 ft ²)	0.62%	57.35 M ² (617.33 FT ²)	38.04%	YARD AREA IS 1622.5 SQFT / 150.734 SQM
	FRONT YARD SETBACK	7.6M	TO REMAIN		7.5M	1.2M ALLOWED AS THERE IS AN ATTACHED GARAGE AT PROPER SIZE
	SIDE "A" SETBACK (INTERIOR)	1.8M	1.8M		1.2M	
	REAR YARD SETBACK	8.6M	2.8M		7.5M	
	MIN. AMOUNT OF PARKING	N/A				
SURVEY INFORMATION:						
DISCLOSURE: SITE AND LOT INFORMATION TAKEN FROM ORIGINAL SURVEY THAT WAS CREATED BY:						
SURVEY INFORMATION TAKEN FROM: MC CONNELL MAUGHAN LIMITED CONSULTING ENGINEERS AND SURVEYORS DONE ON: MARCH 19th, 1985 LOT: 30, PART: 6 PLAN NUMBER: 20M - 316						

LEGEND

- EXISTING BUILDING
- PROPOSED BUILDING
- GREEN AREA
- PROPERTY LINE
- EXISTING MAIN DOOR
- EXISTING SIDE DOOR
- SLDR LOCATION OF SLIDING DOOR AT REAR
- PROPOSED NEW DOOR



Phone: +1 (647) 478-9292
 Fax: +1 (877) 347-3479
 www.AcadiaDC.ca



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SITE PLAN

A100

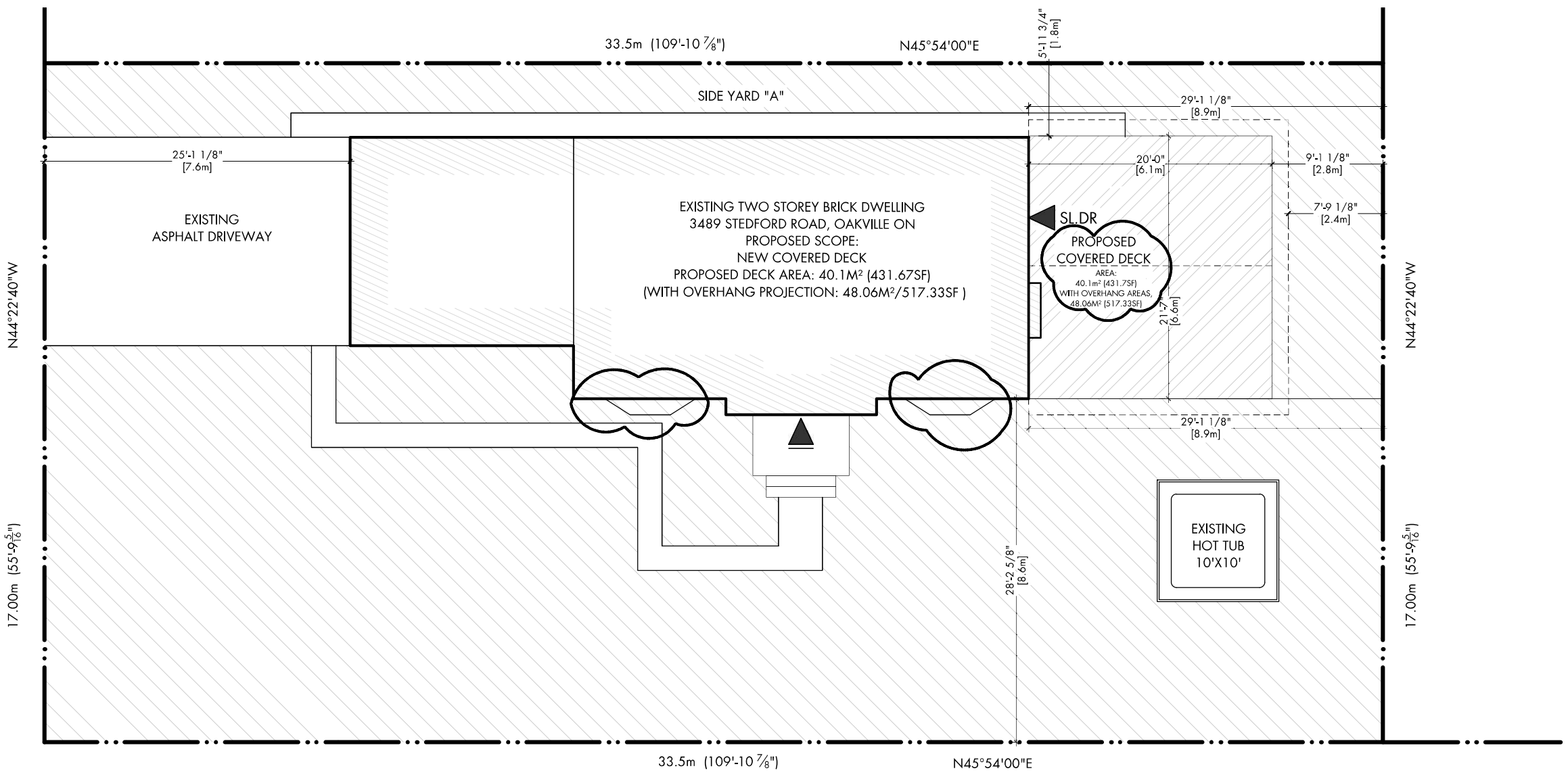
Scale: 3/32" = 1'-0"

Date: 12-09-2023

PROPOSED COVERED DECK

Project: 3489 STEDFORD ROAD, OAKVILLE, ON

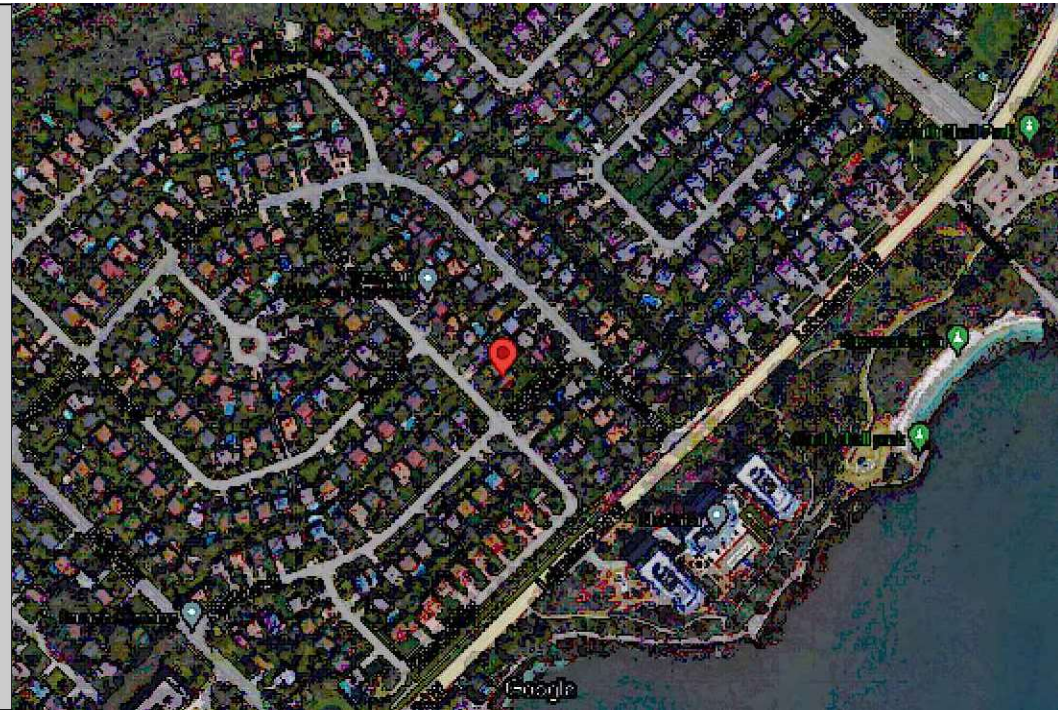
WALDIE ROAD



STEDFORD ROAD

KEY PLAN: 3489 STEDFORD ROAD, OAKVILLE, ON

KEY PLAN



SCOPE: PROPOSED DECK

INDEX SHEET

- A001 COVER PAGE
- C100 SURVEY PLAN
- A100 SITE PLAN
- A200 DECK PLANS
- A300 EXISTING NORTH ELEVATION
- A301 PROPOSED NORTH ELEVATION
- A302 PROPOSED EAST ELEVATION
- A400 SECTION
- A500 DECK DETAILS

LEGAL SURVEY

ROYAL PARK ESTATES

NOTE: P.C.F. DENOTES POURED CONCRETE FOUNDATION

SURVEYOR'S CERTIFICATE:
 I CERTIFY THAT
 THE FIELD SURVEY REPRESENTED ON THIS PLAN WAS
 COMPLETED ON THE 19th DAY OF MARCH, 1985
 DATE: MARCH 19, 1985
 M. W. MAUGHAN, O.L.S.

NOTE:
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 REFERRED TO THE NORTHEAST LIMIT OF WALDIE ROAD
 ASSUMED TO BE N 44° 22' 40" W PER R.P. 20M-316

LEGEND:
 SIB DENOTES STANDARD IRON BAR (0.025 x 0.025 x 1.22)
 IRB DENOTES ROUND IRON BAR (0.018 DIA x 0.60)

**BUILDING LOCATION SURVEY OF
 LOTS 28, 29 & 30
 REGISTERED PLAN 20M-316
 TOWN OF OAKVILLE
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 OF HALTON.**
 © McCONNELL, MAUGHAN LIMITED, O.L.S., 1985

**mc connell,
 maughan
 limited** CONSULTING ENGINEERS
 AND SURVEYORS
 OAKVILLE - TORONTO
 407 SPADINA AVENUE SUITE 300 TORONTO ONT M5S 2A1 TEL: 944-3407



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COVER PAGE

A001

Scale: NTS

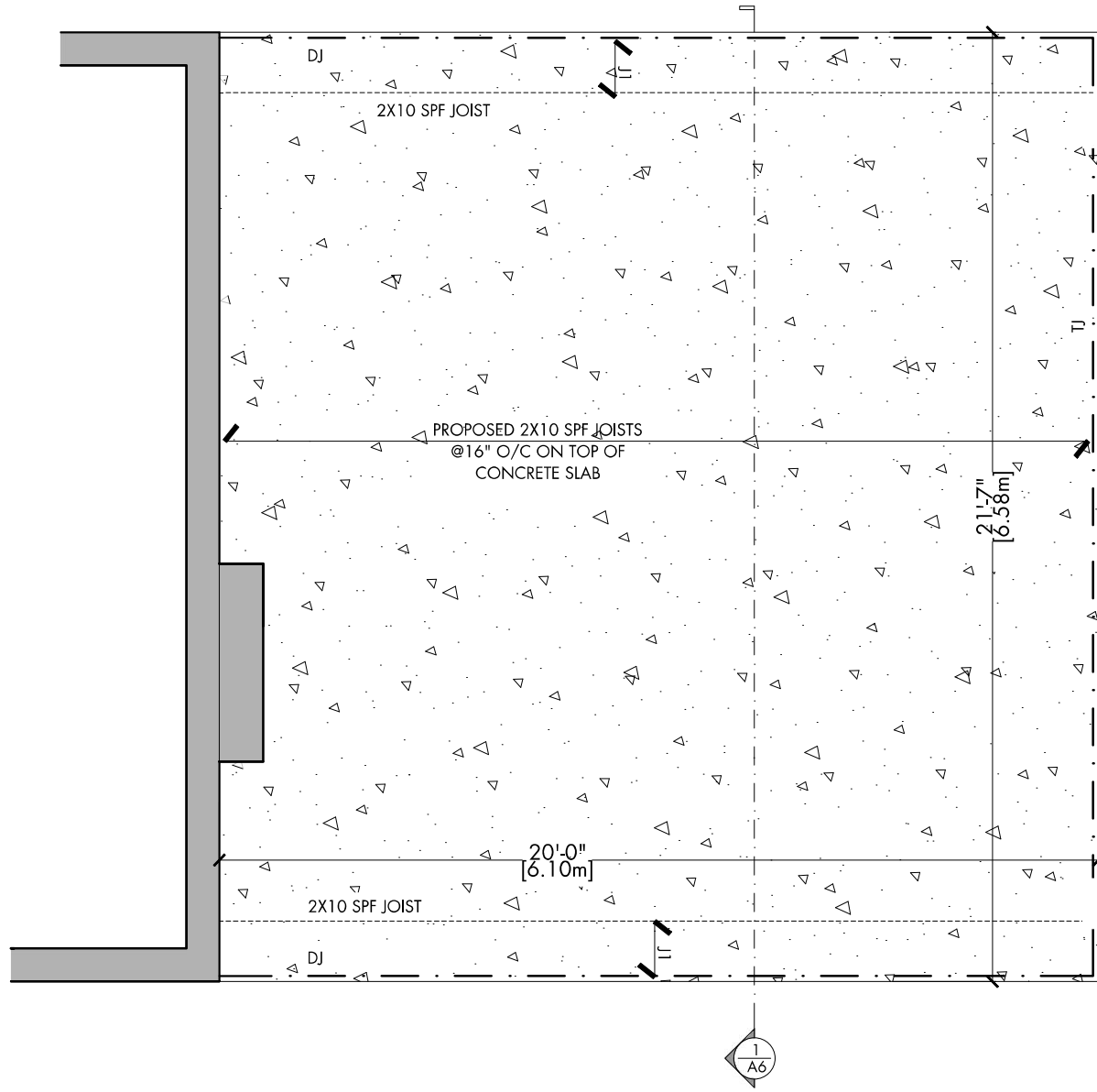
Date: 12-09-2023

PROPOSED COVERED DECK

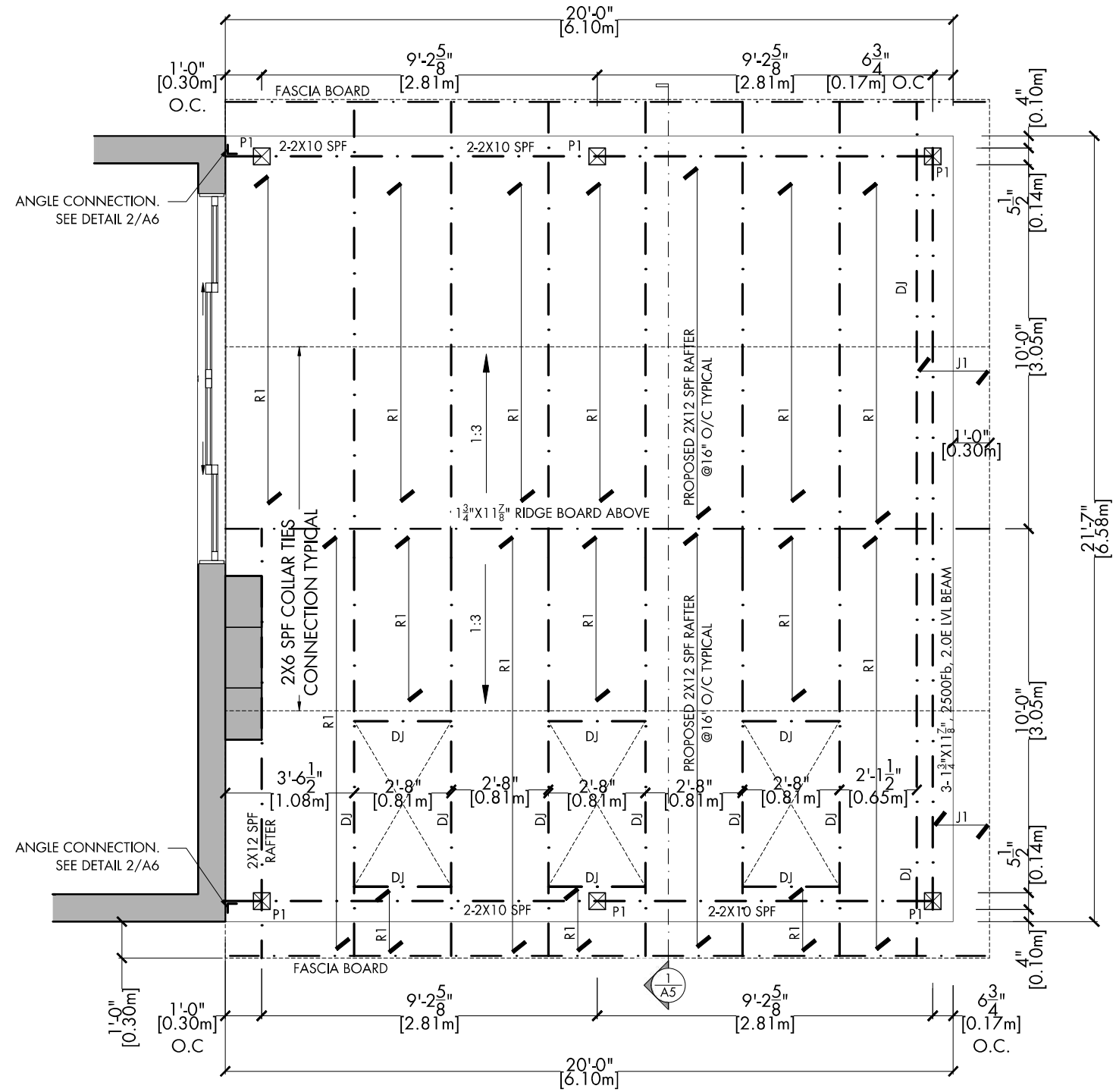
Project: 3489 STEDFORD ROAD,
 OAKVILLE, ON

LEGEND

- P1 6X6 P.T SPF POST
- DJ DOUBLE SPF RAFTER/JOIST
- TJ TRIPLE JOIST
- J1 2X8 SPF BLOCKING AT 16" O.C.
- R1 2X12 SPF RAFTERS AT 16" O.C.



1 FOUNDATION FRAMING PLAN
A200 1/4" = 1'-0"



2 VAULTED CEILING FRAMING PLAN
A200 1/4" = 1'-0"



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DECK PLANS

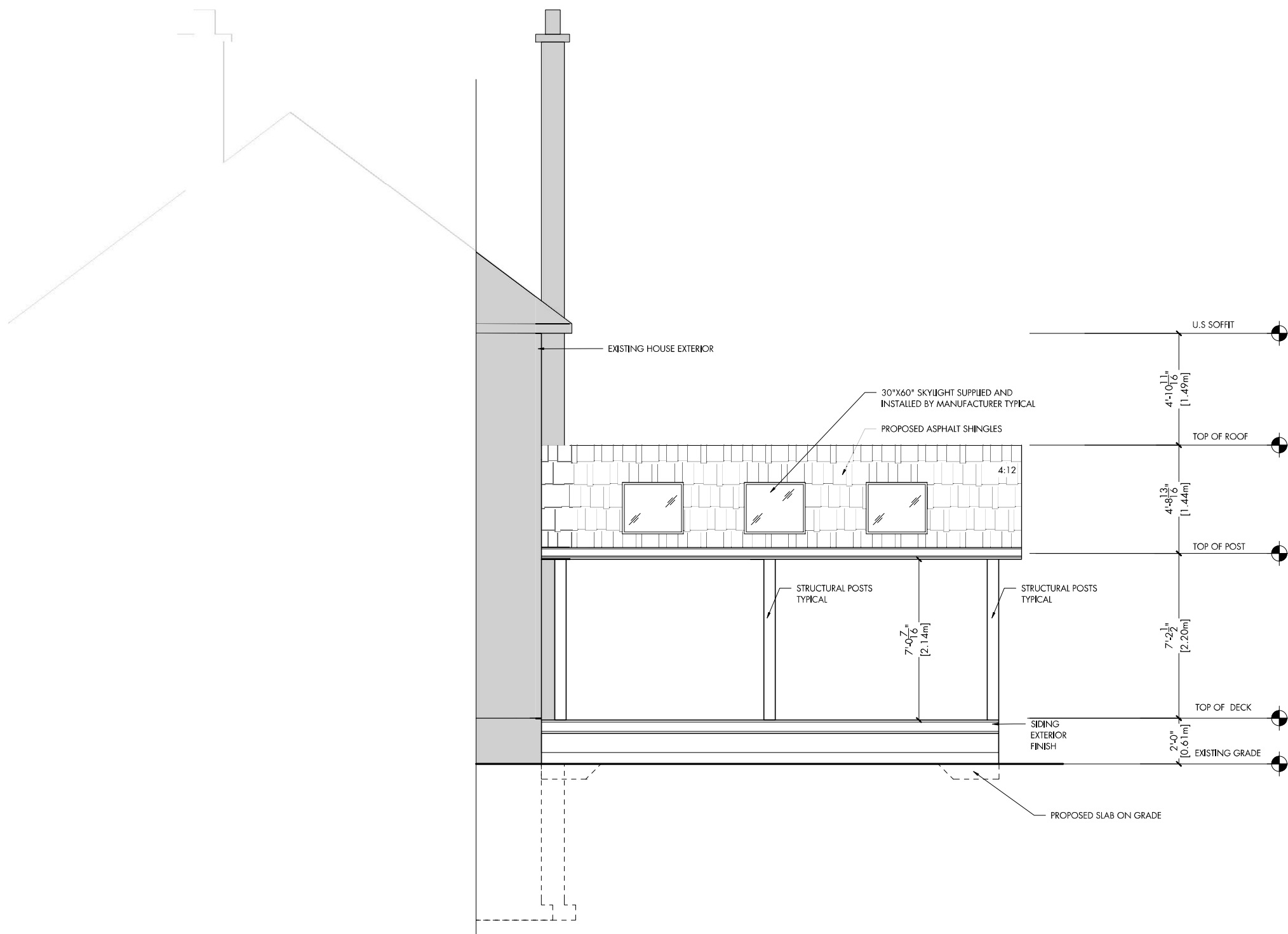
A200

Scale: 1/4" = 1'-0"

Date: 12-09-2023

PROPOSED COVERED DECK

Project: 3489 STEDFORD ROAD, OAKVILLE, ON



1 | PROPOSED EAST ELEVATION
 A302 | 3/16" = 1'-0"



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PROPOSED EAST ELEVATION

Drawing: **A302**

Scale: 3/16" = 1'-0"

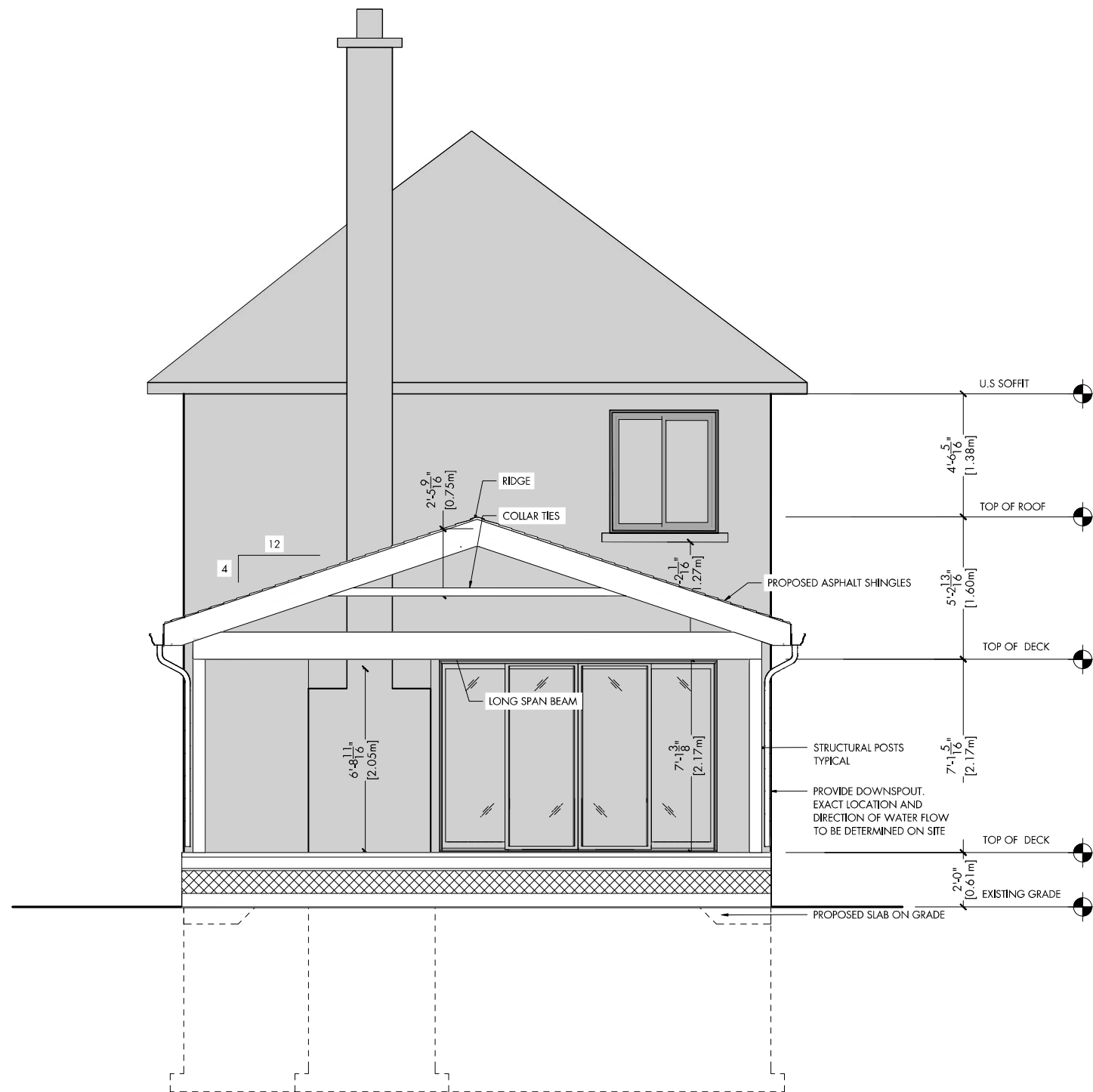
Date: 12-09-2023

PROPOSED COVERED DECK

Project: 3489 STEDFORD ROAD,
 OAKVILLE, ON



Feb 14, 2024



1 | PROPOSED NORTH ELEVATION
A301 | 3/16" = 1'-0"

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PROPOSED NORTH ELEVATION

Drawing:

A301

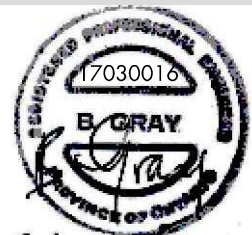
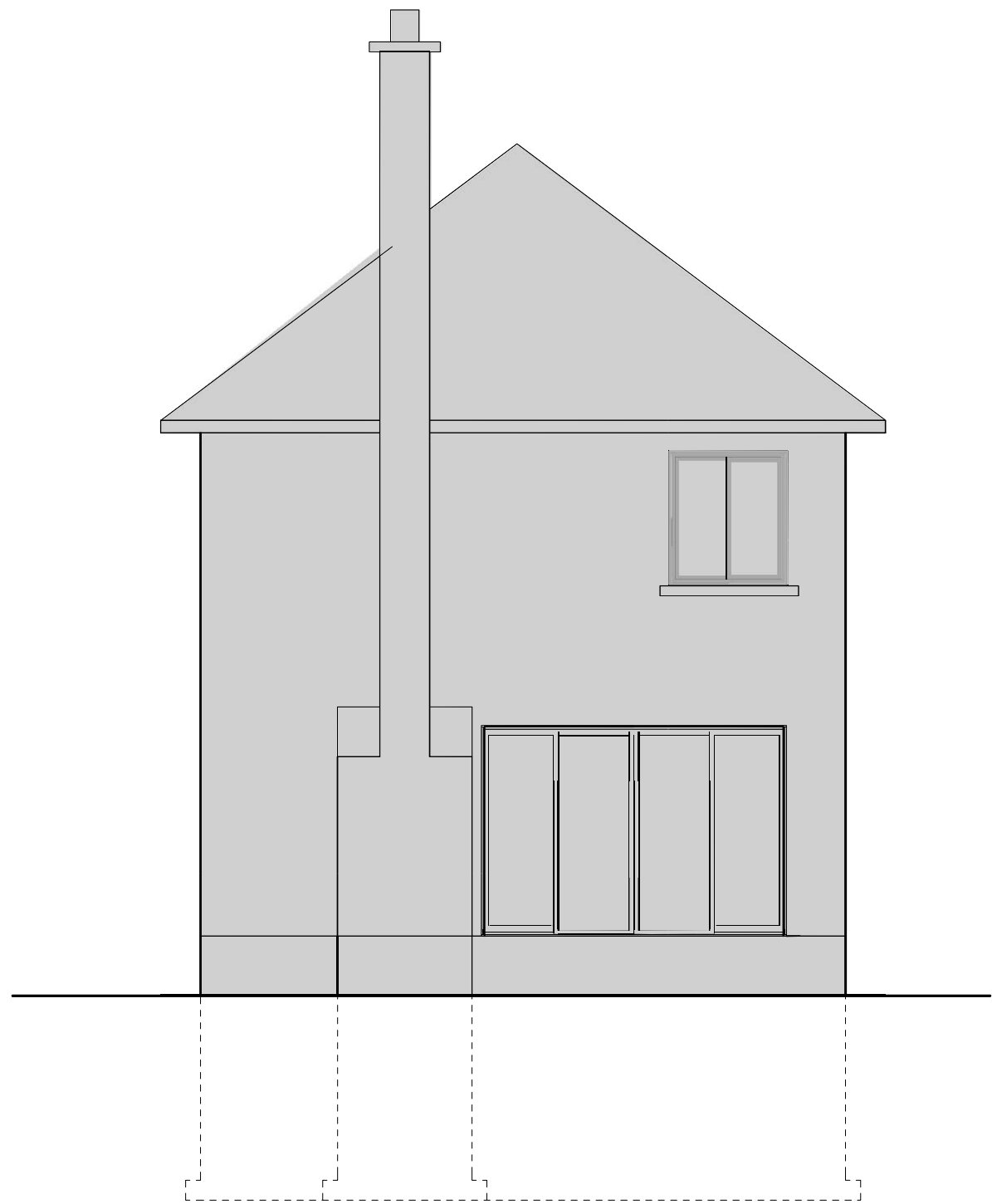
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Project:

3489 STEDFORD ROAD,
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EXISTING NORTH ELEVATION

Drawing:

A300

Scale:

NTS

Date:

12-09-2023

PROPOSED COVERED DECK

Project:

3489 STEDFORD ROAD,
OAKVILLE, ON

Committee of Adjustment
1225 Trafalgar Road
Oakville, ON L6H 0H3

To Whom It May Concern:

I am writing to express my support for the Minor variance application for the property at 3489 Stedford Rd. for a proposed Rear porch.

As a neighbor near, we have no objection to the plan and don't have any issues.

Name: _____ Chris Stephens _____

Address: _____ 82 Stevenson Rd, Oakville, L6L 6H3 _____

Committee of Adjustment
1225 Trafalgar Road
Oakville, ON L6H 0H3

To Whom It May Concern:

I am writing to express my support for the Minor variance application for the property at 3489 Stedford Rd. for a proposed Rear porch.

As a neighbor near, we have no objection to the plan and don't have any issues.

Name: Louie & Katherine DiPastena

Handwritten signatures of Louie and Katherine DiPastena. The signature on the left is 'Louie DiPastena' and the signature on the right is 'Katherine DiPastena'. Both are written in cursive and are underlined.

Address: 85 Waldie Road, Oakville

Committee of Adjustment
1225 Trafalgar Road
Oakville, ON L6H 0H3

To Whom It May Concern:

I am writing to express my support for the Minor variance application for the property at 3489 Stedford Rd. for a proposed Rear porch.

As a neighbor near, we have no objection to the plan and don't have any issues.

Name: GERT MACKER

Address: 72 STEVENSON RD, OAKVILLE, ON