

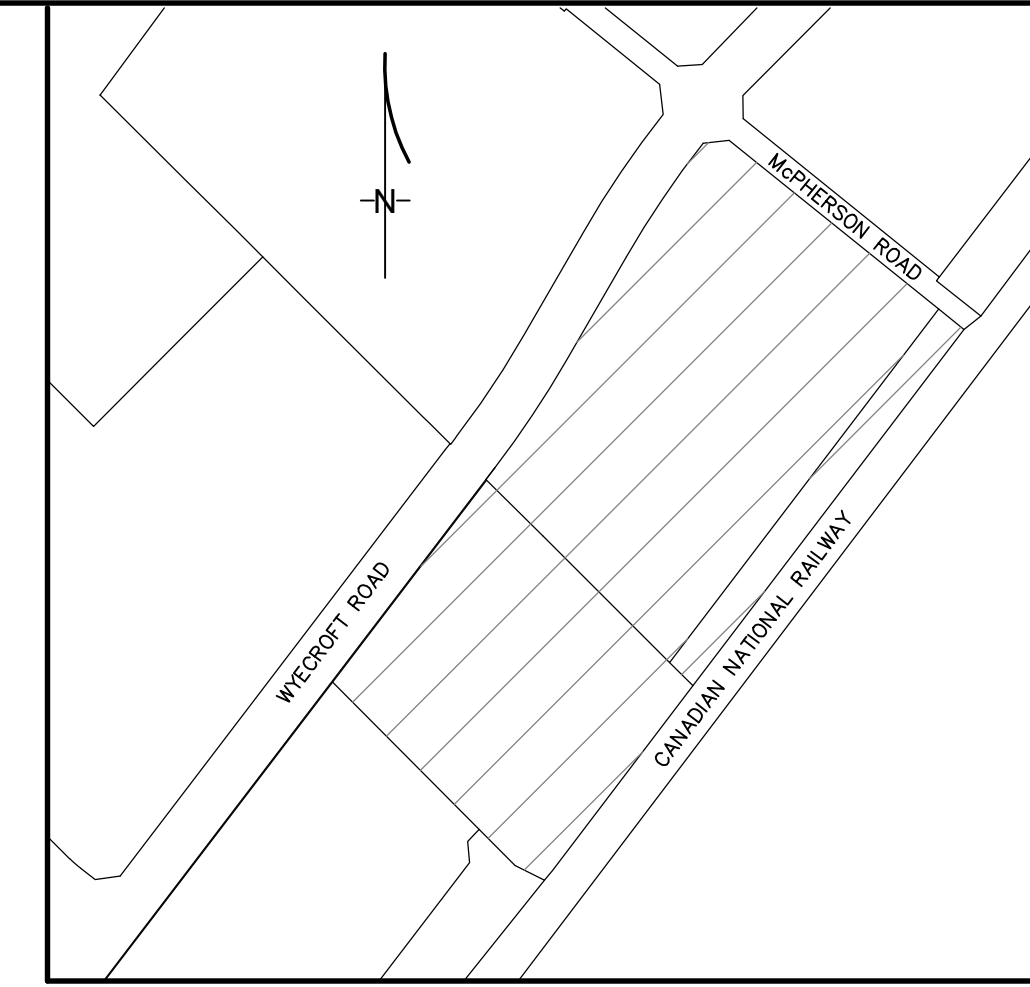
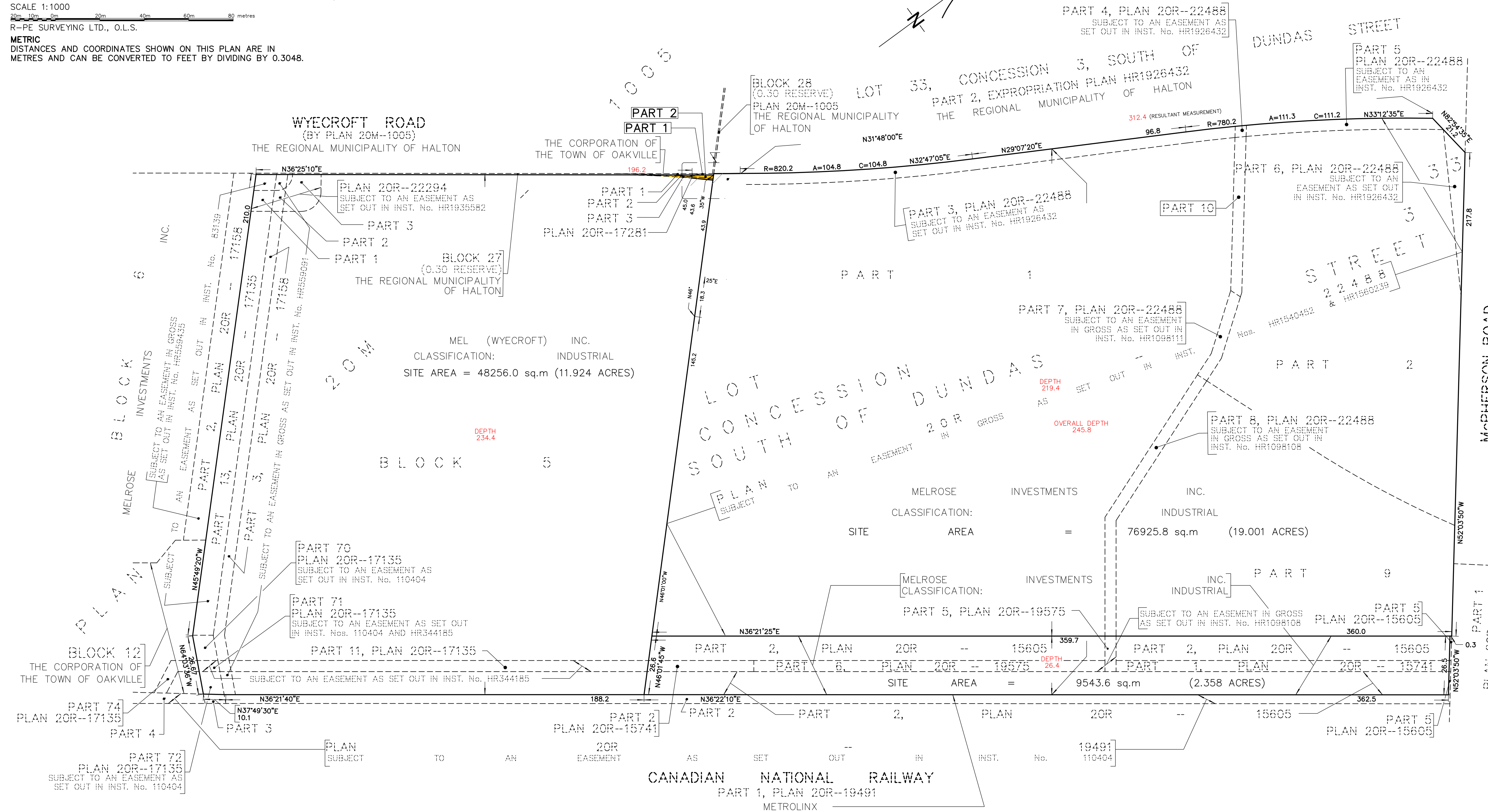
SKETCH FOR COA APPLICATION

SCALE 1:1000
 0m 20m 40m 60m 80 metres
 R-PE SURVEYING LTD., O.L.S.

METRIC
 DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

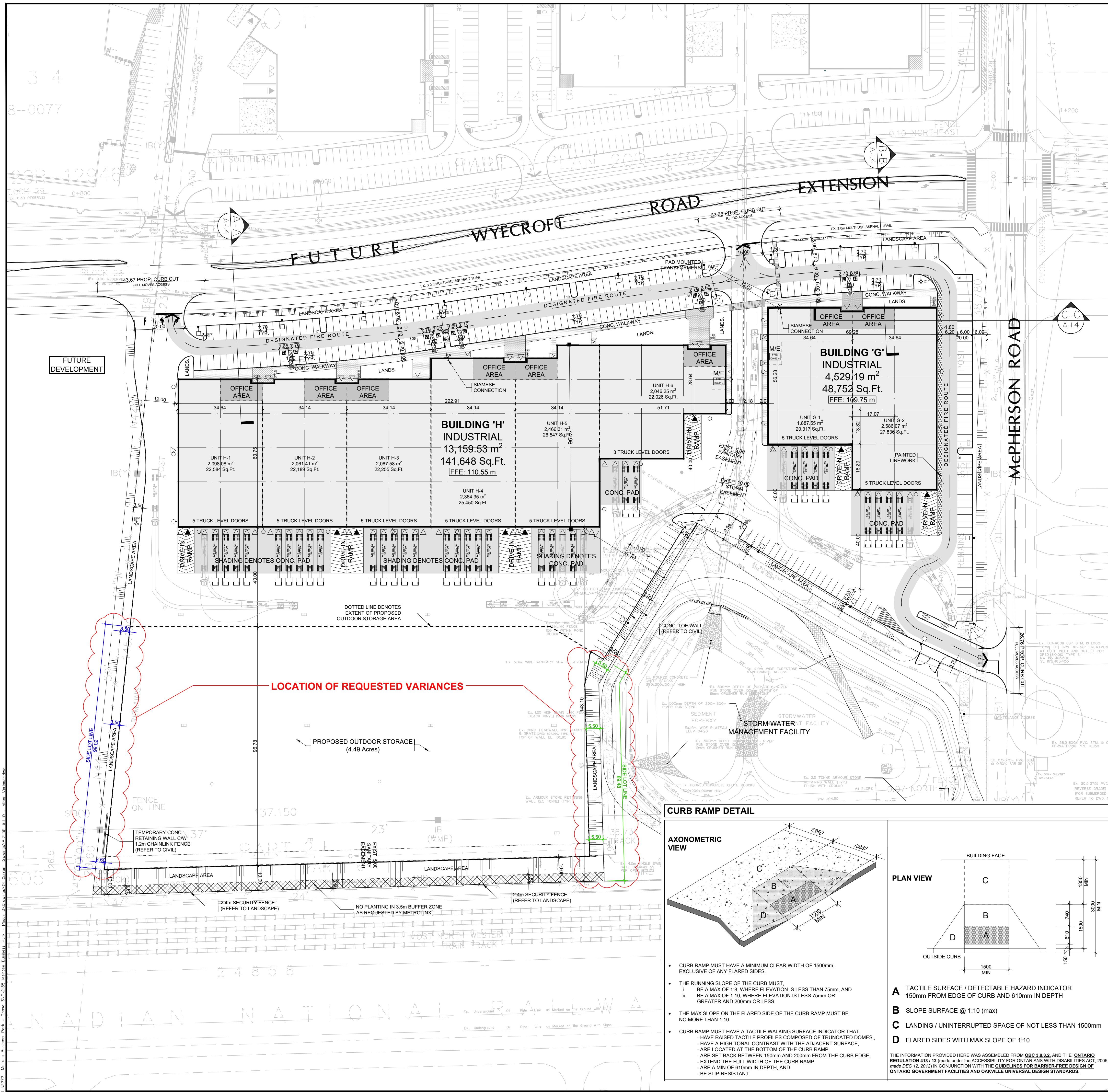
CAUTION

- A) THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED EXCEPT FOR THE PURPOSE IN THE TITLE BLOCK.
- B) THIS SKETCH IS PROTECTED BY COPYRIGHT ©.



NOTES
 THE SOURCE OF THE DIMENSIONS AND INFORMATION ARE COMPILED FROM AVAILABLE REGISTRY OFFICE RECORDS.
 GEOGRAPHIC LOCATION:
 PART OF BLOCK 5, PLAN 20M-1005 AND PART OF LOT 33, CONCESSION 3, TOWN OF OAKVILLE, REGIONAL MUNICIPALITY OF HALTON

rpe R-PE SURVEYING LTD.
 ONTARIO LAND SURVEYORS
 643 Chrislea Road, Suite 7
 Woodbridge, Ontario L4L 8A3
 Tel.(416)635-5000 Fax (416)635-5001
 Tel.(905)264-0881 Fax (905)264-2099
 Website: www.r-pe.ca
 DRAWN: T.C.
 JOB No. 22-041 CAD FILE No.22041-Sketch-2



LEGAL DESCRIPTION
 COMPILED PLAN OF
 PART OF LOT 33, CONCESSION 3,
 SOUTH OF DUNDAS STREET,
 TOWN OF OAKVILLE,
 REGIONAL MUNICIPALITY OF HALTON

PROJECT NORTH

TRUE NORTH

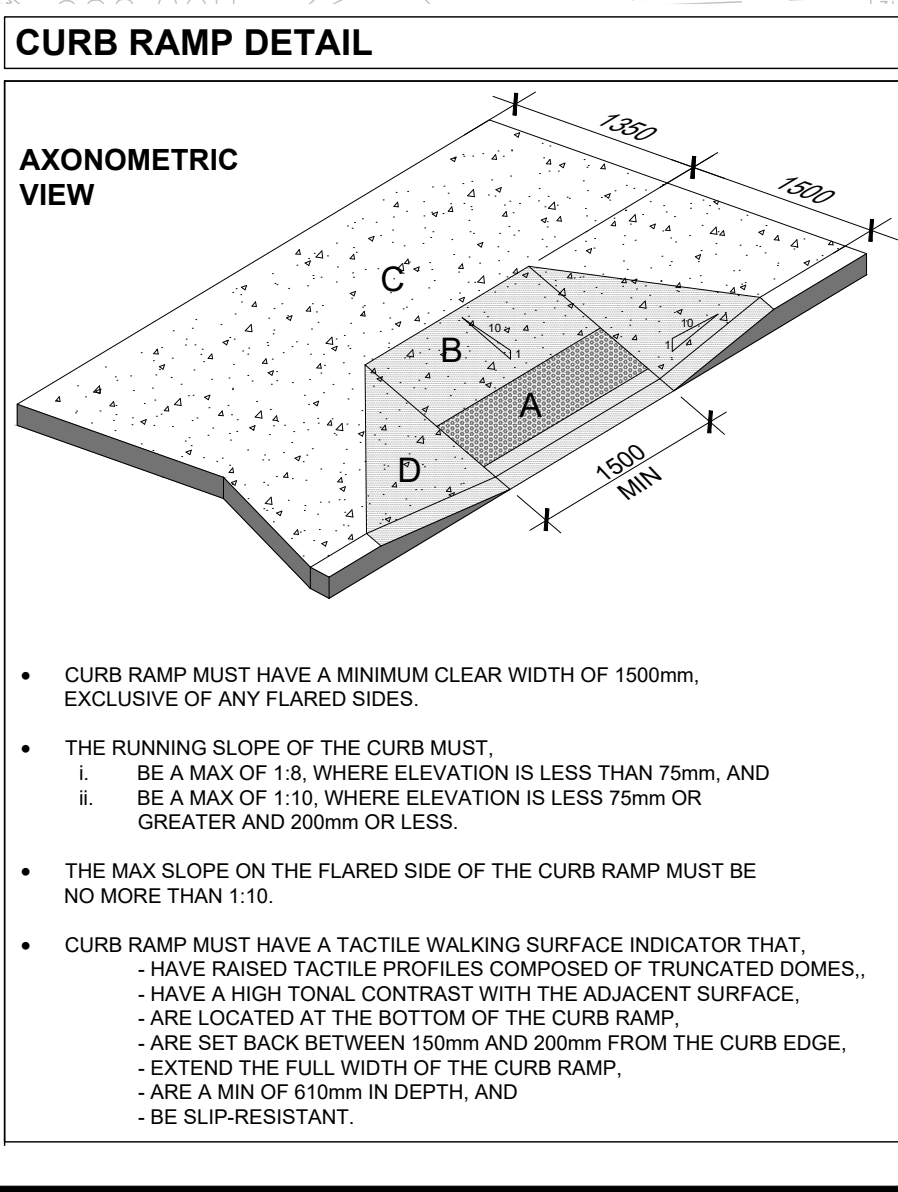
SITE STATISTICS

SITE AREA	69,340.81 m ² or 17.13 acres	
ZONING	E2 / E3 - BUSINESS EMPLOYMENT	
SETBACKS	FRONT YARD (NORTH) FUTURE WYECROFT ROAD EXTENSION	3.0 m 26.00 m
	REAR YARD (SOUTH)	7.0 m 48.00 m
	EXTERIOR SIDE YARD (WEST)	3.0 m 12.00 m
	INTERIOR SIDE YARD (EAST)	3.0 m 20.00 m
	G.F.A.	BUILDING 'G'
	BUILDING 'H'	13,159.53 m ² or 141,648 sq.ft.
	TOTAL	17,688.72 m ² or 190,400 sq.ft.
SITE COVERAGE	17,688.72 m ² or 25.51%	
LANDSCAPED AREA	7,758.89 m ² or 11.19%	
PAVED AREA	43,893.20 m ² or 63.30%	
	REQUIRED	PROVIDED
BUILDING HEIGHT (MAXIMUM)	30.0 m	9.75 m
INDUSTRIAL REQUIREMENTS	1 Space / 100m ² @ 7,500.00m ² = 75 Spaces	126 spaces
	1 Space / 200m ² @ 10,188.72m ² = 51 Spaces	287 spaces
ACCESSIBLE PARKING (TYPE A AND B)	8 spaces	10 spaces
	2% OF TOTAL PLUS 2	
LOADING SPACES	-	38 spaces
DRIVE-IN DOORS	-	8 doors
BICYCLE SPACES	7 spaces	10 spaces
	2 + 0.25 spaces / 1,000m ²	
SNOW STORAGE AREA	TO BE REMOVED OFF-SITE	

- GENERAL NOTES**
- GAS METERS SHALL NOT BE LOCATED ON BUILDING FACADES THAT FACE PUBLIC STREETS AND SHALL BE LOCATED DISCREETLY, AWAY FROM PEDESTRIAN TRAVEL ROUTES AND SCREENED FROM PUBLIC VIEW.
 - GAS PIPES SERVICING ROOF TOP MECHANICAL EQUIPMENT SHALL NOT BE VISIBLE TO ANY PUBLIC VIEW AND SHALL BE INSTALLED WITHIN THE WALL CONSTRUCTION.
 - SNOW TO BE REMOVED OFF-SITE BY PRIVATE CONTRACTOR.
 - REFUSE GARBAGE TO BE STORED INTERNALLY AND REMOVED OFF-SITE BY PRIVATE CONTRACTOR.
 - ROOF TOP UNITS (RTUs) TO BE SCREENED FROM PUBLIC VIEW.

SYMBOL LEGEND

	MAN DOOR
	LOADING DOCK DOOR
	DRIVE-IN / OVERHEAD DOOR
	HYDRANT + VALVE
	FIRE DEPARTMENT CONNECTION / SIAMESE
	HYDRO TRANSFORMER
	ACCESSIBLE PARKING SPACE
	ACCESSIBLE PARKING SPACE SIGNAGE
	WALL MOUNTED LIGHT (SEE ELECTR. DWGS.)
	POLE MOUNTED LIGHT (SEE ELECTR. DWGS.)
	HYDRO POLE STANDARD / UTILITY POLE
	BIKE RACK (2 SPACES)



No.	ISSUED	DATE
1	ISSUED FOR CONSULTANT COORDINATION	NOV. 19, 2021
2	RE-ISSUED FOR CONSULTANT COORDINATION	FEB. 17, 2022
3	RE-ISSUED FOR CONSULTANT COORDINATION	MAR. 29, 2022
4	RE-ISSUED FOR CONSULTANT COORDINATION	APR. 18, 2022
5	ISSUED FOR SPA	APR. 29, 2022
6	RE-ISSUED FOR CONSULTANT COORDINATION	AUG. 25, 2022
7	RE-ISSUED FOR SPA	AUG. 31, 2022
8	RE-ISSUED FOR SPA	MAR. 4, 2024
9	ISSUED FOR MINOR VARIANCE	MAR. 6, 2024

11	REVISED AS NOTED	MAR. 6, 2024
10	REVISED AS NOTED	AUG. 11, 2023
9	REVISED AS NOTED	AUG. 2, 2023
8	REVISED PER MUNICIPAL COMMENTS	DEC. 21, 2022
7	REVISED AS NOTED	AUG. 25, 2022
6	REVISED AS NOTED	AUG. 12, 2022
5	REVISED AS NOTED	APR. 26, 2022
4	REVISED AS NOTED	APR. 6, 2022
3	REVISED AS NOTED	FEB. 15, 2022
2	REVISED AS NOTED	DEC. 14, 2021
1	REVISED PER SURVEY	DEC. 09, 2021
No.	REVISION	DATE

BALDASSARRA
 Architects Inc.

30 Great Gulf Drive, Unit 20 | Concord ON | L4K 0K7
 T. 905.660.0722 | www.baldassarra.ca

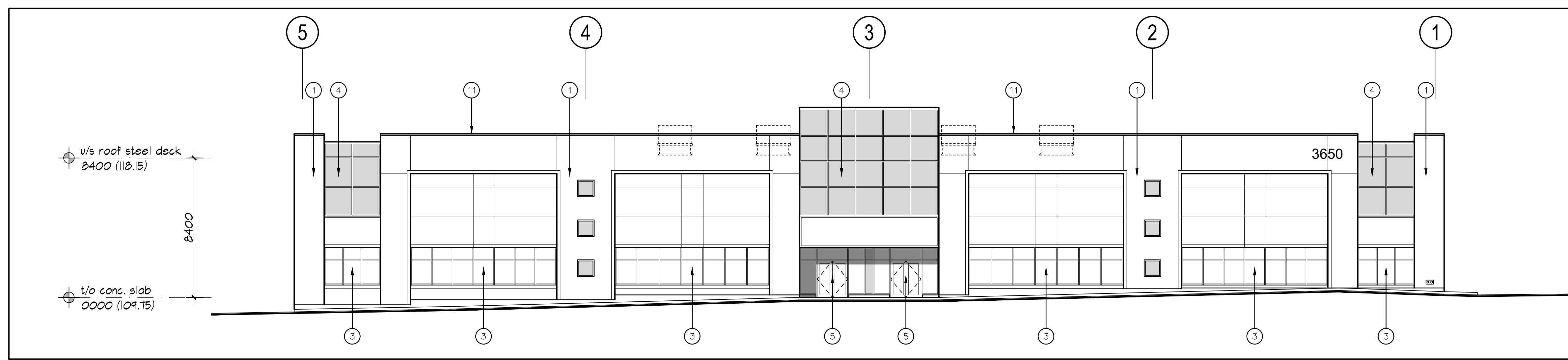
OWNERS INFORMATION:

DATE:	DRAWN BY:	CHECKED:	SCALE:
NOV. 2021	CI		1:750
PROJECT NO.	DRAWING NO.		
P-21155	A-1.0		

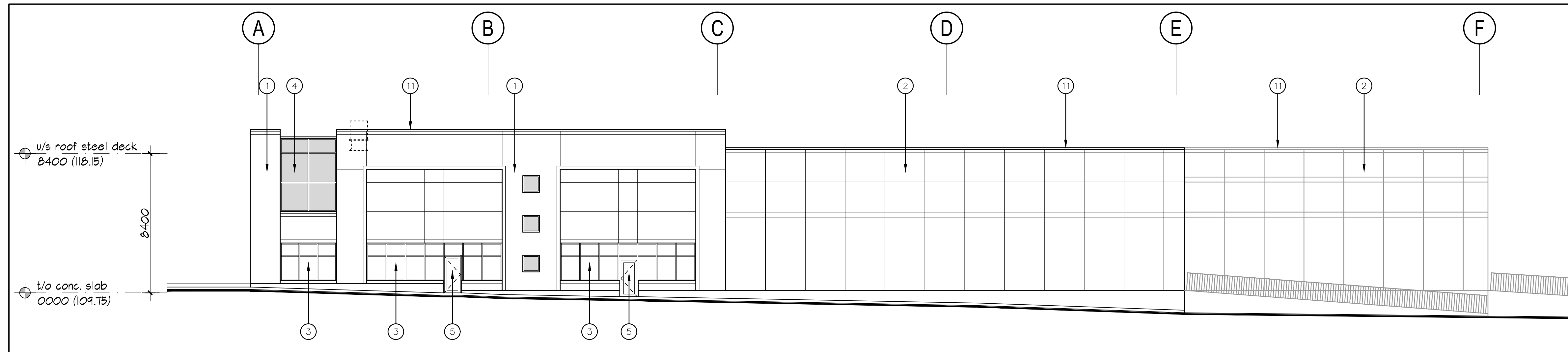
Melrose Business Park Phase III

Address T.B.D.
 Oakville, ON

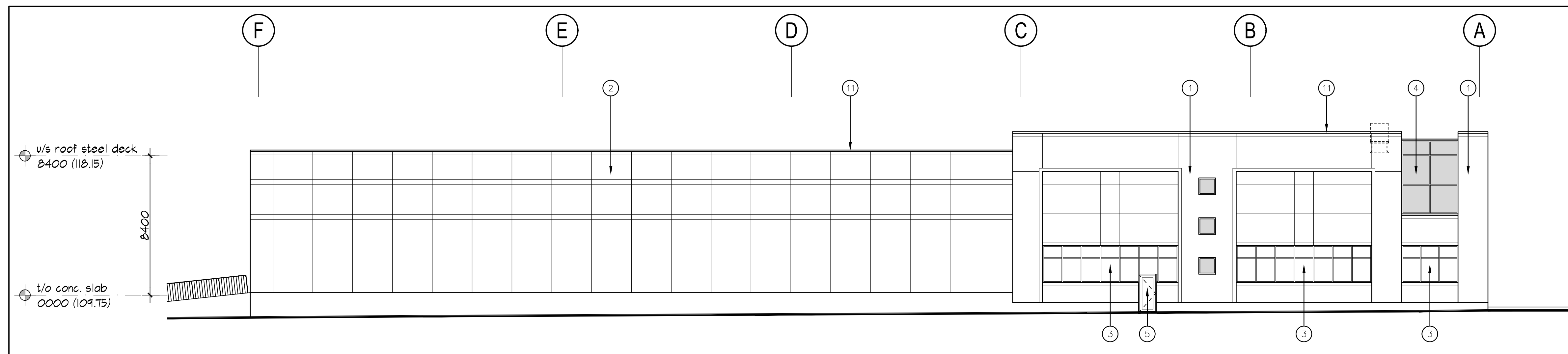
SITE PLAN



1 WEST ELEVATION
A-3.0 1:150



2 SOUTH ELEVATION
A-3.0 1:150



3 NORTH ELEVATION
A-3.0 1:150

- 1 ARCHITECTURAL PRECAST W/ SMOOTH WHITE AND EXPOSED WHITE AGGREGATE FINISH TO MATCH 3260, 3270 & 3280 SOUTH SERVICE RD.
- 2 INSULATED PRECASTE CONCRETE PANEL W/ WHITE CALCITE AGGREGATE FINISH TO MATCH 3260, 3270 & 3280 SOUTH SERVICE RD.
- 3 TINTED DOUBLE GLAZING IN PREFIN. ALUM. CURTAIN WALL FRAMES TO MATCH 3260, 3270 & 3280 SOUTH SERVICE RD.
- 4 SPANDREL GLAZING IN PREFIN. ALUM. CURTAIN WALL FRAMES. COLOUR OF SPANDREL AND FRAMES TO MATCH 3260, 3270 & 3280 SOUTH SERVICE RD.
- 5 CLEAR TEMPERED GLASS AND ALUMINUM ENTRANCE DOORS. COLOUR OF ALUMINUM TO MATCH 3260, 3270 & 3280 SOUTH SERVICE RD.
- 6 PREFIN. OVERHEAD DRIVE-IN DOOR W/ 2 VISION PANELS TO MATCH 3260, 3270 & 3280 SOUTH SERVICE RD.
- 7 PREFIN. OVERHEAD LOADING DOCK DOOR W/ 1 VISION PANEL, DOCK SEAL, DOCK LEVELLER & DOCK BUMPERS TO MATCH 3260, 3270 & 3280 SOUTH SERVICE RD.
- 8 INSULATED HOLLOW METAL MAN DOOR IN PRESSED STEEL FRAME. COLOUR TO MATCH ADJACENT PRECAST.
- 9 RESERVED
- 10 GALVANIZED PIPE BOLLARD FILLED W/ CONCRETE.
- 11 PREFIN. METAL COPING. COLOUR TO MATCH 3260, 3270 & 3280 SOUTH SERVICE RD.

P:\P-21155_Melrose Business Park - Phase 3\Drawings\A-3.0 Elevations\A-3.0 G.dwg

No.	ISSUED	DATE
1	ISSUED FOR SPA	APR. 29, 2022
2	RE-ISSUED FOR SPA	AUG. 31, 2022

No.	REVISION	DATE
1	REVISED AS NOTED	AUG. 31, 2022

BALDASSARRA
Architects Inc.

30 Great Gulf Drive, Unit 20 | Concord ON | L4K 0K7
T. 905.660.0722 | www.baldassarra.ca

OWNERS INFORMATION:

**Melrose Business
Park Phase III**

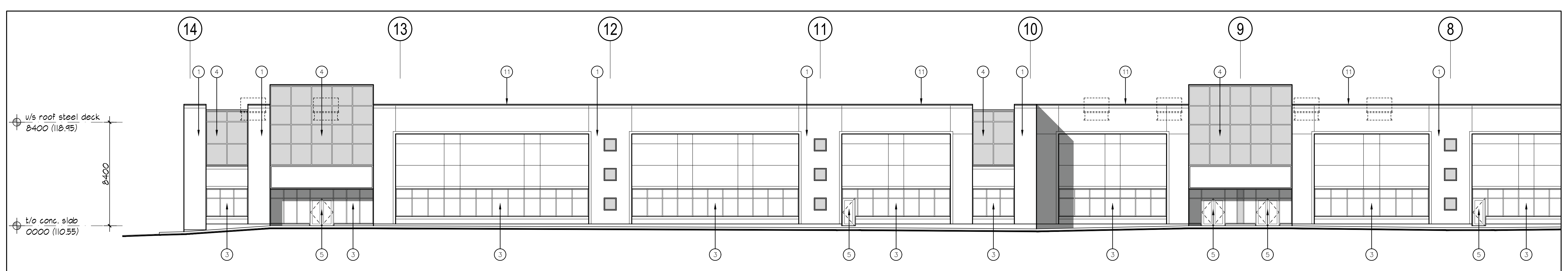
Address T.B.D.
Oakville, ON

**ELEVATIONS
BUILDING 'G'**

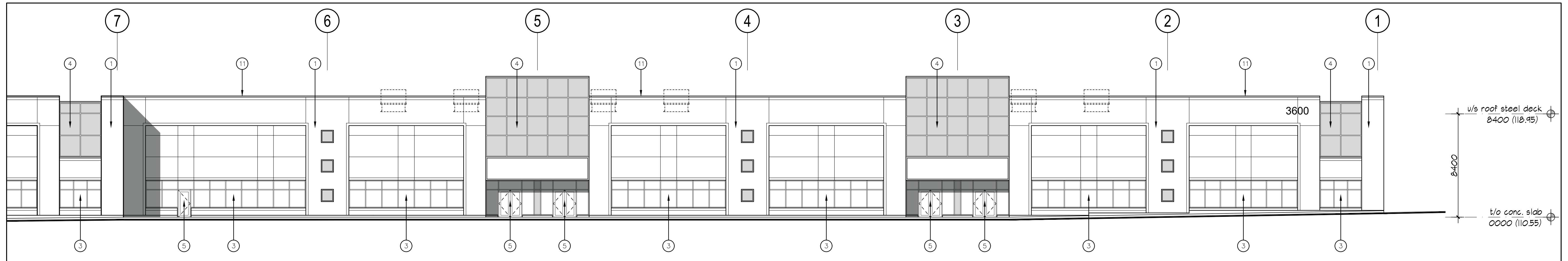
DATE:	DRAWN BY:	CHECKED:	SCALE:
APR. 2022	CI		AS NOTED

PROJECT No. P-21155

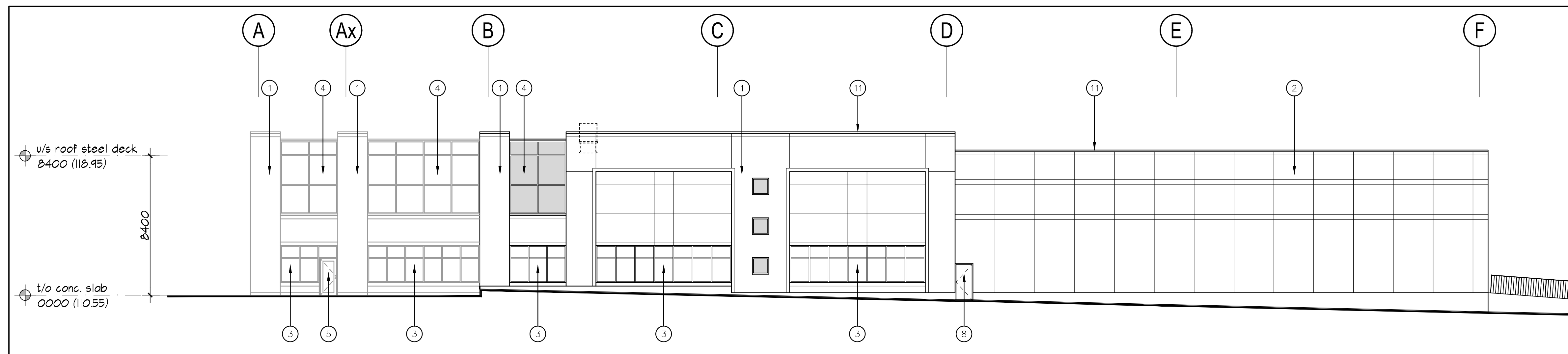
DRAWING No. A-3.0 G



1 PARTIAL WEST ELEVATION
A-3.0 1:150



2 PARTIAL WEST ELEVATION
A-3.0 1:150



3 SOUTH ELEVATION
A-3.0 1:150

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No.	ISSUED	DATE
1	ISSUED FOR SPA	APR. 29, 2022
2	RE-ISSUED FOR SPA	AUG. 31, 2022

No.	REVISION	DATE
1	REVISED AS NOTED	AUG. 31, 2022

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Architects Inc.

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T. 905.660.0722 | www.baldassarra.ca

OWNERS INFORMATION:

**Melrose Business
Park Phase III**

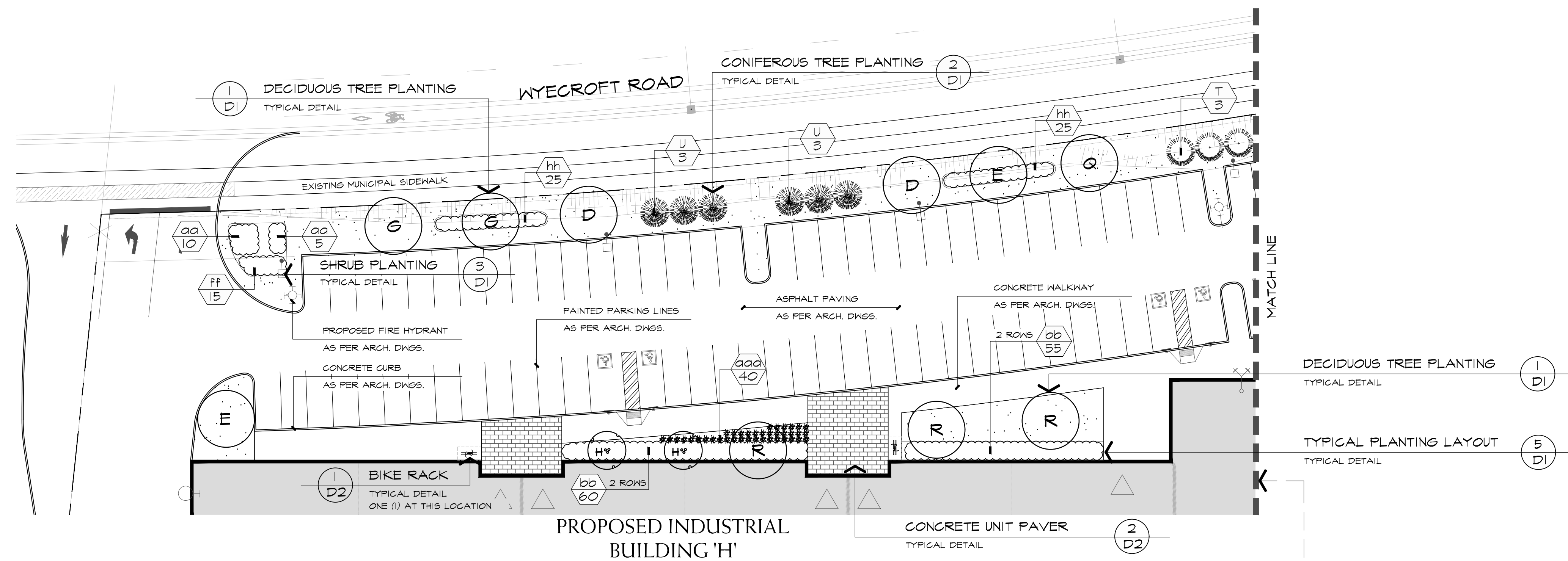
Address T.B.D.
Oakville, ON

**ELEVATIONS
BUILDING 'H'**

DATE:	DRAWN BY:	CHECKED:	SCALE:
APR. 2022	CI		AS NOTED

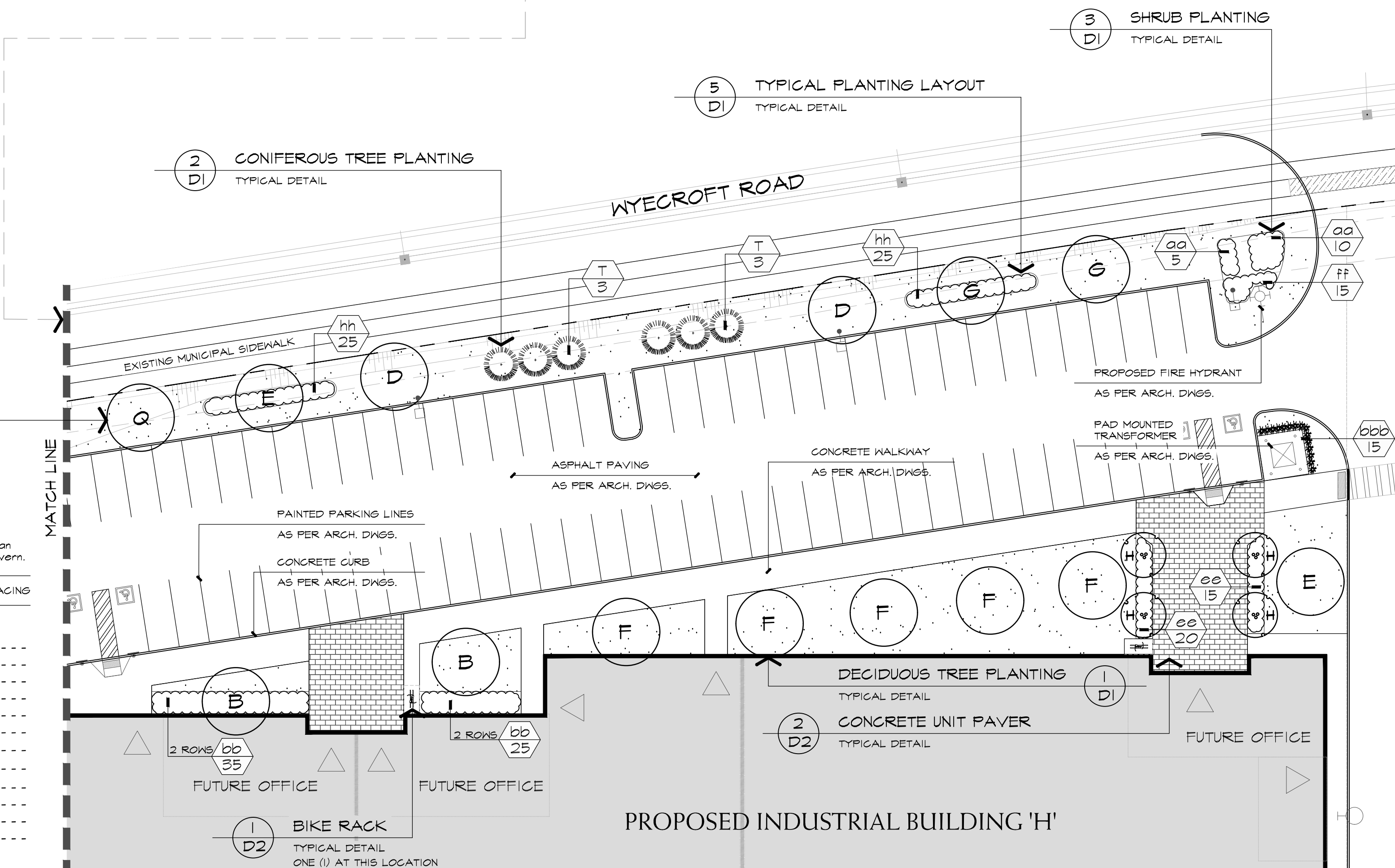
PROJECT No. P-21155

DRAWING No. A-3.0 H



DECIDUOUS TREE PLANTING
TYPICAL DETAIL (1 D1)

TYPICAL PLANTING LAYOUT
TYPICAL DETAIL (5 D1)



MATCH LINE (SEE SHEET L-2)

MASTER PLANT LIST

PROJECT NAME:
MELROSE BUSINESS PARK-(ABAL 3553)

In the event of a discrepancy between the planting plan and the plant list quantities, the planting plan shall govern.

KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	SPREAD	ROOT	REMARKS	SPACING
DECIDUOUS TREES									
A	2	ACER RUBRUM 'RED SUNSET'	RED SUNSET MAPLE	60mm	3500mm	1500mm	S.B.	EQUAL FORM	----
B	2	ACER X FREEMANII 'JEFFERSRED'	AUTUMN BLAZE MAPLE	60mm	3500mm	1500mm	S.B.	EQUAL FORM	----
D	4	FAGUS SYLVATICA 'DAWKYCK GREEN'	DAWKYCK GREEN BEECH	60mm	3500mm	1200mm	S.B.	EQUAL FORM	----
E	5	GLEDITSIA TRIACANTHOS 'SHADEMASTER'	SHADEMASTER HONEY-LOCUST	60mm	3500mm	1500mm	S.B.	EQUAL FORM	----
F	9	ULMUS AMERICANA 'FRONTIER'	FRONTIER ELM	60mm	3500mm	1500mm	S.B.	EQUAL FORM	----
G	8	PLATANUS OCCIDENTALIS	AMERICAN SYCAMORE	60mm	3500mm	1500mm	S.B.	EQUAL FORM	----
M	8	QUERCUS RUBRA	RED OAK	60mm	3500mm	1500mm	S.B.	EQUAL FORM	----
N	6	TILIA AMERICANA	BASSWOOD	60mm	3000mm	1500mm	S.B.	EQUAL FORM	----
P	3	ACER SACCHARUM	SUGAR MAPLE	60mm	3500mm	1500mm	S.B.	EQUAL FORM	----
Q	8	GINKGO BILOBA	MAIDENHAIR TREE	60mm	3500mm	1500mm	S.B.	EQUAL FORM	----
R	7	CELTIS OCCIDENTALIS	COMMON HACKBERRY	60mm	3500mm	1200mm	S.B.	EQUAL FORM	----
S	8	LIRIODENDRON TULIPIFERA	TULIP TREE	60mm	3500mm	1500mm	S.B.	EQUAL FORM	----
ORNAMENTAL TREE									
H	6	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	50mm	2500mm	1200mm	S.B.	MULTI-STEM	----
CONIFEROUS TREES									
J	4	PICEA GLAUCA	WHITE SPRUCE	----	2000mm	1000mm	S.B.	SPECIMEN	----
K	3	PICEA PENSILVANA 'GLAUCA'	BLUE COLORADO SPRUCE	----	2000mm	1000mm	S.B.	SPECIMEN	----
T	9	PINUS STROBUS	EASTERN WHITE PINE	----	2000mm	1000mm	S.B.	SPECIMEN	----
U	6	THUJA OCCIDENTALIS	WHITE CEDAR	----	2000mm	1000mm	S.B.	SPECIMEN	----
CONIFEROUS SHRUBS									
aa	50	JUNIPERUS CHINENSIS 'MINT JULEP'	MINT JULEP JUNIPER	----	----	500mm	POTTED	MIN. 15 CANDLES	800mm
bb	270	TAXUS MEDIA 'DENSIFORMIS'	DENSE YEW	----	----	600mm	POTTED	MIN. 15 CANDLES	800mm
DECIDUOUS SHRUBS									
dd	105	CORNUS SERICEA 'KELSEY'	KELSEY RED OSIER DOGWOOD	----	800mm	----	POTTED	MIN. 10 STEMS	750mm
ee	35	PHYTOCARPUS OPULIFOLIUS 'DIABLO'	DIABLO NINEBARK	----	600mm	----	3 gal. POT	MIN. 10 STEMS	650mm
ff	30	HYDRANGEA PANICULATA 'PEEVEE'	PEEVEE HYDRANGEA	----	600mm	----	POTTED	MIN. 10 STEMS	650mm
hh	250	ROSA RUGOSA	RED RUGOSA ROSE	----	600mm	----	POTTED	MIN. 10 STEMS	650mm
PERENNIALS, GROUND COVERS AND GRASSES									
aaa	75	HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	----	800mm	----	1 gal. POT	MIN. 2 YRS. 6TH.	400mm
bbb	30	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	----	800mm	----	1 gal. POT	MIN. 2 YRS. 6TH.	500mm

LEGEND

- PROPOSED DECIDUOUS TREES
- PROPOSED CONIFEROUS TREES
- PROPOSED SHRUBS
- PROPOSED GRASSES
- BIKE RACK
- SODDED AREA
- CONCRETE UNIT PAVEMENT

BASE INFORMATION OBTAINED ELECTRONICALLY FROM
BALDASSARRA ARCHITECT INC. (JOB NO. P-21155; TEL. 905.660.0722)

no.	date	version	by
2.	SEP 1 2022	ISSUED FOR S.P.A.	SO/LB
1.	APR 19 2022	ISSUED FOR S.P.A.	SO/LB

All information hereon to be checked and verified at the site and any discrepancies must be reported to and clarified by the landscape architect before commencing work. All drawings, specifications, details, digital information, etc., prepared by the landscape architect are instruments of service and as such are his property and must be returned at his request.

ALEXANDER BUDREVICS
ARCHITECTS
LANDSCAPE ARCHITECTS

886 Don Mills Road, Second Tower, Suite 212
Toronto, Ontario, Canada, M3C 1W3

416.444.5201
416.444.5208

www.budrevics.com

project
MELROSE BUSINESS PARK - PH3
OAKVILLE, ONTARIO

BALDASSARRA ARCHITECTS INC.

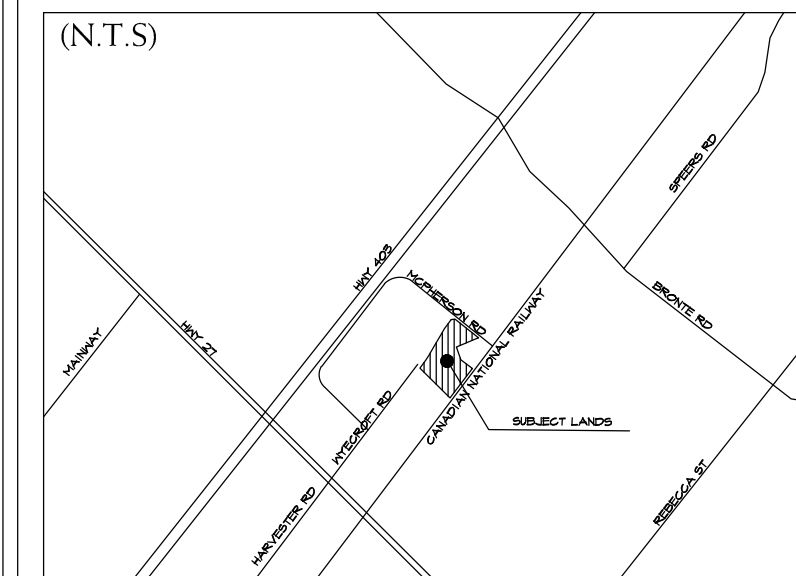
drawing

LANDSCAPE PLAN

date	FEBRUARY 28, 2022	drawn	LB
scale	1:300	file	3553 L1 V2-220901
direction		project no.	3553
		sheet no.	L-1

*NOTED SCALE IS APPLICABLE ONLY WHEN PRINTED ON ARCH D (34"x36") SIZE SHEET

KEY PLAN

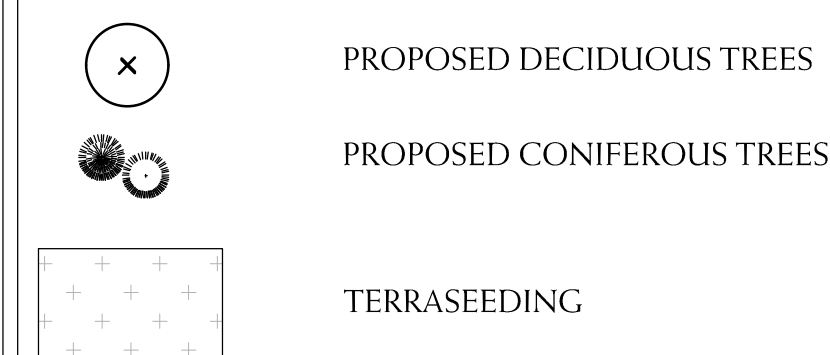


REFERENCE PLANT LIST

KEY	COMMON NAME
DECIDUOUS TREES	
A	RED SUNSET MAPLE
B	AUTUMN BLAZE MAPLE
D	DANYCK GREEN BEECH
E	SHADEMASTER HONEY-LOCUST
F	FRONTIER ELM
G	AMERICAN SYCAMORE
M	RED OAK
N	BASSWOOD
P	SUGAR MAPLE
Q	MAIDENHAIR TREE
R	COMMON HACKBERRY
S	TULIP TREE
ORNAMENTAL TREE	
H	AUTUMN BRILLIANCE SERVICEBERRY
CONIFEROUS TREES	
J	WHITE SPRUCE
K	BLUE COLORADO SPRUCE
T	EASTERN WHITE PINE
U	WHITE CEDAR
CONIFEROUS SHRUBS	
aa	MINT JULEP JUNIPER
bb	DENSE YEW
DECIDUOUS SHRUBS	
dd	KELSEY RED OSIER DOGWOOD
ee	DIABLO NINEBARK
ff	PEEHEE HYDRANGEA
hh	RED RUGOSA ROSE
PERENNIALS, GROUND COVERS AND GRASSES	
ooo	BLUE OAT GRASS
bbb	KARL FOERSTER FEATHER REED GRASS

*SEE SHEET L-1 FOR MASTER PLANT LIST

LEGEND



BASE INFORMATION OBTAINED ELECTRONICALLY FROM BALDASSARRA ARCHITECT INC. (JOB NO. P-21155; TEL. 905.660.0722)

no.	date	version	by
2.	SEP 1 2022	ISSUED FOR S.P.A.	SO/LB
1.	APR 19 2022	ISSUED FOR S.P.A.	SO/LB

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 LANDSCAPE ARCHITECTS
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 Toronto, Ontario, Canada, M3C 1W3
 416.444.5201
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project
MELROSE BUSINESS PARK - PH3
 OAKVILLE, ONTARIO

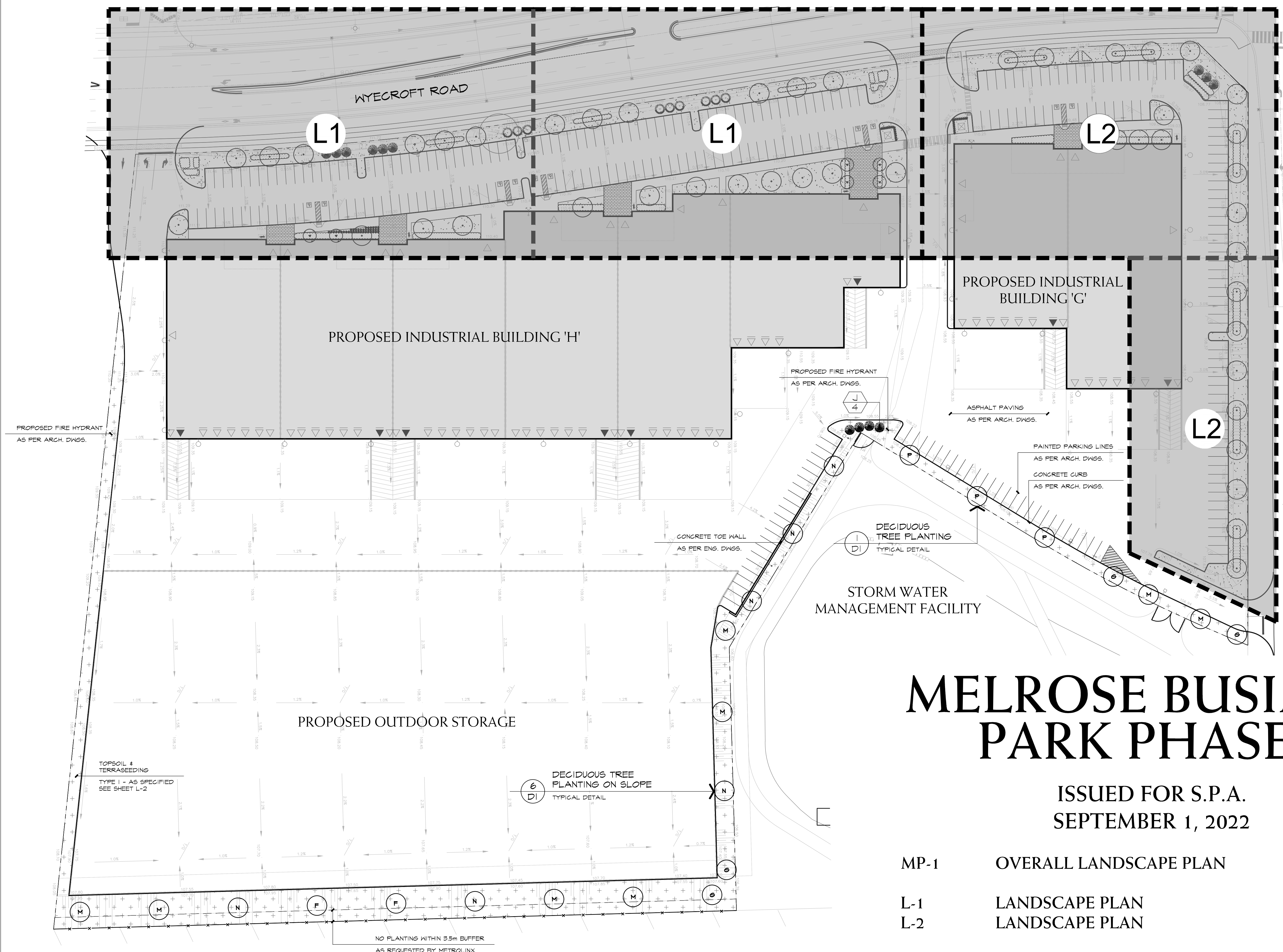
BALDASSARRA ARCHITECTS INC.

drawing
OVERALL LANDSCAPE PLAN

date	FEBRUARY 28, 2022	drawn	LB
scale*	1:750	file	3553 MP1 V2-220901

direction		project no.	3553
		sheet no.	MP-1

*NOTED SCALE IS APPLICABLE ONLY WHEN PRINTED ON ARCH D (34"x36") SIZE SHEET



MELROSE BUSINESS PARK PHASE 3

ISSUED FOR S.P.A.
 SEPTEMBER 1, 2022

- MP-1 OVERALL LANDSCAPE PLAN
- L-1 LANDSCAPE PLAN
- L-2 LANDSCAPE PLAN
- C-0 OVERALL CANOPY COVER PLAN
- C-1 CANOPY COVER PLAN
- C-2 CANOPY COVER PLAN
- D-1 LANDSCAPE DETAILS & SPECIFICATIONS
- D-2 SITE FURNISHINGS & HARDSCAPE DETAILS

DAVID FAYE & Associates Inc.

Land
Management
Group

April 25, 2024

Town of Oakville
Committee of Adjustment
1225 Trafalgar Road
Oakville, Ontario
L6H 0H3

Attention: Heather McCrae

**RE: Application for Minor Variance
3286 South Service road West, Oakville**

Dear Ms. McCrae:

On behalf of Melrose Investments Inc. ("Melrose"), we are submitting a signed Application for Minor Variance for Melrose Business Park Phase 3. The application requests 2 minor variances to address the minimum interior side lot line landscaping width specified in Table 4.11.2(7) of Zoning By-law 2014-014.

In support of the application, also included are PDF copies of

- Site Plan Drawing A-1.0, Rev 11, March 6, 2024 prepared by Baldassarra Architects Inc.
- Survey Sketch for COA Application dated March 21, 2024.
- Various (Landscaping, Floor plans and Elevations).

We trust this is satisfactory and await your confirmation of the required application fee.

Yours truly,
David Faye & Associates Inc.



David Faye, MCIP, RPP

Encl.

cc. Davide Baldassarra
Gaetano Spiniello
Matthew Baldassarra
Russell Cheeseman