

SURVEYOR'S REAL PROPERTY REPORT - PART 1
 PLAN OF
LOT 6
REGISTERED PLAN 1059
TOWN of OAKVILLE
 Regional Municipality of Halton
 SCALE 1 : 150
 AVANTI SURVEYING INC.
 © COPYRIGHT 2023

METRIC
 DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

BEARING NOTE
 BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE SOUTH EASTERLY LIMIT OF SALVATOR BOULEVARD, HAVING A BEARING OF N46°47'00"E ACCORDING TO REGISTERED PLAN 1059.

ELEVATION NOTE
 ELEVATIONS ARE GEODETIC AND ARE REFERRED TO THE TOWN OF OAKVILLE BENCHMARK NO. 36 HAVING A PUBLISHED ELEVATION OF 90.28 METRES.

LEGEND

- DENOTES SURVEY MONUMENT SET
- SURVEY MONUMENT FOUND
- RP REGISTERED PLAN 1059
- PL PLAN 20R-7210
- N,S,E,W NORTH,SOUTH,EAST,WEST
- M MEASURED
- SIB STANDARD IRON BAR
- IP IRON PIPE
- IB IRON BAR
- OU ORIGIN UNKNOWN
- P.I.N. PROPERTY IDENTIFIER NUMBER
- OVERHEAD WIRES
- UP UTILITY POLE
- CLF CHAIN LINK FENCE
- BF BOARD FENCE
- SRW STONE RETAINING WALL
- CHW CONCRETE HEAD WALL
- CB CATCH BASIN
- MH MANHOLE
- TC TOP OF CURB
- BC BOTTOM OF CURB
- DSE DOORSILL ELEVATION
- TRE TREE
- DT DECIDUOUS TREE
- CT CONFEROUS TREE
- Ø DIAMETER
- LS LIGHT STANDARD
- HM HYDRO METER
- GM GAS METER
- AC AIR CONDITIONER
- (763) MCCONNELL MAUGHAN LTD., O.L.S.
- (950) CUNNINGHAM MCCONNELL LIMITED, O.L.S.
- CM PLAN BY CUNNINGHAM MCCONNELL LIMITED, O.L.S.
- DATED MAY 31, 2016
- PLAN BY KENNETH H. MCCONNELL, O.L.S.
- DATED JULY 25, 1961
- PLAN BY KENNETH H. MCCONNELL, O.L.S.
- DATED APRIL 5, 1961

ASSOCIATION OF ONTARIO
 LAND SURVEYORS
 PLAN SUBMISSION FORM
V-63819

THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR in accordance with Regulation 1026, Section 29(3).

SURVEYOR'S CERTIFICATE

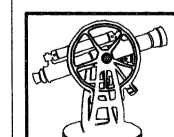
- I CERTIFY THAT:
- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
 - THE SURVEY WAS COMPLETED ON THE 2ND DAY OF NOVEMBER, 2023.

NOVEMBER 8, 2023
 DATE
 CHRIS BERESNEWCZ
 ONTARIO LAND SURVEYOR

THIS PLAN WAS PREPARED FOR MANTEJ KALER & NIMARTA GILL KALER

PART 2 - SURVEY REPORT

- PLEASE NOTE: LOCATION OF FENCES AND OVERHEAD WIRES
- REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY: SUBJECT TO EASEMENTS AS IS INSTRUMENT Nos. 115539, 121840 AND 115745
- THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BY-LAWS

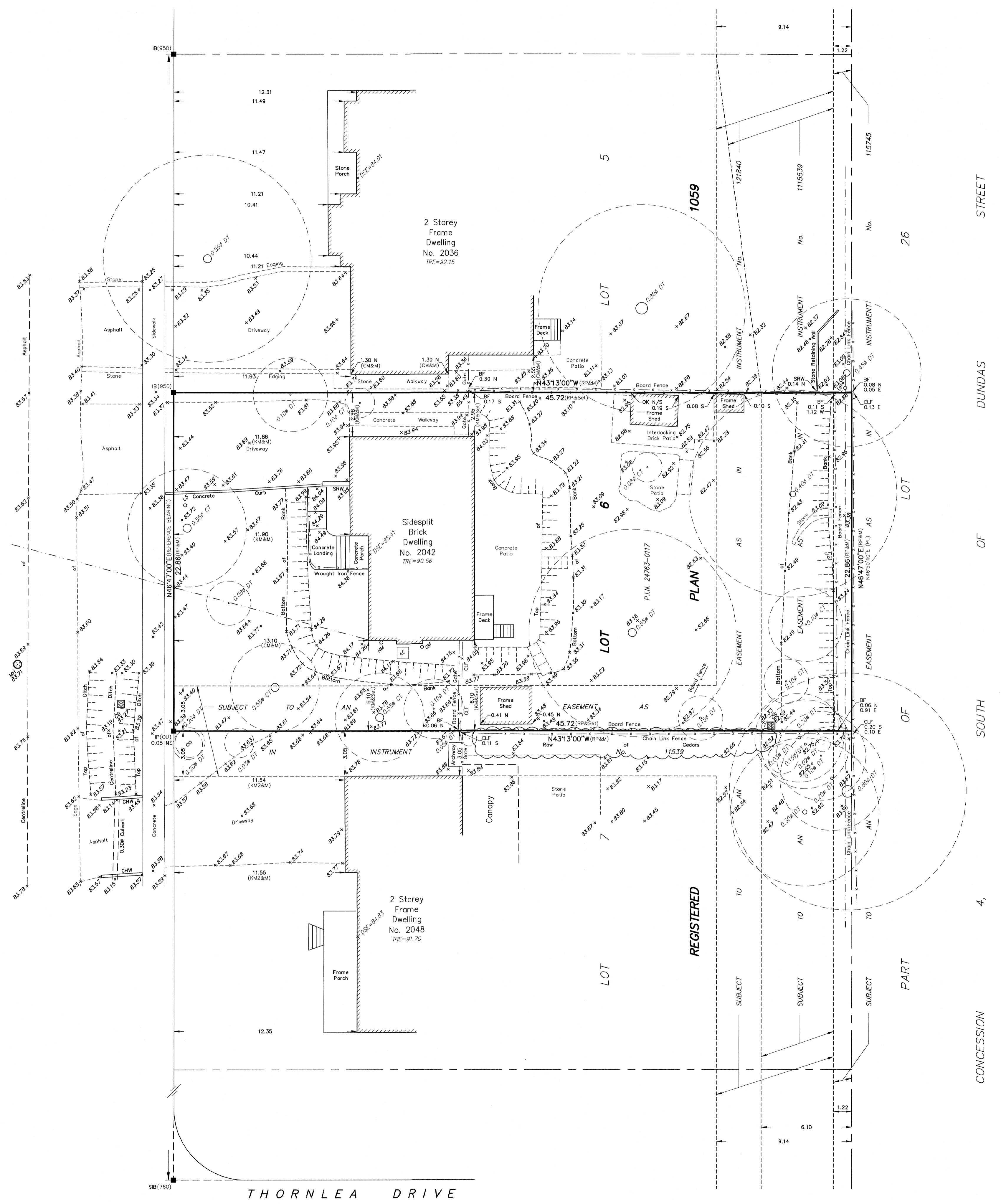


AVANTI SURVEYING INC.

310 North Queen St., Unit 102, Toronto ON M5C 5K4
 Tel: (416) 291-1174 - Fax: (416) 921-3960
 E-MAIL: info@avantisurveying.com

DRAWN: J.G. CHECKED: C.B./J.L. PROJECT 23-265

SALVATOR BOULEVARD
 (By Registered Plan 1059)
 P.I.N. 24763-0112



PART 2, PLAN 20R-7210

P.I.N. 24763-0114

REGISTERED

STREET

DUNDAS

OF

SOUTH

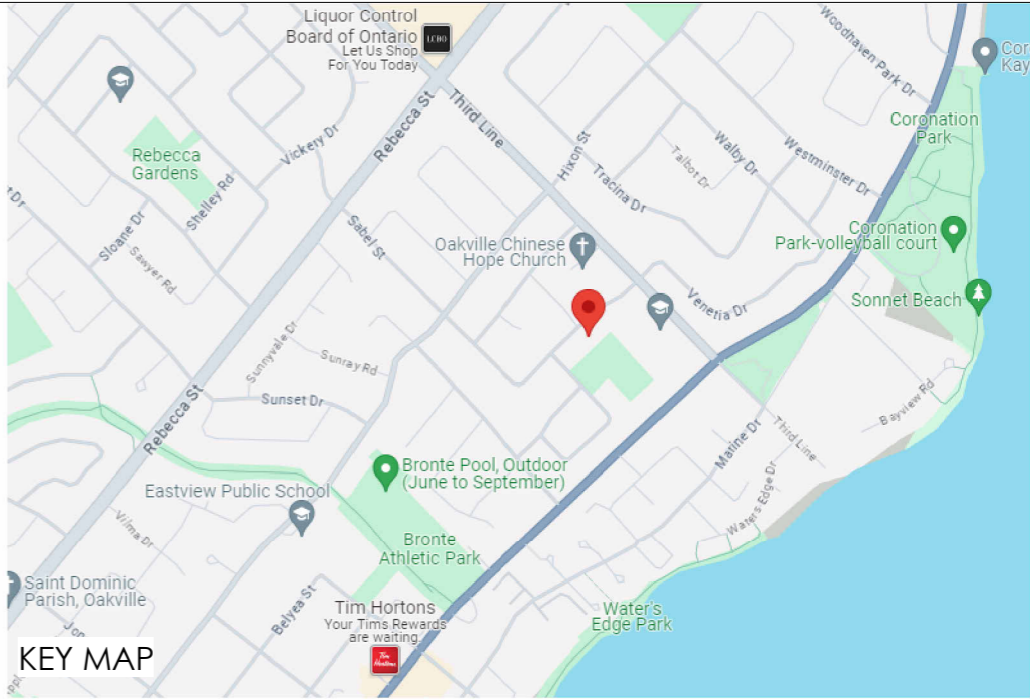
4,

CONCESSION

THORNLEA DRIVE

2042 SALVATOR BLVD.

COMMITTEE OF ADJUSTMENT



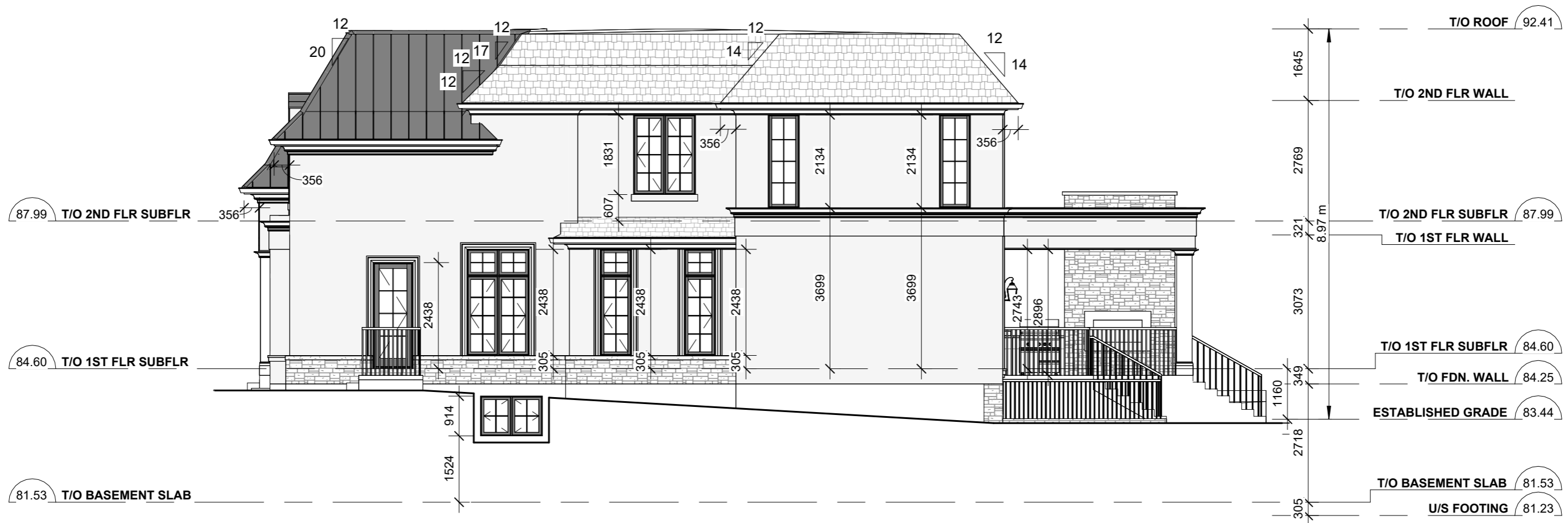
DRAWING LIST - ZONING	
TITLE SHEET	Z01.1
SITE PLAN	Z02.1
BASEMENT PLAN	Z02.2
MAIN FLOOR PLAN	Z02.3
2nd FLOOR PLAN	Z02.4
ROOF PLAN	Z02.5
EAST ELEVATION	Z03.1
NORTH ELEVATION	Z03.2
SOUTH ELEVATION	Z03.3
WEST ELEVATION	Z03.4

TITLE SHEET

Scale: 2024-04-18 3:24:19 PM

CUSTOM 2 STOREY DWELLING
2042 SALVATOR BLVD., OAKVILLE, ON

FINE LINES DESIGN Z01.1



WEST ELEVATION

Scale: 1 : 100

2024-04-18 3:24:28 PM

CUSTOM 2 STOREY DWELLING
2042 SALVATOR BLVD., OAKVILLE, ON

FINE LINES DESIGN

Z03.4



SOUTH ELEVATION

Scale: 1 : 100

2024-04-18 3:24:26 PM

CUSTOM 2 STOREY DWELLING
2042 SALVATOR BLVD., OAKVILLE, ON

FINE LINES DESIGN

Z03.3



NORTH ELEVATION

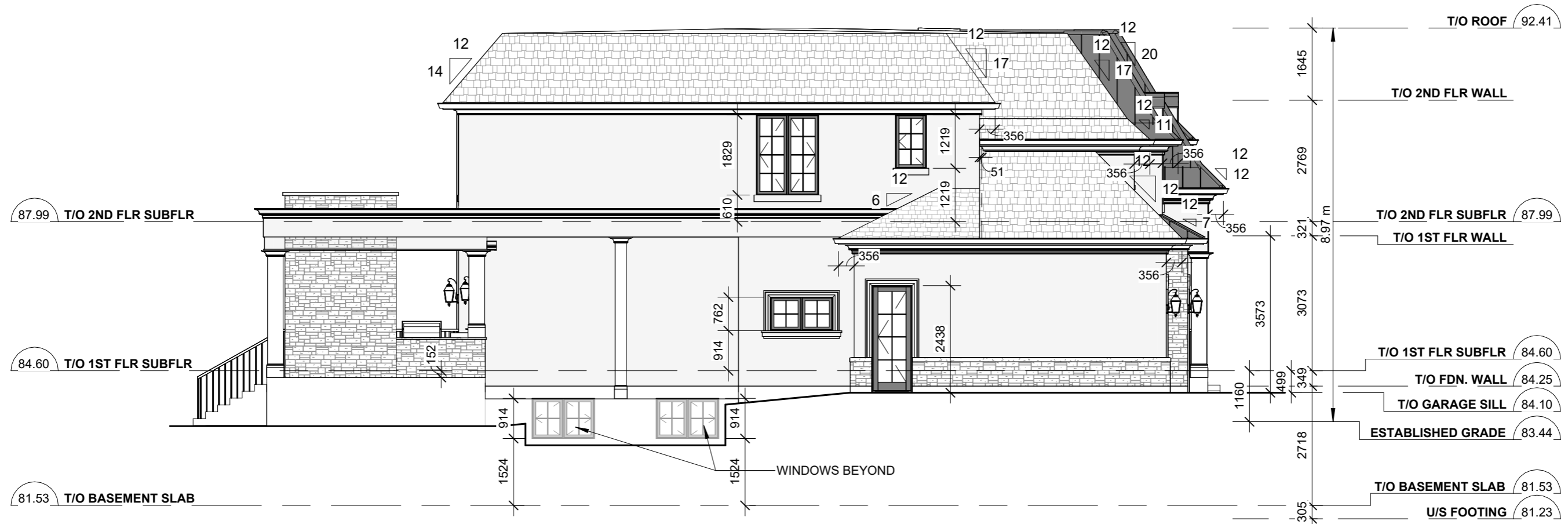
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CUSTOM 2 STOREY DWELLING
 2042 SALVATOR BLVD., OAKVILLE, ON

FINE LINES DESIGN

Z03.2



EAST ELEVATION

Scale: 1 : 100

2024-04-18 3:24:24 PM

CUSTOM 2 STOREY DWELLING
2042 SALVATOR BLVD., OAKVILLE, ON

FINE LINES DESIGN

Z03.1

Re: 2042 Salvator blvd. File: CAV A/056/2024

Dear Sir/Madam,

I am aware that the owners of 2042 Salvator blvd. would like to construct a new 2-Storey dwelling with a rear covered porch.

I/we have no objection(s), and support the application.

Name:

Geeta Mungo

Signature:

G. Mungo

Address:

2022 Salvator Blvd.

Re: 2042 Salvator blvd. File: CAV A/056/2024

Dear Sir/Madam,

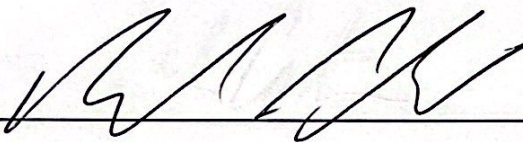
I am aware that the owners of 2042 Salvator blvd. would like to construct a new 2-Storey dwelling with a rear covered porch.

I/we have no objection(s), and support the application.

Name:

NICK MARCHIOZI

Signature:



Address:

2048 SALVATOR. BLVD

Re: 2042 Salvator blvd. File: CAV A/056/2024

Dear Sir/Madam,

I am aware that the owners of 2042 Salvator blvd. would like to construct a new 2-Storey dwelling with a rear covered porch.

I/we have no objection(s), and support the application.

Name:

JOHN CARTER

Signature:



Address:

2036 SALVATOR BLVD



1547 Bloor Street West
Toronto, Ontario M6P 1A5
☎ (416) 923-6630
✉ info@sglplanning.ca

April 19th, 2024

Project: SB.OA

VIA EMAIL – coarequests@oakville.ca

Committee of Adjustment Chair and Members, Town Staff
Town of Oakville
1225 Trafalgar Road
Oakville, ON
L6H 9H3

Re: Minor Variance Application CAV A/056/2024 – 2042 Salvator Blvd

Dear Committee Members and Chair,

SGL Planning & Design has been retained to act as agent and provide a planning opinion for minor variance application CAV A/056/2024 at 2042 Salvator Blvd (the “subject site”). The proposal requires three minor variances from Zoning By-law 2014-014 to permit construction of a new 2-storey single detached dwelling.

The subject site is located in a Low Density Residential land use designation under the Livable Oakville Plan (2009) and is zoned RL2-0 (Residential Low, -0 Suffix). A single detached dwelling is a permitted use.

The subject site has 22.86 metres of frontage on Salvator Blvd and a lot area of 1045.16 square metres. Thornlea Park is located immediately to the rear. The neighbourhood is characterized by a mix of older/original 1- and 2-storey homes and many newer dwellings with a variety of architectural styles ranging from traditional to modern, as shown in **Appendix 1**. 2-storey single detached dwellings are present on both adjacent properties.

This proposal was deferred at the April 3rd, 2024 Committee of Adjustment meeting in order to address comments provided in the staff report, namely:

- The proposed dwelling would not maintain and protect the existing neighbourhood character;
- The increase in floor area and lot coverage being requested contributed to the overall scale and massing impacts of the proposed development;
- Portions of the dwelling presented as overpowering and overly prominent;
- Development Engineering concerns regarding driveway width in the right-of-way and encumbrances in an easement; and

- Concerns regarding the “large open-to-below area of approximately 37 square metres in the rear that pushes the second-storey floor area to the perimeter of the dwelling”.

The designer and owners have made an effort to address the concerns raised in the staff report and revised plans have been submitted. The original front façade of the dwelling is shown in **Figure 1**.



Figure 1. Original Design

The revised proposal is shown in **Figure 2**.



Figure 2. Revised Design

Changes to the plans include:

- Driveway width reduced in right-of-way;
- 2nd floor front projection overhang reduced;
- Recessed roof over front porch;
- Recessed 2nd floor wall above garage at bedroom #3;
- Recessed 2nd floor wall at east side at bedroom #3;
- Recessed rear covered porch at east side;
- Removed rear projection from 2nd floor primary bedroom;
- Recessed family room wall at west side; and
- Removed a basement window and window well that encroached into the west side easement.

A marked-up site plan highlighting these revisions has been provided in **Appendix 2**.

The proposed variances are listed in **Table 1** below:

Provision	Original Proposal	Revised Proposal	Change
<i>Section 6.4.1</i> The maximum residential floor area ratio for a detached dwelling on a lot with a lot area between 1022.00 m ² and 1114.99 m ² shall be 37% [386.71 m ²]	To increase the maximum residential floor area ratio to 38.8% (405.56 square metres).	To increase the maximum residential floor area ratio to 38.2% (399 square metres).	Reduction of 0.6% or 6.56 square metres (~70.5 square feet)
<i>Section 6.4.2 (Row RL2, Column 3)</i> The maximum lot coverage shall be 25% [261.29 m ²] where the detached dwelling is greater than 7.0 metres in height.	To increase the maximum lot coverage to 29.5% (308.07 square metres).	To increase the maximum lot coverage to 28.5% (298.31 square metres).	Reduction of 1% or 9.76 square metres (~105 square feet)
<i>Section 6.4.3 a)</i> The minimum front yard shall be 10.86 metres in this instance.	To decrease the minimum front yard to 10.11 metres.	To decrease the minimum front yard to 10.11 metres.	No change.

Table 1. Requested Variances

The increase in residential floor area amounts to an additional 12.29 square metres of living space, or ~132.3 square feet, over the maximum permitted by the Zoning By-law.

This variance is minor in nature and will not be perceptible from neighbouring properties or the public realm.

The increase in lot coverage (to 28.5% where the maximum is 25%) is primarily the result of the proposed rear covered porch, which accounts for 32.81 square metres or 3.1% of the total lot coverage. If this were an uncovered patio, the proposed lot coverage of the dwelling would be 25.4%, or 0.4% over the maximum permitted by the Zoning By-law. This variance is minor in the context of the site. The proposed covered porch will have little to no impact on neighbours and will not be visible from the street. A similar covered porch exists next door at 2036 Salvator Blvd., as shown in **Figure 3**, and this required a variance to permit a maximum lot coverage of 26.2% in 2018, per the staff report.



Figure 3. View to the East

The minimum front yard variance, to permit 10.11 metres where 10.86 metres is required, is measured to the proposed front covered porch, with the remainder of the dwelling being set back between 10.35 metres and greater than the minimum required. This will not result in a dwelling that projects excessively beyond adjacent homes. Staff had no concerns with this variance.

The rear open-to-below family room, while not a variance, is to be set back 3.37 metres from the west side lot line where 2.4 metres is required. This is partially the result of an existing easement which must remain unencumbered and partially the result of the west wall being shifted in by 0.3 metres (1 foot). This existing easement assists in providing a greater-than-required setback for this portion of the dwelling, as shown in **Figure 4**.

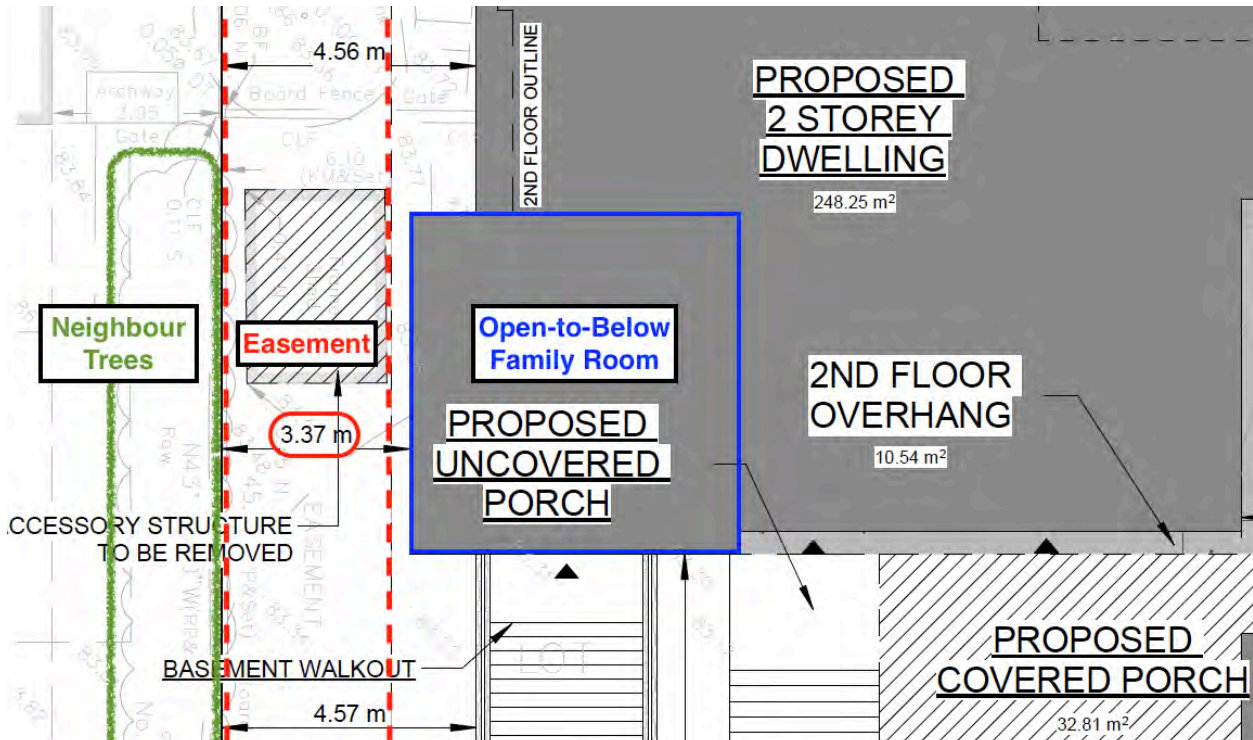


Figure 4. Site Plan Excerpt

This portion of the dwelling will also be well-screened by a row of mature trees on the adjacent property, as shown in **Figure 5**. The shed is to be removed.



Figure 4. View to the West

Development Engineering's comments have been addressed by reducing the proposed driveway width to 6.5 metres in the right-of-way and removing all encumbrances in the west side easement. Regarding storm water management, the designer is working with a civil engineer and grading designer, and this will be addressed at the Development Engineering Permit stage.

Planning staff have been consulted and have indicated via email that their concerns have been addressed. We appreciate their responsiveness.

Both adjacent neighbours have been consulted and have signed letters in support of the application. Another neighbour, 3 doors down to the east at 2022 Salvator Blvd, has also signed a letter in support.

An arborist report has been prepared and submitted. The tree protection plan will have to be updated to reflect the slight reduction in building footprint resulting from revisions made to address staff comments, but this should not impact its conclusions. All neighbour trees will be protected and many mature trees on the subject site are to remain. 3 private trees with a DBH of 15cm or greater will require removal to facilitate construction. Replacement trees will be planted or cash-in-lieu will be provided as required by Town of Oakville By-law 2017-038.

This proposal passes the four tests of Section 45(1) of the *Planning Act*. The variances are minor in nature. The proposal is appropriate for the development and use of the land and does not present any significant impacts on neighbouring properties. The proposal is in keeping with the intent of the Official Plan for a Low Density Residential land use designation and is compatible with the surrounding neighbourhood in terms of scale, height, massing and architectural character. The proposal is in keeping with the intent of the Zoning By-law as performance standards are not being exceeded unreasonably.

This proposal, as revised, represents good planning and does not conflict with the public interest.

Sincerely,

SGL Planning & Design, Inc.



Graham Barrett
Planner

Appendix 1













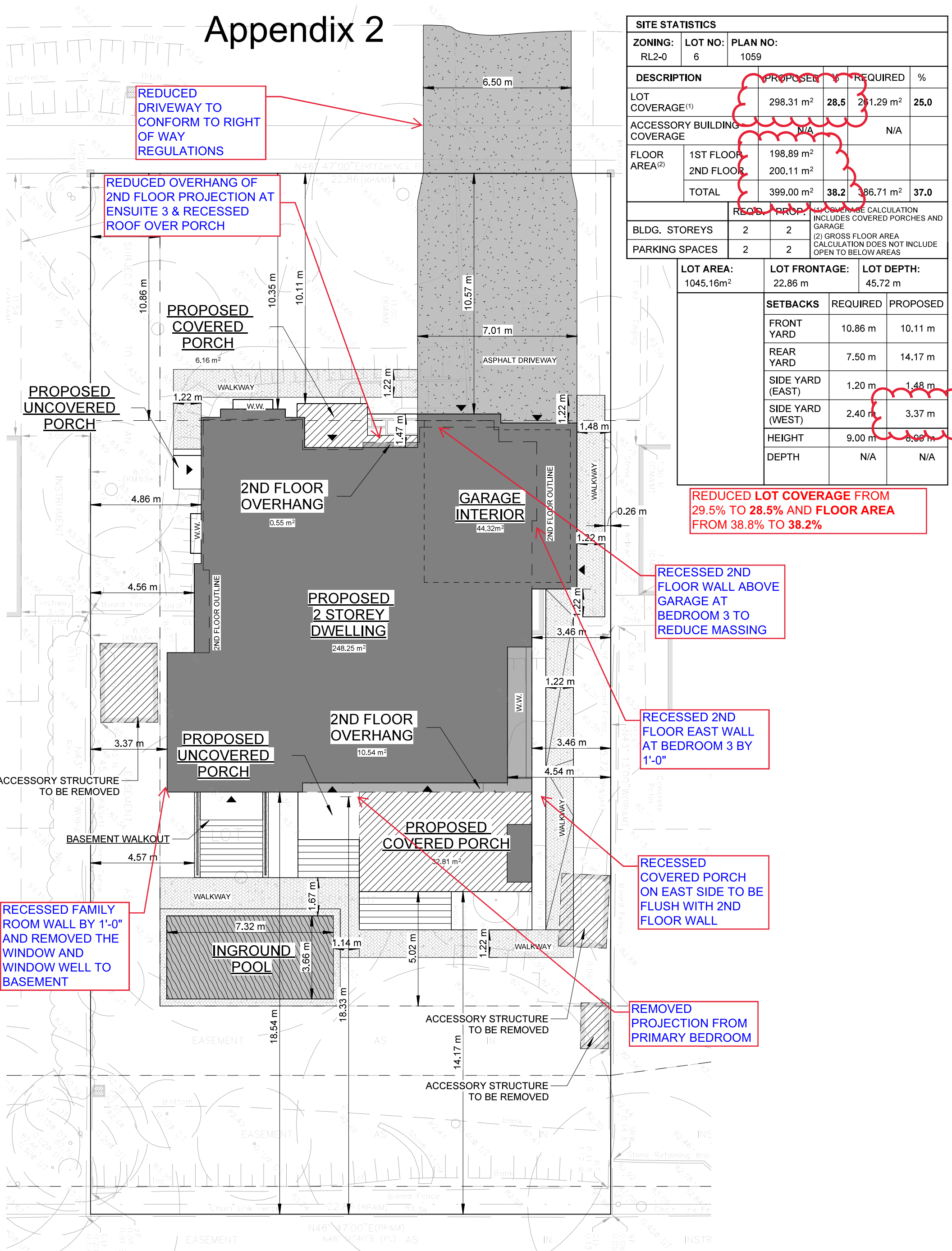




Appendix 2

SITE STATISTICS				
ZONING:	LOT NO:	PLAN NO:		
RL2-0	6	1059		
DESCRIPTION	PROPOSED	%	REQUIRED	%
LOT COVERAGE ⁽¹⁾	298.31 m ²	28.5	261.29 m ²	25.0
ACCESSORY BUILDING COVERAGE	N/A		N/A	
FLOOR AREA ⁽²⁾	1ST FLOOR	198.89 m ²		
	2ND FLOOR	200.11 m ²		
	TOTAL	399.00 m ²	38.2	386.71 m ² 37.0
BLDG. STOREYS	2	2		
PARKING SPACES	2	2		

LOT AREA:	LOT FRONTAGE:	LOT DEPTH:		
1045.16m ²	22.86 m	45.72 m		
SETBACKS	REQUIRED	PROPOSED		
FRONT YARD	10.86 m	10.11 m		
REAR YARD	7.50 m	14.17 m		
SIDE YARD (EAST)	1.20 m	1.48 m		
SIDE YARD (WEST)	2.40 m	3.37 m		
HEIGHT	9.00 m	8.99 m		
DEPTH	N/A	N/A		



REDUCED LOT COVERAGE FROM 29.5% TO 28.5% AND FLOOR AREA FROM 38.8% TO 38.2%

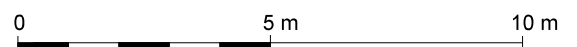
RECESSED 2ND FLOOR WALL ABOVE GARAGE AT BEDROOM 3 TO REDUCE MASSING

RECESSED 2ND FLOOR EAST WALL AT BEDROOM 3 BY 1'-0"

RECESSED COVERED PORCH ON EAST SIDE TO BE FLUSH WITH 2ND FLOOR WALL

REMOVED PROJECTION FROM PRIMARY BEDROOM

RECESSED FAMILY ROOM WALL BY 1'-0" AND REMOVED THE WINDOW AND WINDOW WELL TO BASEMENT



SITE PLAN

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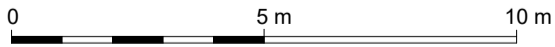
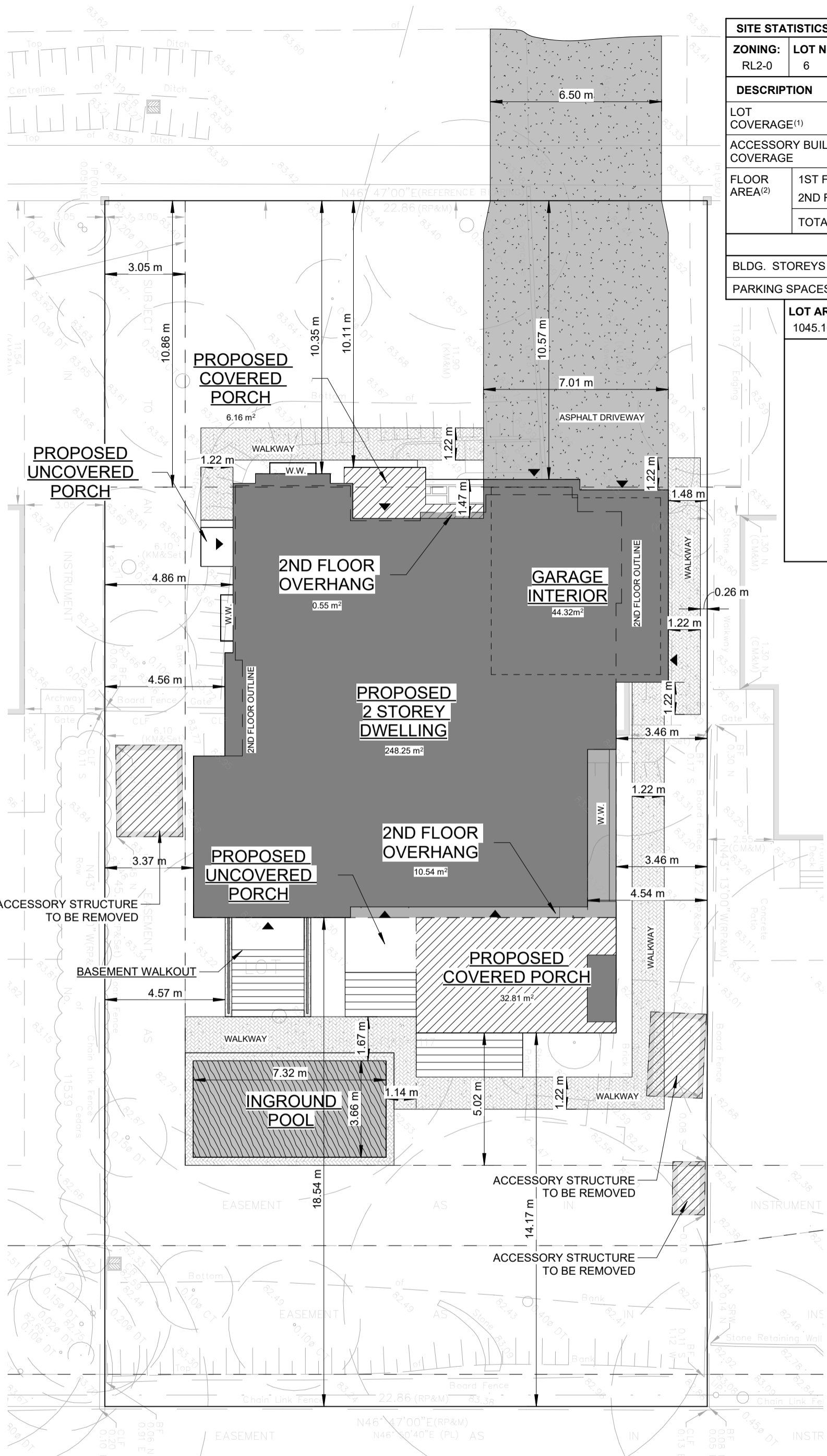
CUSTOM 2 STOREY DWELLING
2042 SALVATOR BLVD., OAKVILLE, ON

FINE LINES DESIGN

Z02.1

SITE STATISTICS					
ZONING:	LOT NO:	PLAN NO:			
RL2-0	6	1059			
DESCRIPTION	PROPOSED	%	REQUIRED	%	
LOT COVERAGE ⁽¹⁾	298.31 m ²	28.5	261.29 m ²	25.0	
ACCESSORY BUILDING COVERAGE	N/A		N/A		
FLOOR AREA ⁽²⁾	1ST FLOOR	198.89 m ²			
	2ND FLOOR	200.11 m ²			
	TOTAL	399.00 m ²	38.2	386.71 m ²	37.0
	REQ'D.	PROP.	(1) COVERAGE CALCULATION INCLUDES COVERED PORCHES AND GARAGE		
BLDG. STOREYS	2	2	(2) GROSS FLOOR AREA CALCULATION DOES NOT INCLUDE OPEN TO BELOW AREAS		
PARKING SPACES	2	2			

LOT AREA:	LOT FRONTAGE:	LOT DEPTH:	
1045.16m ²	22.86 m	45.72 m	
	SETBACKS	REQUIRED	PROPOSED
	FRONT YARD	10.86 m	10.11 m
	REAR YARD	7.50 m	14.17 m
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	HEIGHT	9.00 m	8.99 m
	DEPTH	N/A	N/A



SITE PLAN

Scale: 1 : 150
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CUSTOM 2 STOREY DWELLING
2042 SALVATOR BLVD., OAKVILLE, ON

FINE LINES DESIGN

Z02.1