



KEEREN DESIGN
RESIDENTIAL ARCHITECTURE

11 BRONTE RD. SUITE 31
OAKVILLE, ON
L6L 0E1

PHONE: (905) 847-2350

WWW.KEEREN.CA

FIRM BCIN #: 31181

JORIS KEEREN
DESIGNER BCIN #: 25348

REVISION

DRAWING INFORMATION
INITIAL DESIGN : MAY 2023
DESIGNER : JORIS KEEREN
DRAWN BY : M. RICO
PLOT DATE : APRIL 10, 2024
PERMIT # : 24 -

These drawings are not to be used for construction purposes, unless approved and stamped by the Local Building Department.

PROJECT: 214 MOHAWK ROAD

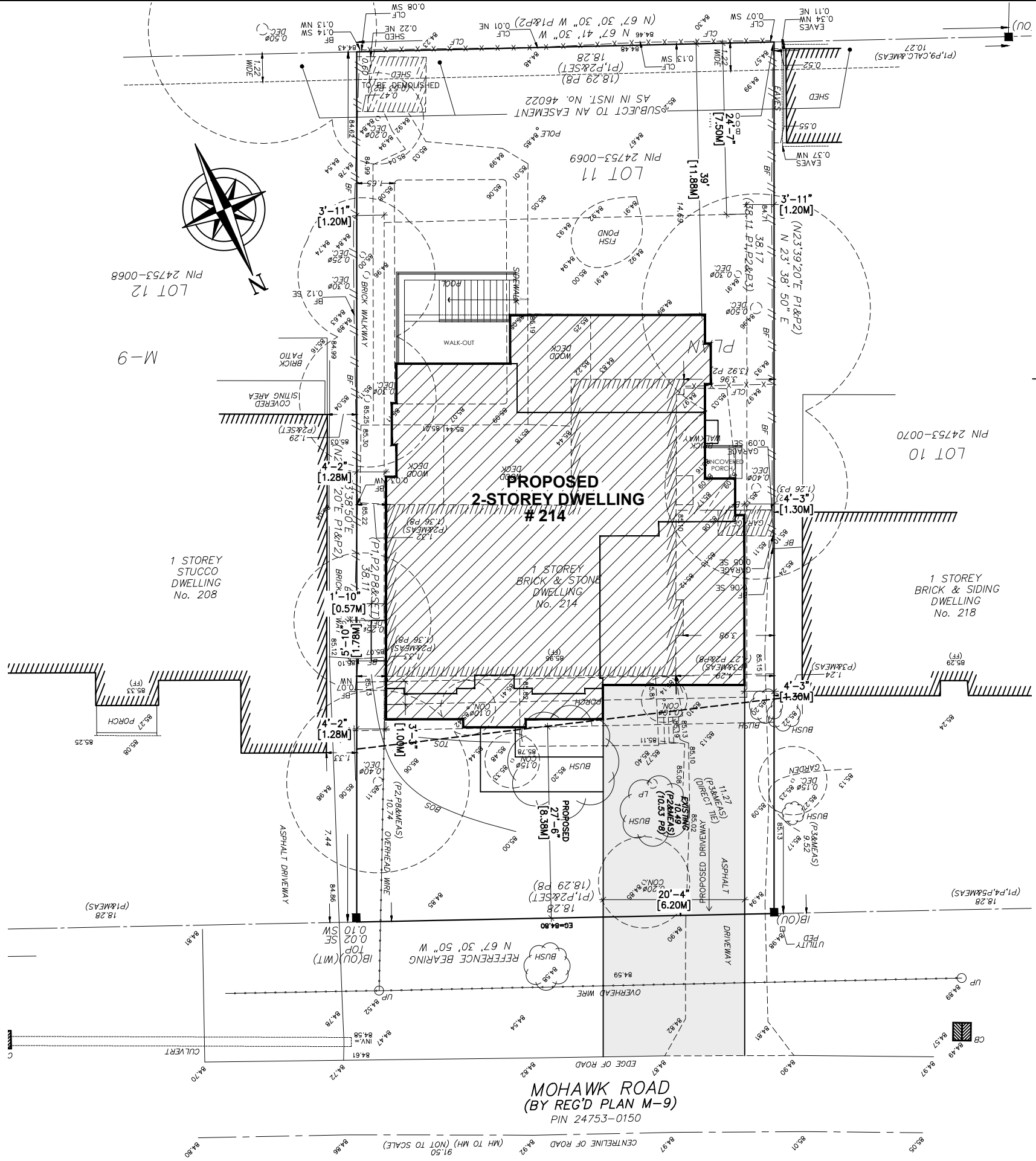
A0

SITE STATISTICS: 214 MOHAWK ROAD

	EXISTING	PROPOSED	TOTAL	ALLOWED
ZONING:	RL5-0			
LOT AREA:	697 M2			
LOT COVERAGE :	---	M2 243.53M2	---	M2 243.95M2 2,625 SQ.FT.
LOT COVERAGE :	---	% 34.94%	---	% 35%
R.F.A. :	---	M 303.2M2	---	M 285.77M2 3,076 SQ.FT.
R.F.A. :	---	% 43.5%	---	% 41%
BLDG. HEIGHT (PEAK) :	---	M 9.60M	---	M 9
FRONT YARD SETBACK :	---	M 8.38M	---	M 9.49M

SITE PLAN

SCALE: 1:200



MOHAWK ROAD
(BY REG'D PLAN M-9)
PIN 24753-0150



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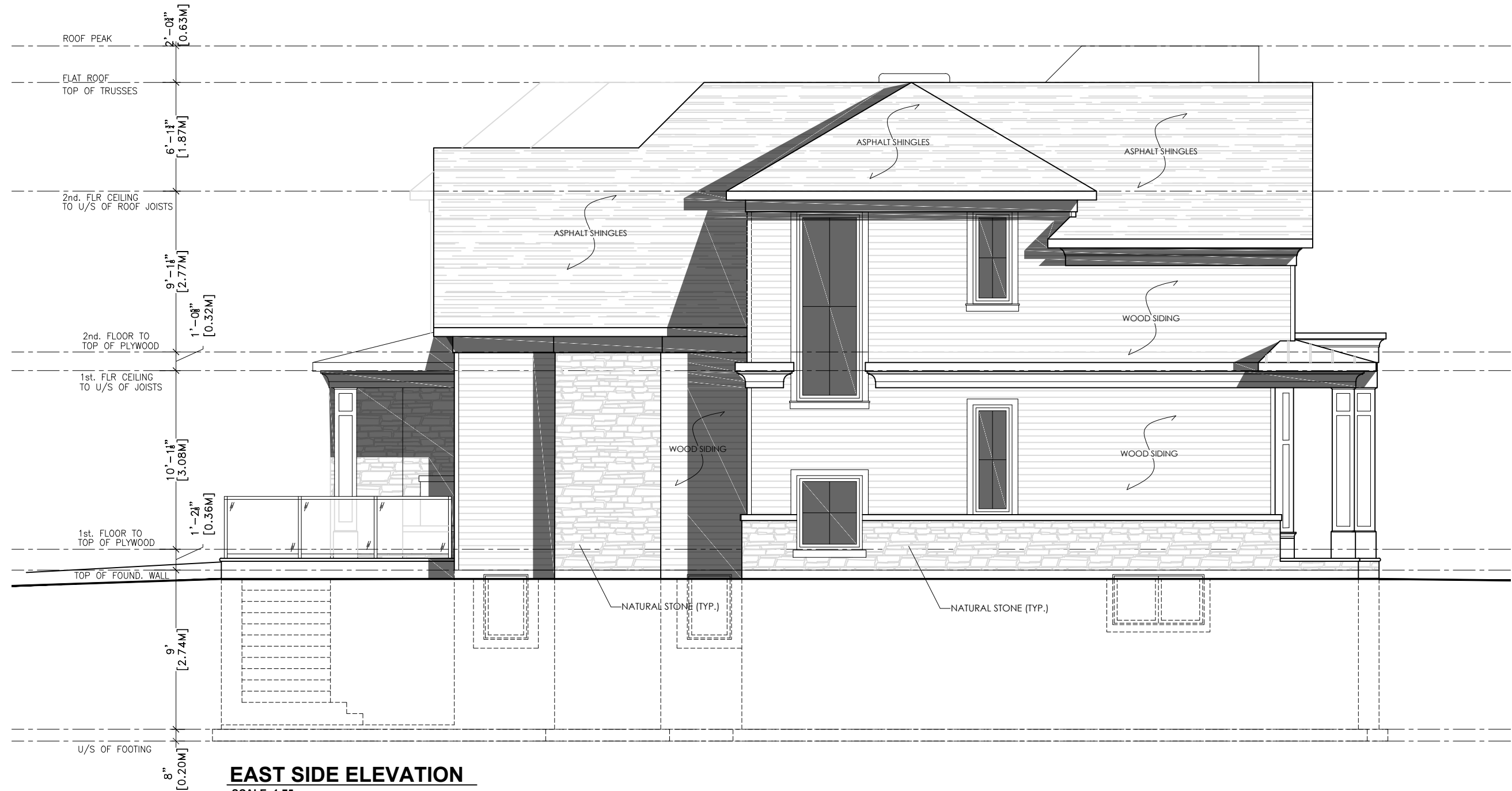
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A6





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REVISION

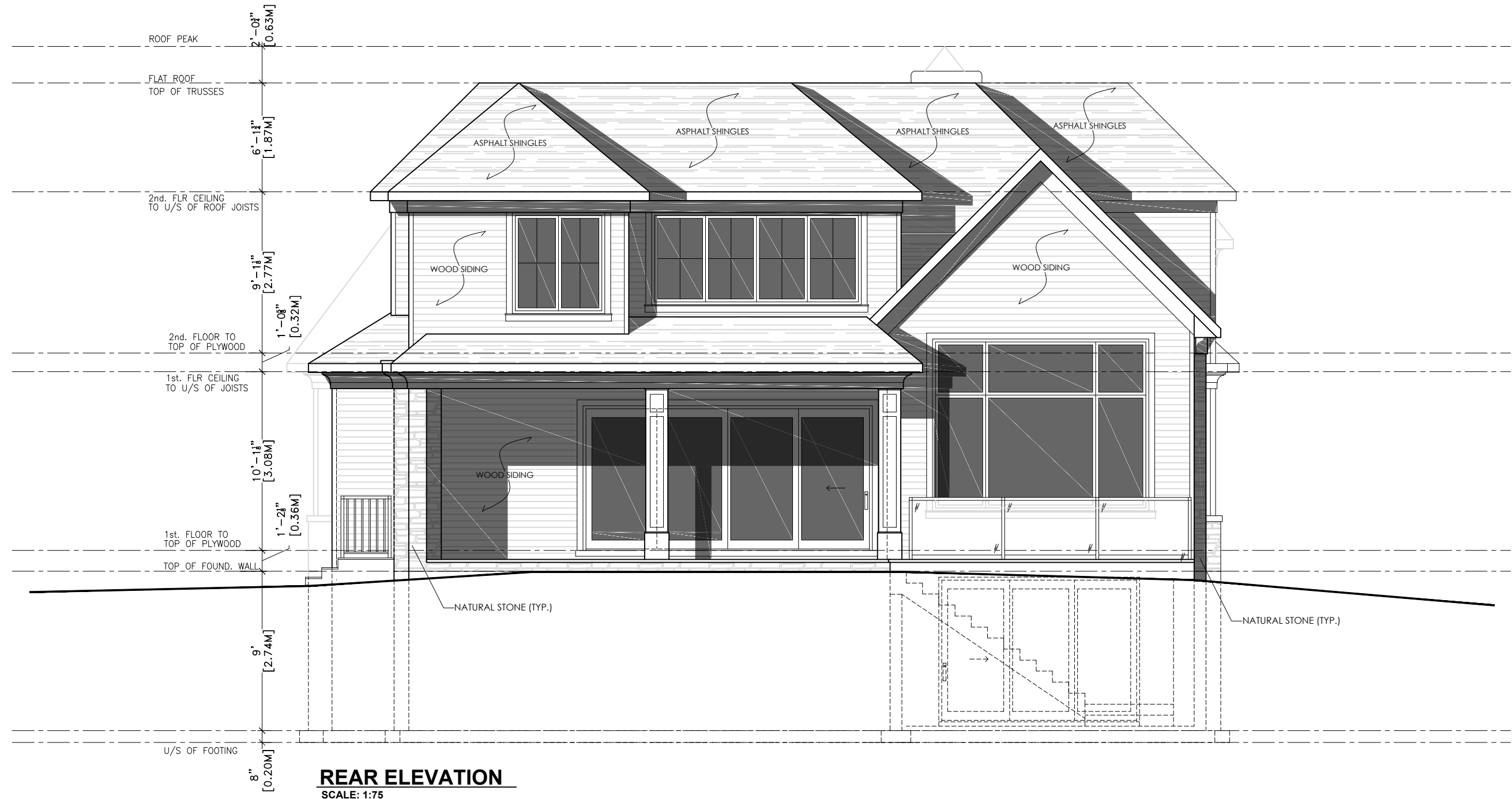
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A5



REAR ELEVATION
SCALE: 1:75



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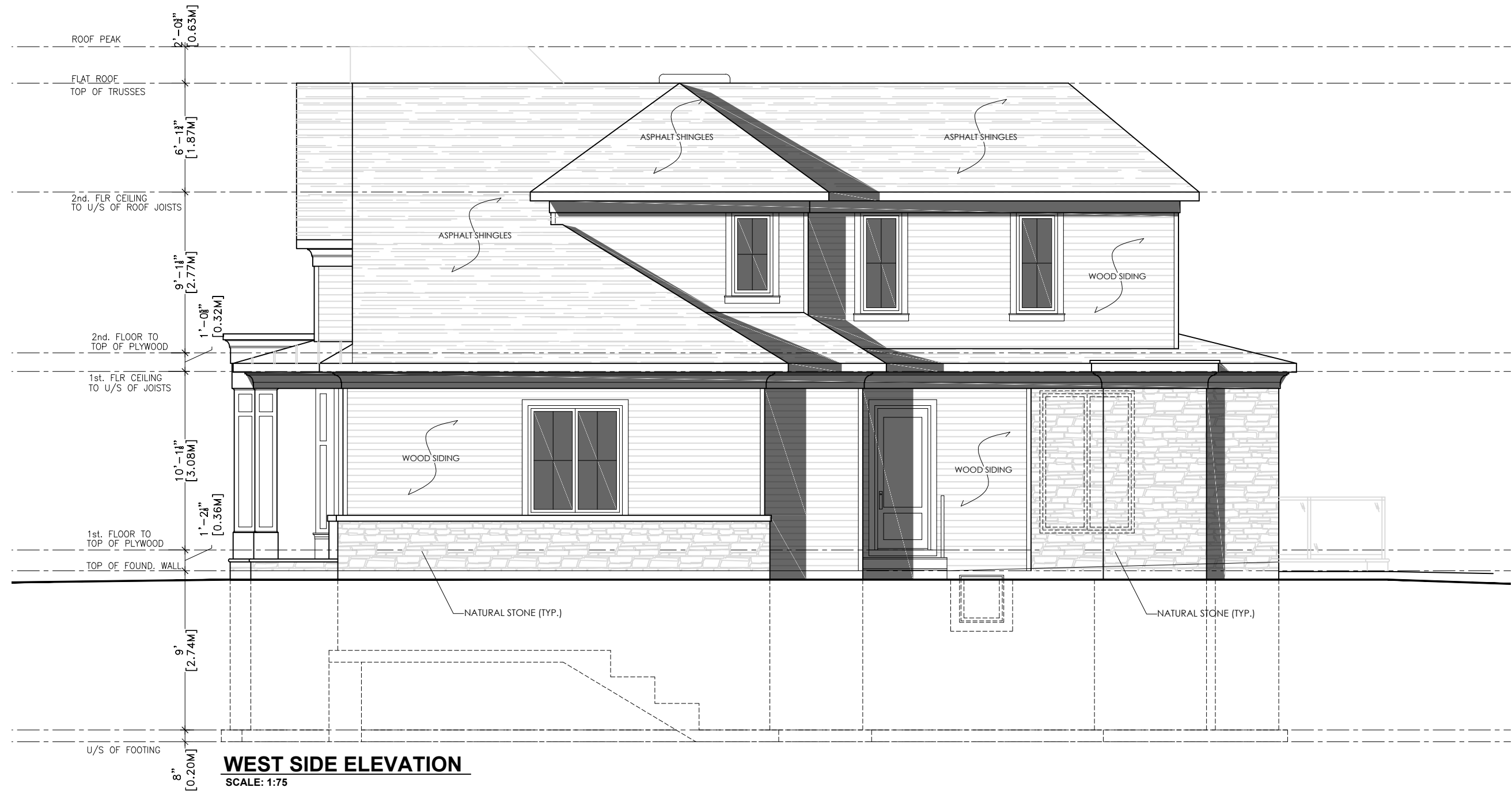
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PROJECT: 214 MOHAWK ROAD

A4





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RESIDENTIAL ARCHITECTURE

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FIRM BCIN #: 31181

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REVISION

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PROJECT: 214 MOHAWK ROAD

A3



Planning Justification

Property Address: 214 Mohawk Rd.

April 16 2024

Variances being requested:

1. Residential Floor Area (RFA).

The permitted RFA is 41% and this application is asking for 43.5% . The main reason for the overage is as follows:

1. To provide an office space on the main floor to facilitate work-from-home.
2. To accommodate a separate laundry room as well as reasonably sized bedrooms with three washroom on the 2nd floor.

The exterior front façade of the dwelling is designed to hide the additional massing associated with the sq. footage being requested. This is accomplished by lowering the roof line which has the effect to present the house as a 1.5 storey dwelling. There is also substantial articulation on the elevation, which serves to break up the massing further.

Massing:

DESIGN GUIDELINES

1. New development, which is larger in overall massing than adjacent dwellings, should be designed to reduce the building massing through the thoughtful composition of smaller elements and forms that visually reflect the scale and character of the dwellings in the surrounding area. This design approach may incorporate:

- *projections and/or recesses of forms and/or wall planes on the façade(s)*
- *single-level building elements when located adjacent to lower height dwellings*
- *variation in roof forms*
- *subdividing the larger building into smaller elements through additive and/or repetitive massing techniques*
- *porches and balconies that can reduce the verticality of taller dwellings and bring focus to the main entrance*
- *architectural components that reflect human scale and do not appear monolithic*
- *horizontal detailing to de-emphasize the massing*
- *variation in building materials and colours.*

2. New development should be designed to mitigate potential impacts of overshadowing on adjacent properties by avoiding bulky massing close to the shared property line, by stepping down the height of the structure, and/or by increasing the setback(s) from the side and rear property lines.

Scale:

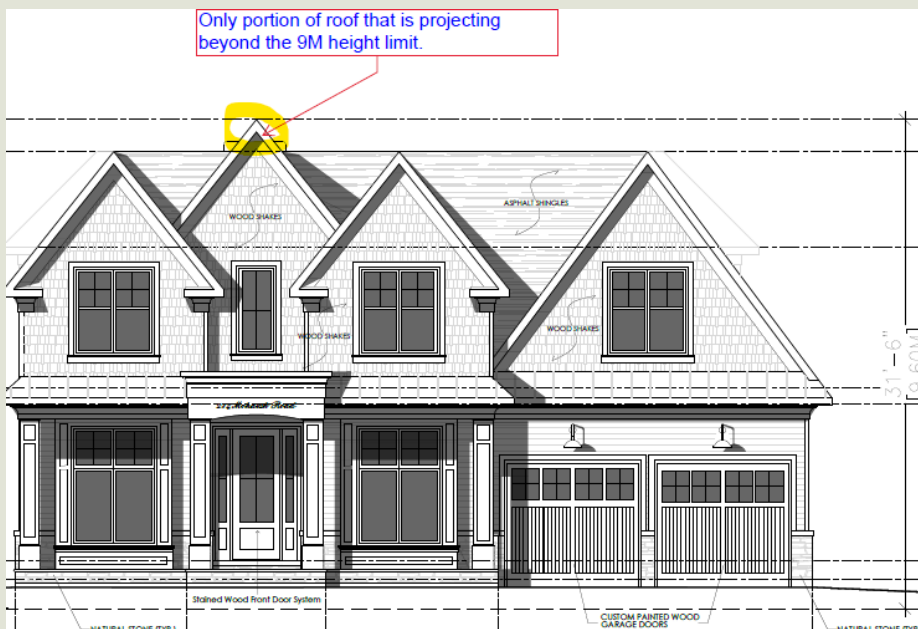
DESIGN GUIDELINES

1. New development should not have the appearance of being substantially larger than the existing dwellings in the immediate vicinity. If a larger massing is proposed, it should be subdivided into smaller building elements that respond to the context of the neighbourhood patterns.
2. In instances where the lot patterning has been altered through redevelopment, the scale of the new development should be compatible with the scale of the surrounding buildings.

2. Height

To permit an increase in height to 9.60M whereas 9.0 meters is permitted.

The only part of the dwelling that extends beyond the 9m allowed height is the central gable peak. About 95% of the dwelling is under the height limit, it is only this small roof projection that exceeds the height limit, not the entire building, as demonstrated in the below image.



Also, of note is that there are two new dwellings in the immediate vicinity of the subject property that have received approval for additional dwelling height.

228 Mohawk Rd. – 9.75 Meter height approved April 2022 CAV A/016/2022.

224 Mohawk Rd. – 9.28 Meter height approved April 2022 CAV A/052/2022.

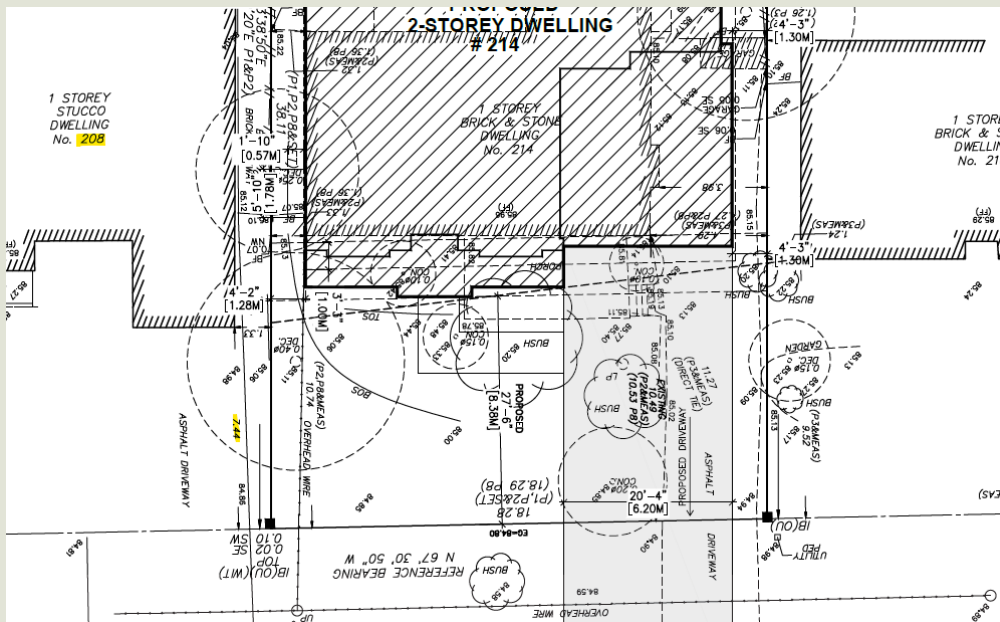
3. Front Yard Setback

The applicant is requesting a front yard setback of 8.38M whereas 9.49 is required. The main purpose for this request is to better align the proposed dwelling with the houses on either side. The secondary purpose is to create more amenity space in the rear yard.

Please see the snip below, which demonstrates the proposed position of the dwelling being more or less in line with the houses on either side of it.

It is also important to note that the adjacent house to the south at 208 Mohawk, has a front yard setback of only 7.44 Meters, so substantial less than what this application is seeking.

Lastly, the majority of the front of the dwelling that is consuming the reduced front yard being requested, is comprised of a one-storey open porch structure, the main dwelling is within the compliant setback.



4. Letters of support.

Through canvassing of the immediate neighbourhood, the applicant was able to obtain 15 letters of support for this application, copies of which are included in this document.

5. Neighbourhood Context.

The street is in transition, with about 1/3 being newer dwellings.

Four Tests:

1. The proposed development complies with the official plan in that it is a single-family dwelling unit, which is similar in size and scale to many other houses on the street and in the surrounding area.
2. The intent of the zoning by-law is met with this proposal because most key regulations, such as lot coverage, and height are being met.
3. Single family dwellings of similar scale and massing are prevalent in the immediate area, therefore this proposal, being a single family, four-bedroom dwelling, is both desirable and appropriate.
4. The proposed development is appropriate for the site and area because it will complement the fabric of the neighbourhood.



Planning & Regulations
905.336.1158
2596 Britannia Road West
Burlington, Ontario L7P 0G3
conservationhalton.ca

March 21, 2024

Aidan Walsh and Natasha Sarracini
214 Mohawk Road,
Oakville, ON L6L 2Z2

BY EMAIL ONLY (natasha@bridgemark.agency)

To Aidan Walsh and Natasha Sarracini:

Re: Reconstruction of a two-storey dwelling with attached garage and walkout basement partially located within a spill flood hazard associated with Sheldon Creek
214 Mohawk Road
Town of Oakville
CH File: RAPP-9197

Please find enclosed **Permit No. 8834** issued in accordance with *Ontario Regulation 162/06*, for the above noted proposal.

Staff have reviewed the following files regarding the above noted proposal:

- *Site Plan in Support of Development, 214 Mohawk Road*, Prepared by J. H. Gelbloom Surveying Limited, received by Conservation Halton March 13, 2024, stamped approved March 21, 2024.
- *214 Mohawk Road*, Drawings A0-A6, prepared by Keeren Design, received by Conservation Halton March 20, 2024, stamped approved March 21, 2024.

Conservation Halton (CH) regulates all watercourses, valleylands, wetlands, Lake Ontario and Hamilton Harbour shoreline and hazardous lands, as well as lands adjacent to these features. The property, 214 Mohawk Road, is partially located within an identified flood hazard (spill) associated with Sheldon Creek. Spills are flood hazards/hazard lands under the Conservation Authorities Act and Ontario Regulation 162/06. A spill occurs when floodwaters leave a watercourse and its valley and spills overland, rejoining the same watercourse at a distance downstream or moving into another watershed. Permission is required from CH prior to undertaking any development within CH's regulated area and are reviewed under CH's *Policies and Guidelines for the Administration of Ontario Regulation 162/06* (<https://conservationhalton.ca/policies-and-guidelines>).

The approved works includes the reconstruction of a two-storey dwelling, attached garage and walkout basement partially within the flood hazard (spill) associated with Sheldon Creek. Staff have reviewed the drawings and materials which demonstrate the works are proposed as dry floodproofing, are not expected to not pose a risk to life and property and meet Policy 2.29.1 of

Conservation Halton's *Policies and Guidelines for the Administration of Ontario Regulation 162/06 and Land Use Planning Document*, last amended November 26, 2020.

Based on the above, this permit is approved with the following conditions:

- a. **That CH be contacted immediately should any changes to the scope or timing of works or details as identified on the stamped approved drawings be proposed. Note: Further review or additional information may be required to support changes.**
- b. **That effective sediment and erosion control measures be installed prior to starting work, maintained during construction and fully removed once all disturbed areas have been stabilized. That site conditions be monitored and that the sediment and erosion control measures be modified if site conditions warrant it.**
- c. **That disturbed areas be stabilized and restored immediately following the completion of construction to the satisfaction of CH.**
- d. **That excess fill (soil or otherwise) generated from the proposed works shall not be stockpiled or disposed of within any area regulated by CH, pursuant to *Ontario Regulation 162/06*.**

Please be sure that you read and understand all conditions listed on the enclosed Permit (and included below). Please also note that contravention of a Permit, or the terms and conditions of a Permit, is considered an offence under Section 28(16) of the *Conservation Authorities Act*. It is your responsibility to ensure that any person working under the authority of this Permit is familiar, and complies with, the terms and conditions.

This Permit or a copy thereof as well as all approved drawings must be available at the site. Any changes to the approved design or installation methods must be reviewed and approved by CH staff prior to their implementation. This Permit is valid two years from the date it is issued.

Please be advised that should you have any objection to any of the conditions of the permit, you are entitled to request a hearing before the Authority, in accordance with Section 28(12) of the *Conservation Authorities Act*. A written notice of your request for a hearing must be received by staff within 30 days of the date of this letter. Please note that if a hearing has been requested, this permit approval is withdrawn until such time as the hearing results have been finalized and commencement of any site alteration must not occur until the results of the Hearing are determined.

We trust the above is of assistance in this matter. Should you require further information, please contact the undersigned at ahelzer@hrca.on.ca.

Sincerely,



Adam Heizer
Regulations Officer

Encl. 2

Cc: Joris Keeren, Keeren Design Inc. (joris@keeren.ca)
Town of Oakville, Building Department (buildingrequests@oakville.ca)



2596 Britannia Road West
Burlington, ON L7P 0G3
Telephone: 905 336-1158 Fax: 905 336-6684

PERMIT #: 8834
FILE #: RAPP-9197

PERMIT

IN ACCORDANCE WITH SECTION 3 OF REGULATION 162/06, PERMISSION HAS BEEN GRANTED TO:

Owner's Name: Aidan Walsh & Natasha Sarracini Phone: 647-221-6854
Mailing Address: 214 Mohawk Road, Oakville ON L6L 2Z2
Agent/Contractor: Keeren Design Inc. Phone: 905-847-2350
11 Bronte Road Unit 31, Oakville ON L6L 0E1

Property Location: 214 Mohawk Road
in the (City, Town, Township) of: Oakville (Region/County) of: Halton

This permit is for the reconstruction of a two-storey dwelling with attached garage and walkout basement partially located within a spill flood hazard associated with Sheldon Creek.

This permit is issued on this 21st day of March, 2024 Expires: 21st day of March, 2026

And is subject to the following conditions:

1. That the work to be carried out in accordance with plans submitted on March 13 & 20, 2024 and stamped APPROVED by: Adam Heizer, Regulations Officer
2. see reverse
3. **This permit (including drawings stamped approved by Conservation Halton) or a copy thereof, must on site and be available for inspection.**

Conservation Halton may, at any time, withdraw any permission given under this regulation if, in the opinion of the Conservation Authority, the conditions of the permit are not complied with.

Authorized representatives of Conservation Halton may, at any time, enter lands and buildings, to make any surveys, examinations, investigations, and inspections to ensure that the works authorized by this Permit are being carried out in accordance with the terms of this Permit.

This permit does not preclude any approvals required by any other existing law and regulations.

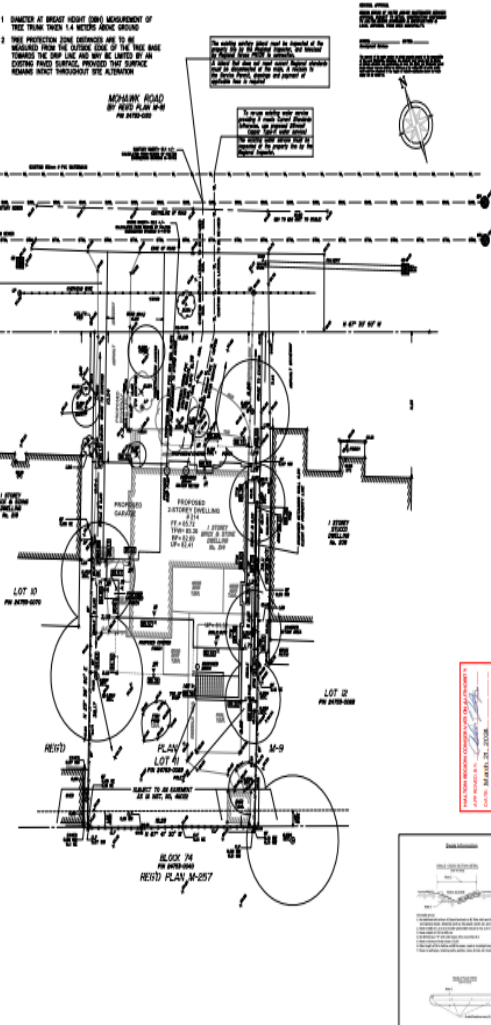
Authorized by: Kellie McCormack on the 21st day of March 2024
Kellie McCormack, MA, MCIP, RPP, Director, Planning and Regulations

- a. That CH be contacted immediately should any changes to the scope or timing of works, or details as identified on the stamped approved drawings, be proposed. Note: Further review or additional information may be required to support changes;
- b. That disturbed areas be stabilized immediately following the completion of construction to the satisfaction of Conservation Halton;
- c. That effective sediment and erosion control measures be installed prior to starting work, maintained during construction and fully removed once all disturbed areas have been stabilized. That site conditions be monitored and that the sediment and erosion control measures be modified if site conditions warrant it; and
- d. That excess fill (soil or otherwise) generated from the proposed works shall not be stockpiled or disposed of within any area regulated by Conservation Halton, unless in conformance as per the approved plans, pursuant to Ontario Regulation 162/06.

TREE PROTECTION NOTE

1. ALL TREES SHALL BE PROTECTED BY A TREE PROTECTION SHIELD (TPS) WHICH SHALL BE INSTALLED AT THE TIME OF CONSTRUCTION. THE SHIELD SHALL BE CONSTRUCTED OF 4" X 4" PLYWOOD OR EQUIVALENT MATERIAL AND SHALL BE 1.5 TIMES THE WIDTH OF THE TREE CANOPY AND SHALL BE 1.5 TIMES THE HEIGHT OF THE TREE CANOPY.
2. NO TRUCKS OR EQUIPMENT SHALL BE ALLOWED TO OPERATE WITHIN THE TREE PROTECTION SHIELD. ALL TRUCKS AND EQUIPMENT SHALL BE PLACED OUTSIDE THE SHIELD AT ALL TIMES.
3. THE PROTECTION SHIELD SHALL BE MAINTAINED AT ALL TIMES AND SHALL BE REPAIRED IMMEDIATELY IF DAMAGED.
4. THE PROTECTION SHIELD SHALL BE REMOVED IMMEDIATELY UPON COMPLETION OF THE WORK.
5. ANY DAMAGE TO TREES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE MUNICIPALITY.
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Tree ID	Species	DBH (cm)	Height (m)	Health
T-01	Maple	15.0	12.0	Good
T-02	Oak	18.0	15.0	Fair
T-03	Pine	10.0	8.0	Good
T-04	Birch	12.0	10.0	Fair
T-05	Aspen	8.0	6.0	Good
T-06	Poplar	14.0	11.0	Fair
T-07	Willow	9.0	7.0	Good
T-08	Hickory	16.0	13.0	Fair
T-09	Walnut	11.0	9.0	Good
T-10	Cherry	13.0	10.0	Fair



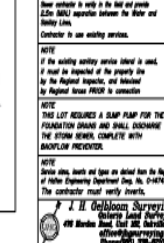
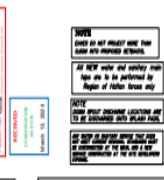
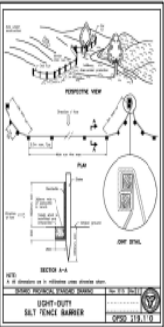
- STANDARD DEVELOPMENT NOTES:**
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MUNICIPALITY'S ZONING BY-LAW.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE MUNICIPALITY.
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- TRANSPORTATION AND WORKS DEPARTMENT:**
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE MUNICIPALITY.
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- GENERAL NOTES:**
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- EROSION AND SILTATION NOTES:**
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE MUNICIPALITY.
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- UTILITIES CONNECTION:**
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE MUNICIPALITY.
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LOT 11 REGISTERED PLAN M-9 TOWN OF OAKVILLE

SCALE: 1:100

28 Oakdale Surveying Limited
28 Oakdale Surveying Limited
28 Oakdale Surveying Limited

Item	Description	Quantity	Unit	Price	Total
1	Excavation	100	m ³	10.00	1000.00
2	Foundation	100	m ²	20.00	2000.00
3	Roofing	100	m ²	15.00	1500.00
4	Interior Finishes	100	m ²	30.00	3000.00
5	Exterior Finishes	100	m ²	25.00	2500.00
6	Landscaping	100	m ²	10.00	1000.00
7	Utilities	100	m	10.00	1000.00
8	Permits	1	Set	500.00	500.00
9	Professional Fees	1	Set	1000.00	1000.00
10	Contingency	10%	Of Total	1000.00	1000.00
Total					12000.00

SITE ADDRESS
218 MOUNTAIN ROAD
OAKVILLE, ONTARIO

PERMITS AND APPROVALS:

- 1. ZONING BY-LAW
- 2. DEVELOPMENT PERMIT
- 3. CONSTRUCTION PERMIT
- 4. UTILITIES PERMIT
- 5. TREE PROTECTION PERMIT
- 6. EROSION CONTROL PERMIT
- 7. SILTATION CONTROL PERMIT
- 8. TRANSPORTATION PERMIT
- 9. WORKS PERMIT
- 10. GENERAL PERMIT

CONTRACTOR:
28 Oakdale Surveying Limited
28 Oakdale Surveying Limited
28 Oakdale Surveying Limited

DATE:
2024

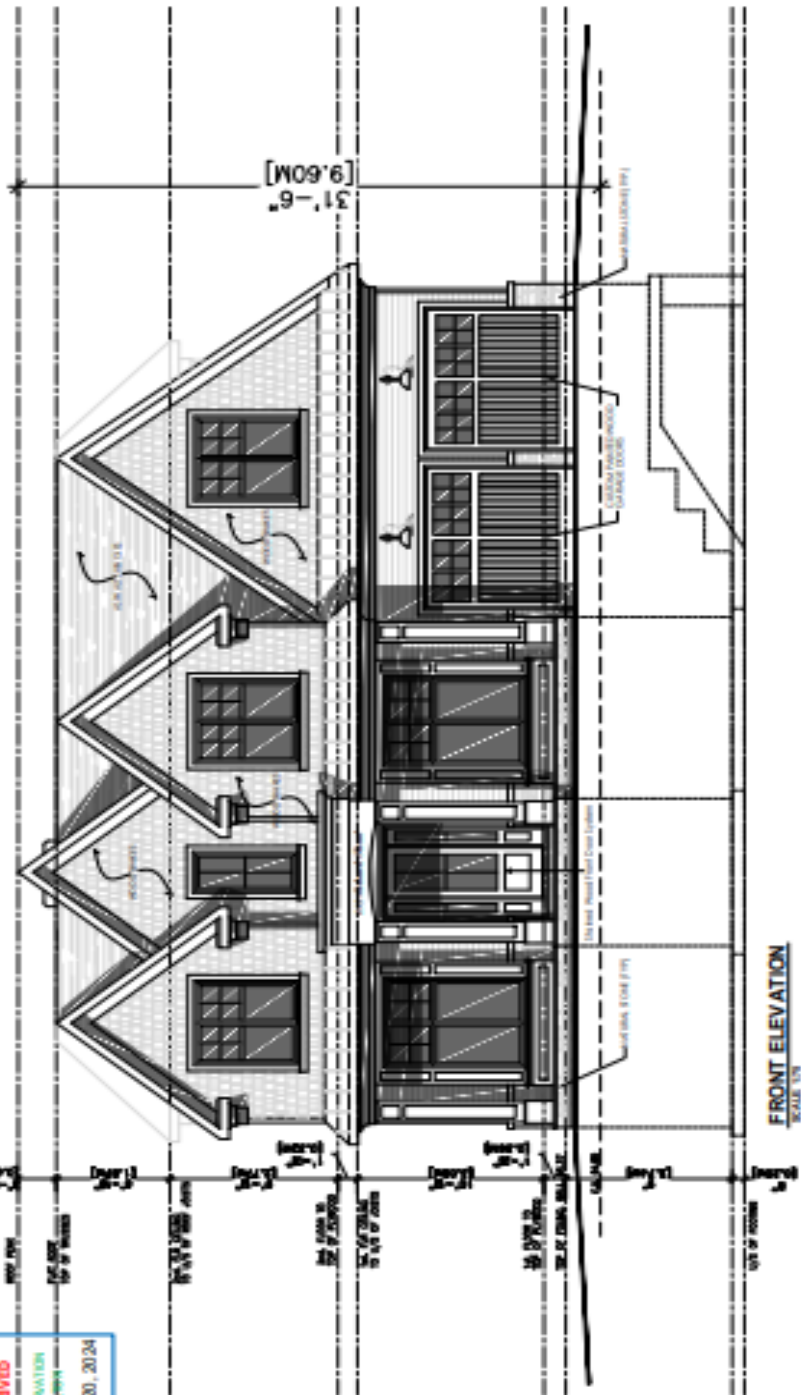
NOTICE:
This lot requires a stamp from the
Municipality of Oakville for the
construction of the building.

DATE:
2024

28 Oakdale Surveying Limited
28 Oakdale Surveying Limited
28 Oakdale Surveying Limited

HAMILTON REGION CONSERVATION AUTHORITY
 APPROVED BY: *[Signature]*
 DATE: March 21, 2024
 Subject to the conditions provided on
 PERMIT No.: 8034

RECEIVED
 CONSERVATION
 HAMILTON
 March 20, 2024



FRONT ELEVATION
 SCALE: 1/8" = 1'-0"



WEEREN DESIGN
ARCHITECTURE & INTERIOR

10000 14th Street SE
Bellevue, WA 98005
Phone: 206.468.1111
www.weeren.com

PROJECT NO: 2114

DATE: 03/20/2024

PROJECT: 214 MOHAWK ROAD

SCALE: 1/8" = 1'-0"

DATE: 03/20/2024

PROJECT: 214 MOHAWK ROAD

SCALE: 1/8" = 1'-0"

DATE: 03/20/2024

PROJECT: 214 MOHAWK ROAD

SCALE: 1/8" = 1'-0"

DATE: 03/20/2024

PROJECT: 214 MOHAWK ROAD

SCALE: 1/8" = 1'-0"

DATE: 03/20/2024

PROJECT: 214 MOHAWK ROAD

SCALE: 1/8" = 1'-0"

DATE: 03/20/2024

PROJECT: 214 MOHAWK ROAD

SCALE: 1/8" = 1'-0"

DATE: 03/20/2024

PROJECT: 214 MOHAWK ROAD

SCALE: 1/8" = 1'-0"

DATE: 03/20/2024

PROJECT: 214 MOHAWK ROAD

SCALE: 1/8" = 1'-0"

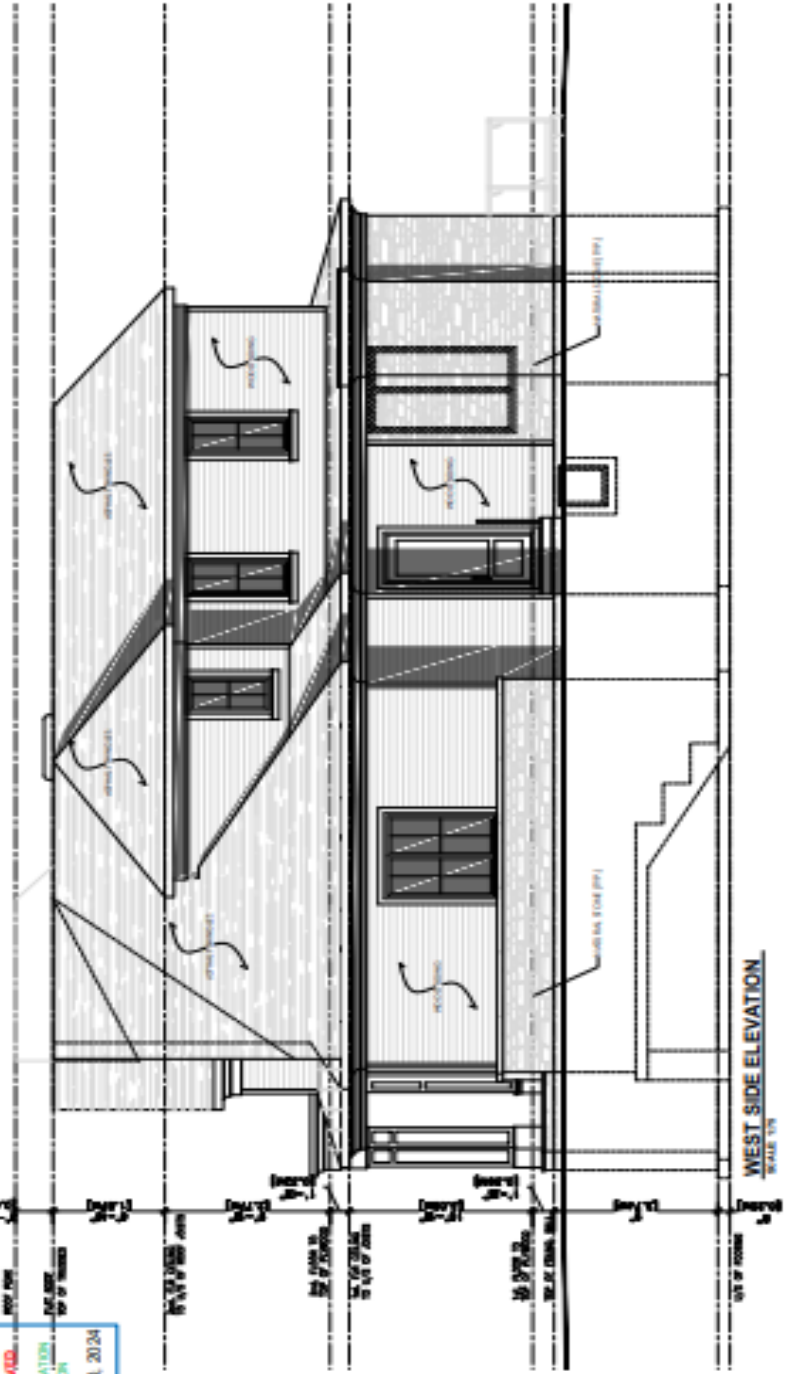
DATE: 03/20/2024

PROJECT: 214 MOHAWK ROAD

A4

HAS TOWN REGION CONSERVATION AUTHORITY
APPROVED BY: 
DATE: March 21, 2024
Subject to the conditions provided on
PERMIT No.: 8834

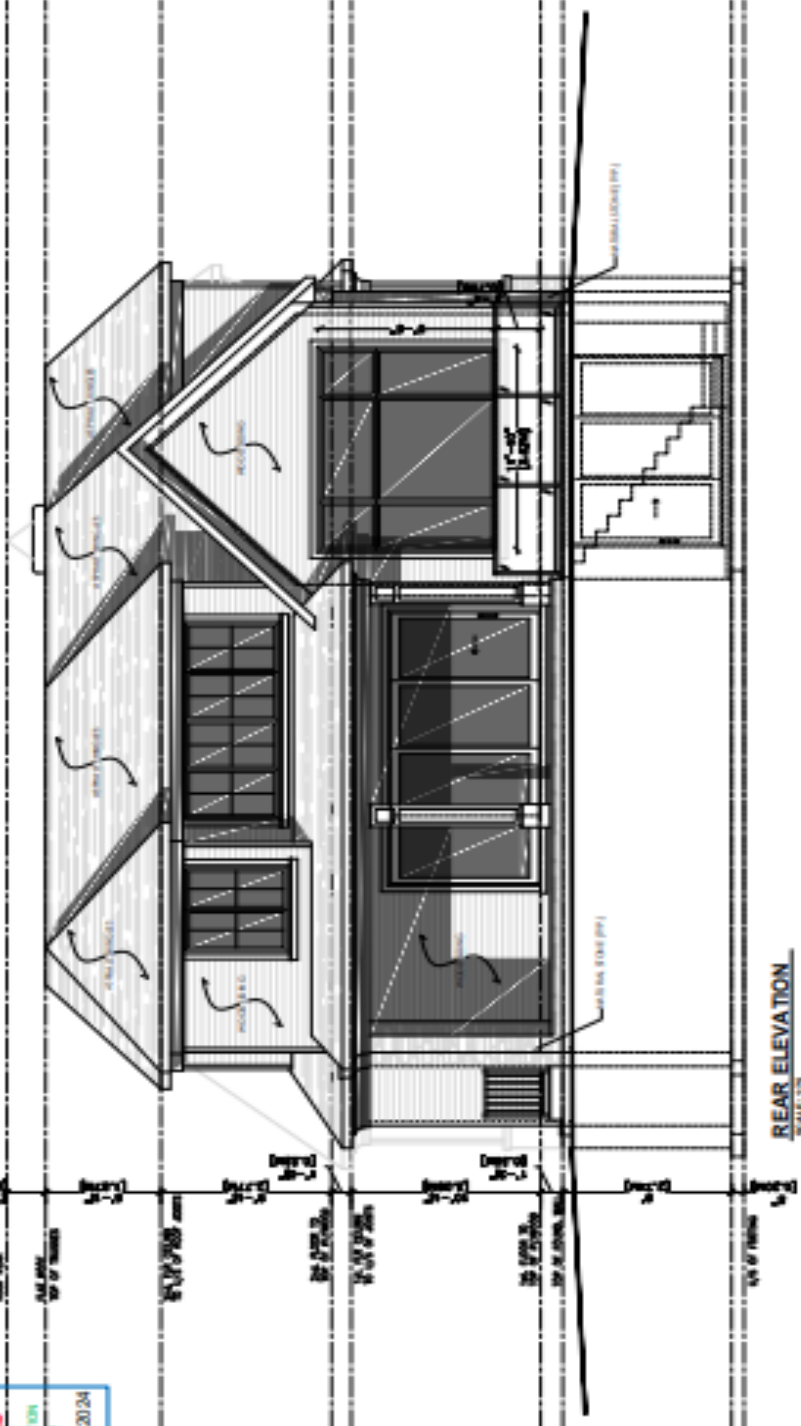
RECEIVED
CONSERVATION
H.A. TOWN
March 20, 2024



WEST SIDE ELEVATION
SCALE 1/8" = 1'-0"

HALTON REGION CONSERVATION AUTHORITY
 APPROVED BY: *[Signature]*
 DATE: March 21, 2024
 Subject to the conditions provided on
 PERMIT No.: 0034

RECEIVED
 CONSERVATION
 H.A. YU
 March 20, 2024



WEEREN DESIGN
 ARCHITECTURAL DESIGN & CONSTRUCTION

1000 Lakeshore Blvd. East
 Unit 100
 Markham, Ontario L3R 9V7

PH: 416-490-1111
 FAX: 416-490-1112

WEEREN DESIGN
 2024-03-21

CONSERVATION
 DESIGN # 2024-03-21

REAR ELEVATION

PROJECT: 214 MOHAWK ROAD

DATE: 2024-03-21

SCALE: 1/8" = 1'-0"

PROJECT: 214 MOHAWK ROAD

DATE: 2024-03-21

SCALE: 1/8" = 1'-0"

PROJECT: 214 MOHAWK ROAD

DATE: 2024-03-21

SCALE: 1/8" = 1'-0"

PROJECT: 214 MOHAWK ROAD

DATE: 2024-03-21

SCALE: 1/8" = 1'-0"

PROJECT: 214 MOHAWK ROAD

DATE: 2024-03-21

SCALE: 1/8" = 1'-0"

PROJECT: 214 MOHAWK ROAD

DATE: 2024-03-21

SCALE: 1/8" = 1'-0"

PROJECT: 214 MOHAWK ROAD

DATE: 2024-03-21

SCALE: 1/8" = 1'-0"

A5



KEBERN DESIGN
ARCHITECTURAL FIRM

10000 14th Ave. N.
Suite 100
Edmonton, Alberta T6E 4E8

Phone: 780.443.8888
Fax: 780.443.8889

www.kebern.com

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2014-2015
CONSULTING AGREEMENT

2014-2015
CONSULTING AGREEMENT

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CONSULTING AGREEMENT

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2014-2015
CONSULTING AGREEMENT

2014-2015
CONSULTING AGREEMENT

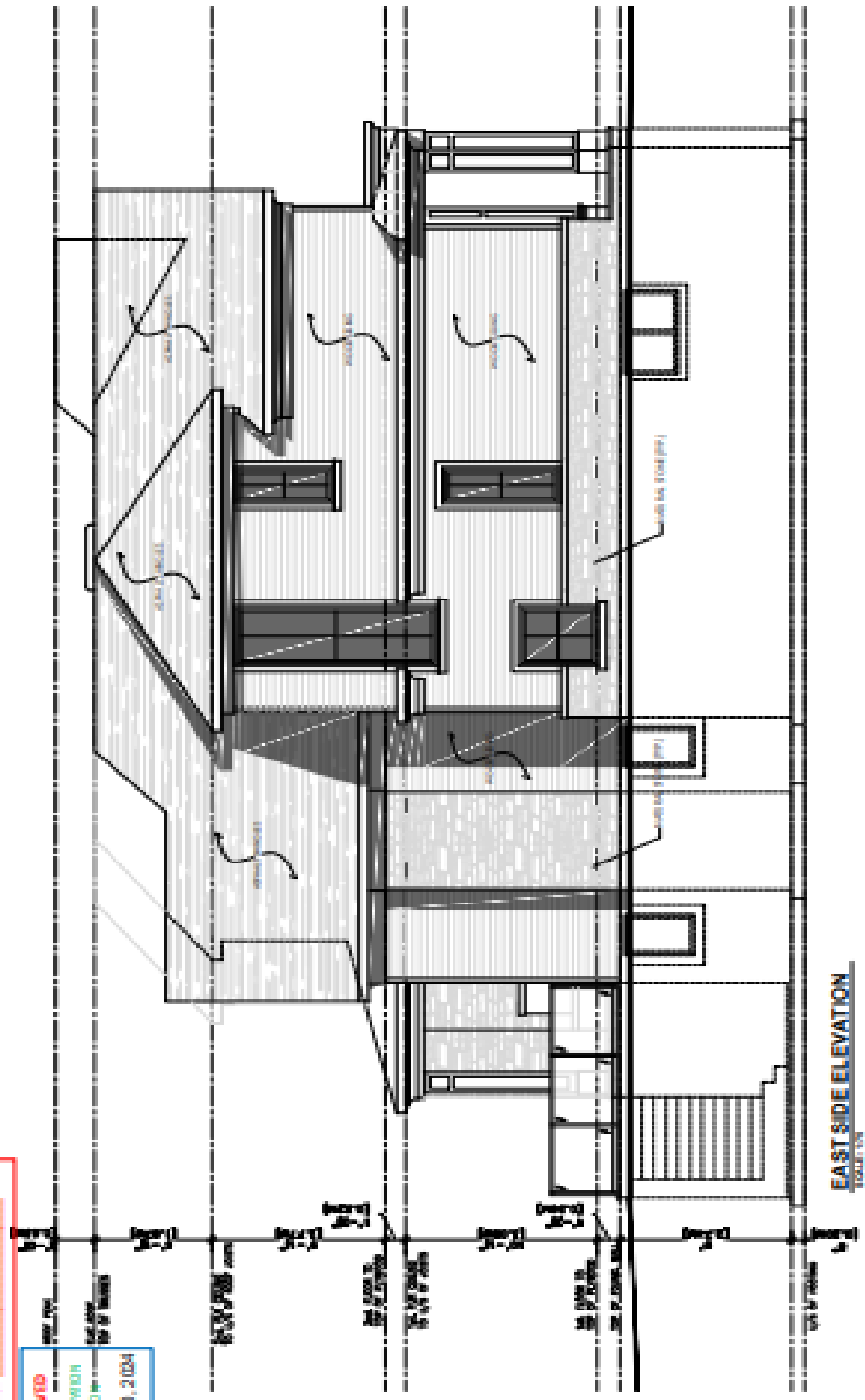
2014-2015
CONSULTING AGREEMENT

PROJECT: 214 MOHAWK ROAD

A6

HALTON REGION CONSERVATION AUTHORITY
APPROVED BY: *[Signature]*
DATE: March 21, 2024
Subject to the conditions provided on
PERMIT No. 88334

RECEIVED
CONSERVATION
HALTO Per
March 20, 2024



EAST SIDE ELEVATION
E0011214

Letter of Support

We have reviewed the plans with our neighbours for their proposed new home to be built at 214 Mohawk Rd., and have no objections to the minor variances being requested through the Committee of Adjustment.

HENRY ULOZAS & JANE GRAHAM

NAME

208 Mohawk Road

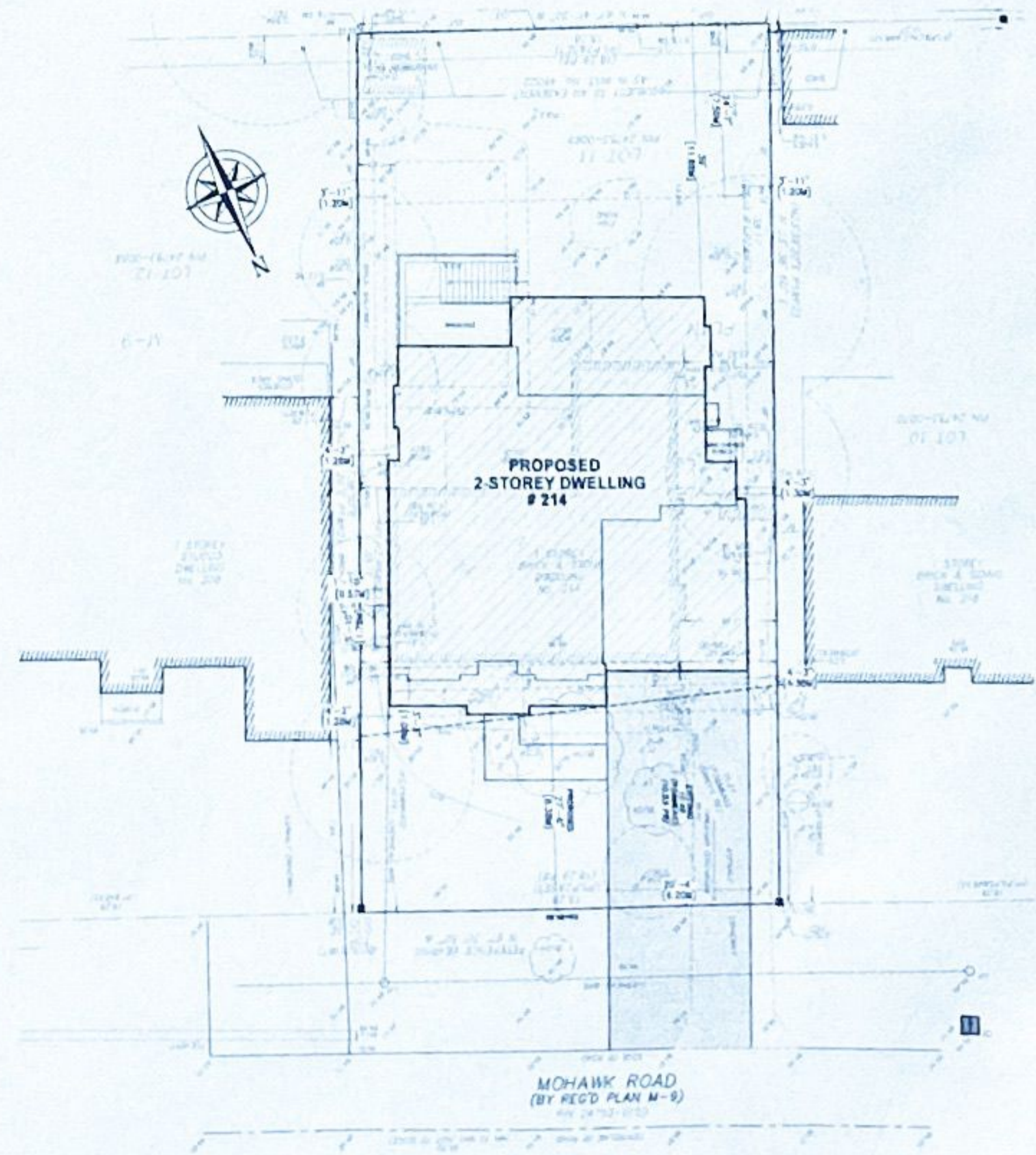
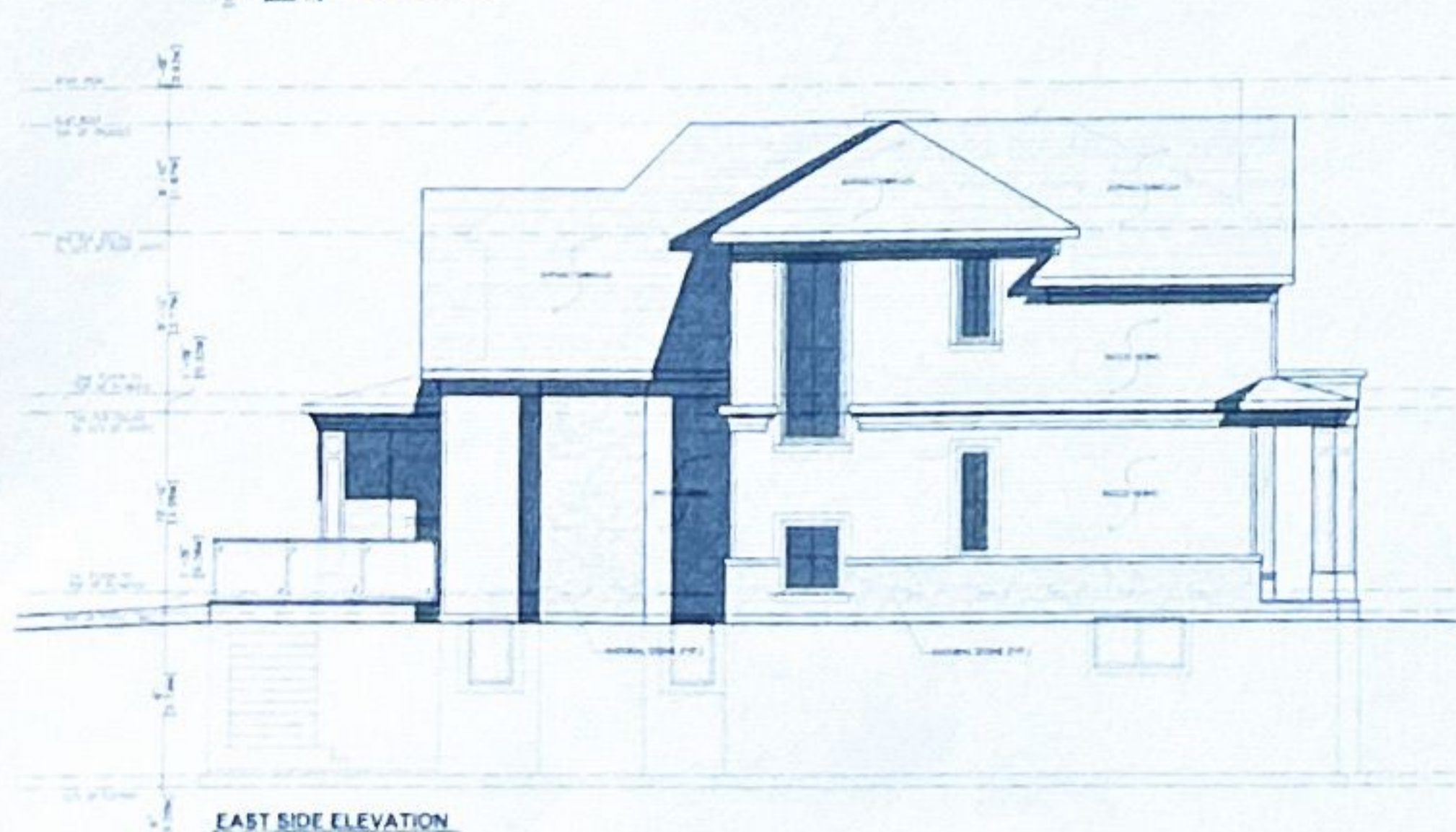
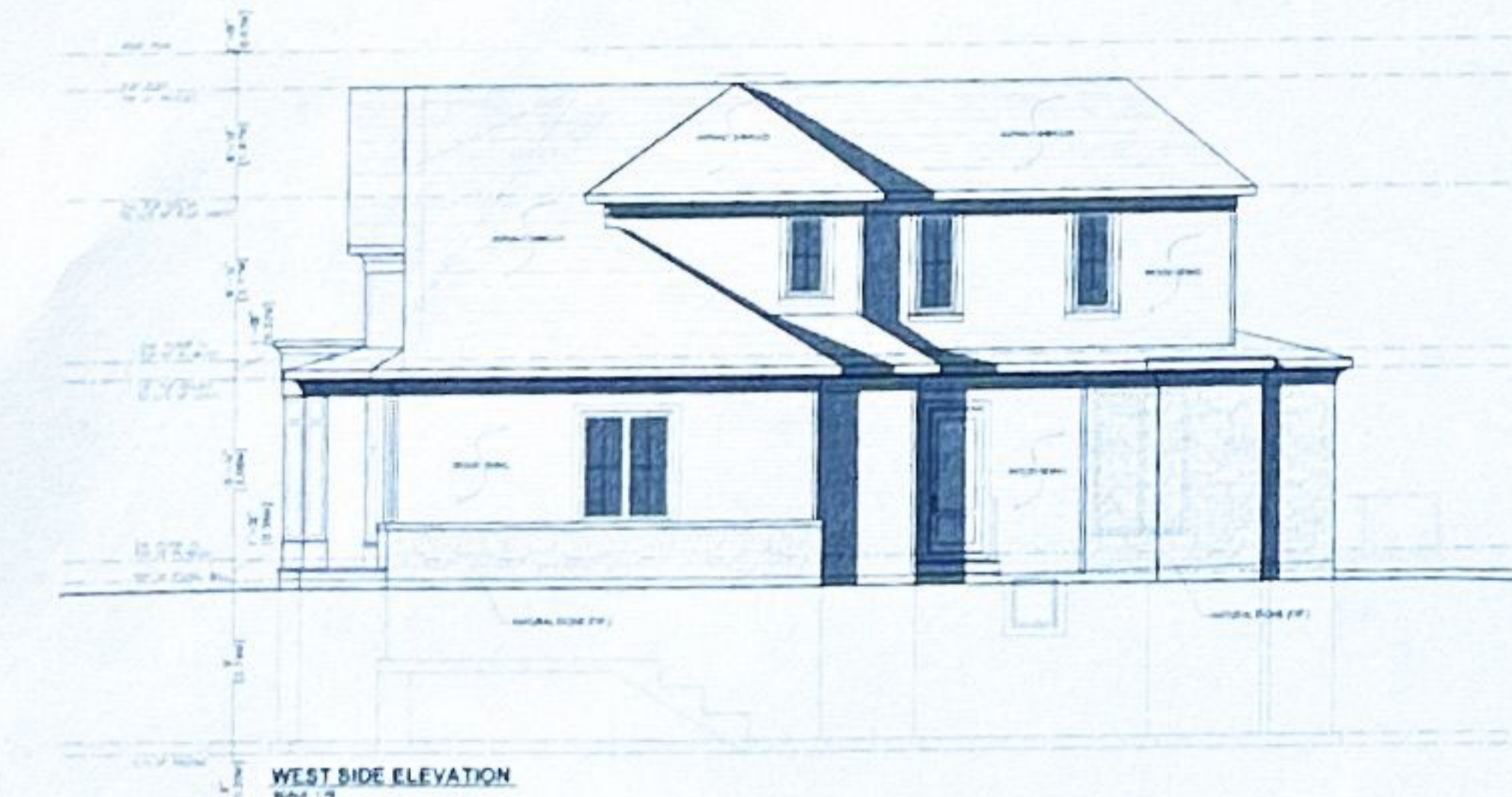
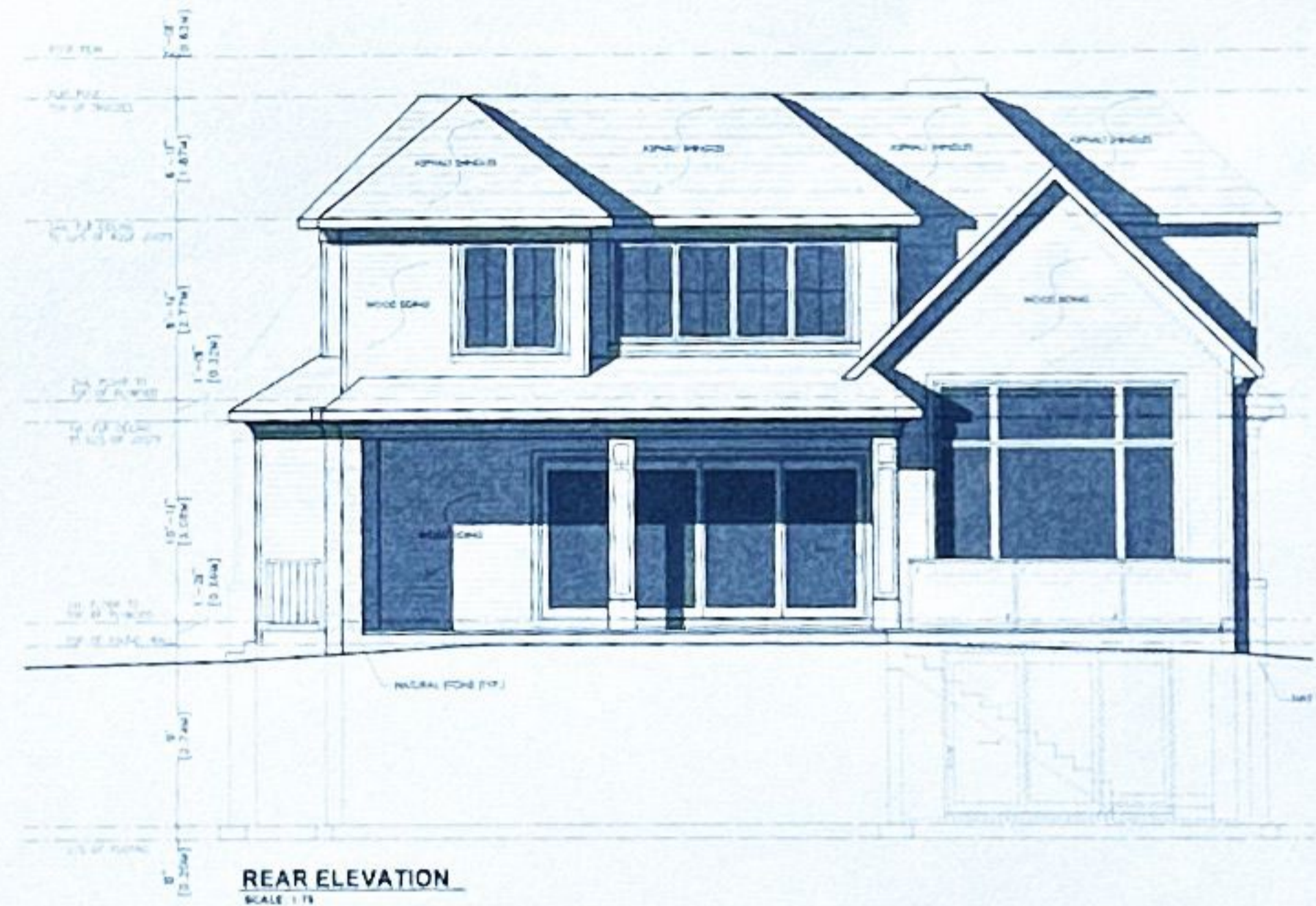
ADDRESS

Henry Ulozas / Jane Graham

SIGNATURE

SITE STATISTICS 214 MOHAWK ROAD

	EXISTING	PROPOSED	TOTAL	ALLOWED
ZONING	RL5-0			
LOT AREA	697 M2			
LOT COVERAGE	---	243.53M2	---	243.95M2 <small>2,822.32 FT²</small>
LOT COVERAGE	---	34.94%	---	35%
R F A	---	301.77M2	---	285.77M2 <small>3,078.56 FT²</small>
R F A	---	43.3%	---	41%
BLDG HEIGHT (PEAK)	---	9.60M	---	9 M
FRONT YARD SETBACK	---	8.38M	---	9.49M



Letter of Support

We have reviewed the plans with our neighbours for their proposed new home to be built at 214 Mohawk Rd., and have no objections to the minor variances being requested through the Committee of Adjustment.

Sylvia Rodgers

NAME

218 Mohawk Rd, Oakville ON L6L 2Z2

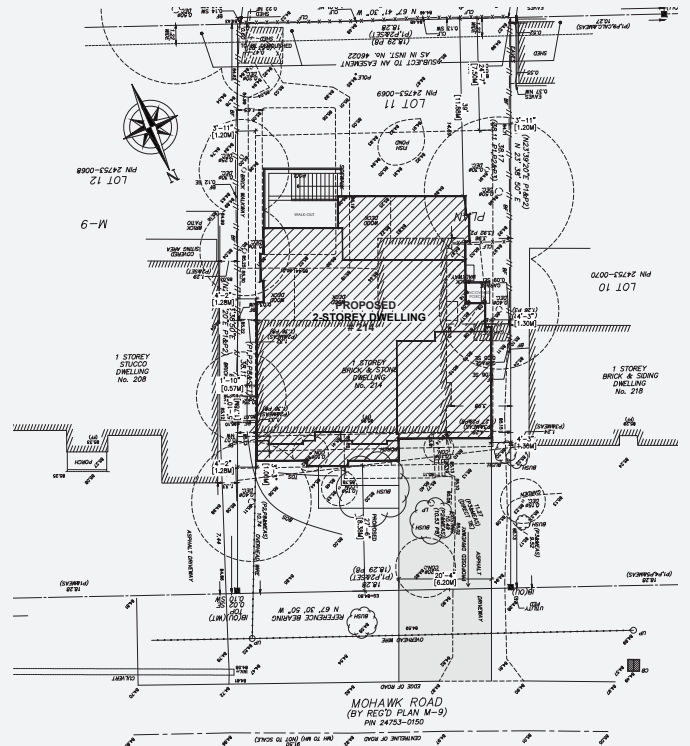
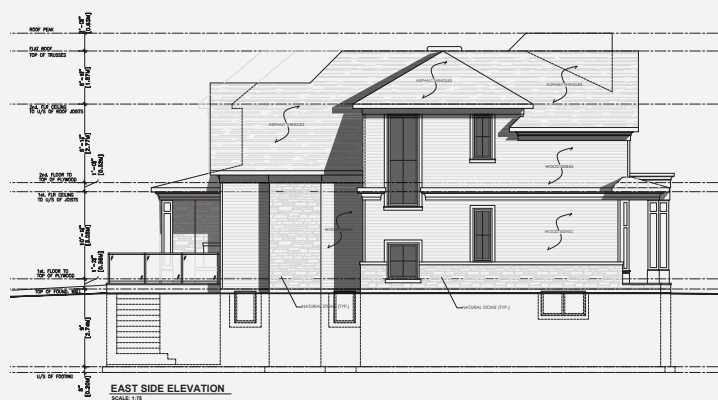
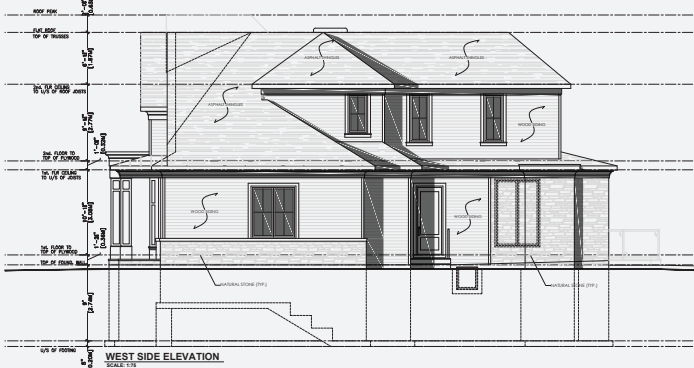
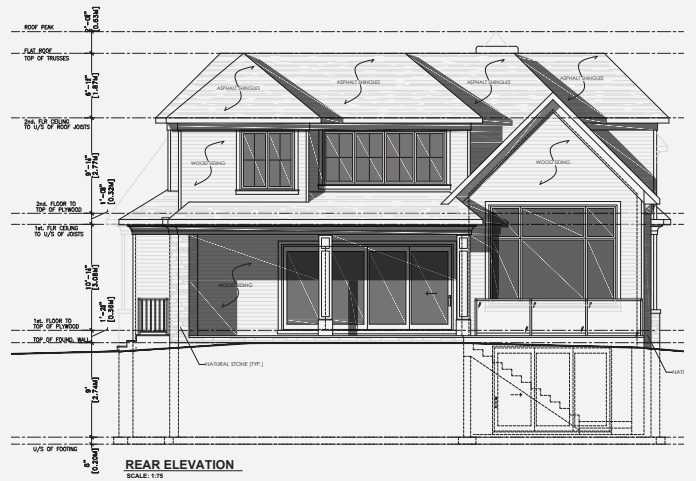
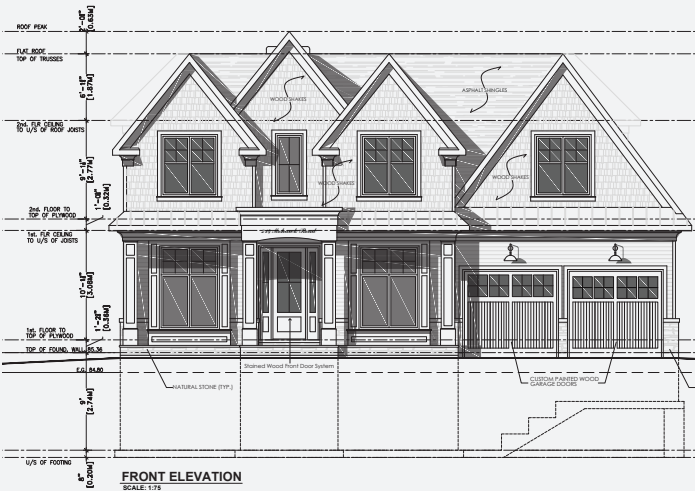
ADDRESS

Sylvia Rodgers

SIGNATURE

SITE STATISTICS: 214 MOHAWK ROAD

	EXISTING	PROPOSED	TOTAL	ALLOWED
ZONING:	RL5-0			
LOT AREA:	697 M2			
LOT COVERAGE :	--- M2	243.53M2	--- M2	243.95M2
LOT COVERAGE :	---	34.94%	---	35%
R.F.A. :	--- M	301.77M2	--- M	285.77M2
R.F.A. :	---	43.3%	---	41%
BLDG. HEIGHT (PEAK) :	--- M	9.60M	--- M	9 M
FRONT YARD SETBACK :	--- M	8.38M	--- M	9.49M



214
MOHAWK ROAD
OAKVILLE

LETTER OF SUPPORT

Letter of Support

We have reviewed the plans with our neighbours for their proposed new home to be built at 214 Mohawk Rd., and have no objections to the minor variances being requested through the Committee of Adjustment.

MARIA FADDOUC

NAME

247 MOHAWK RD

ADDRESS

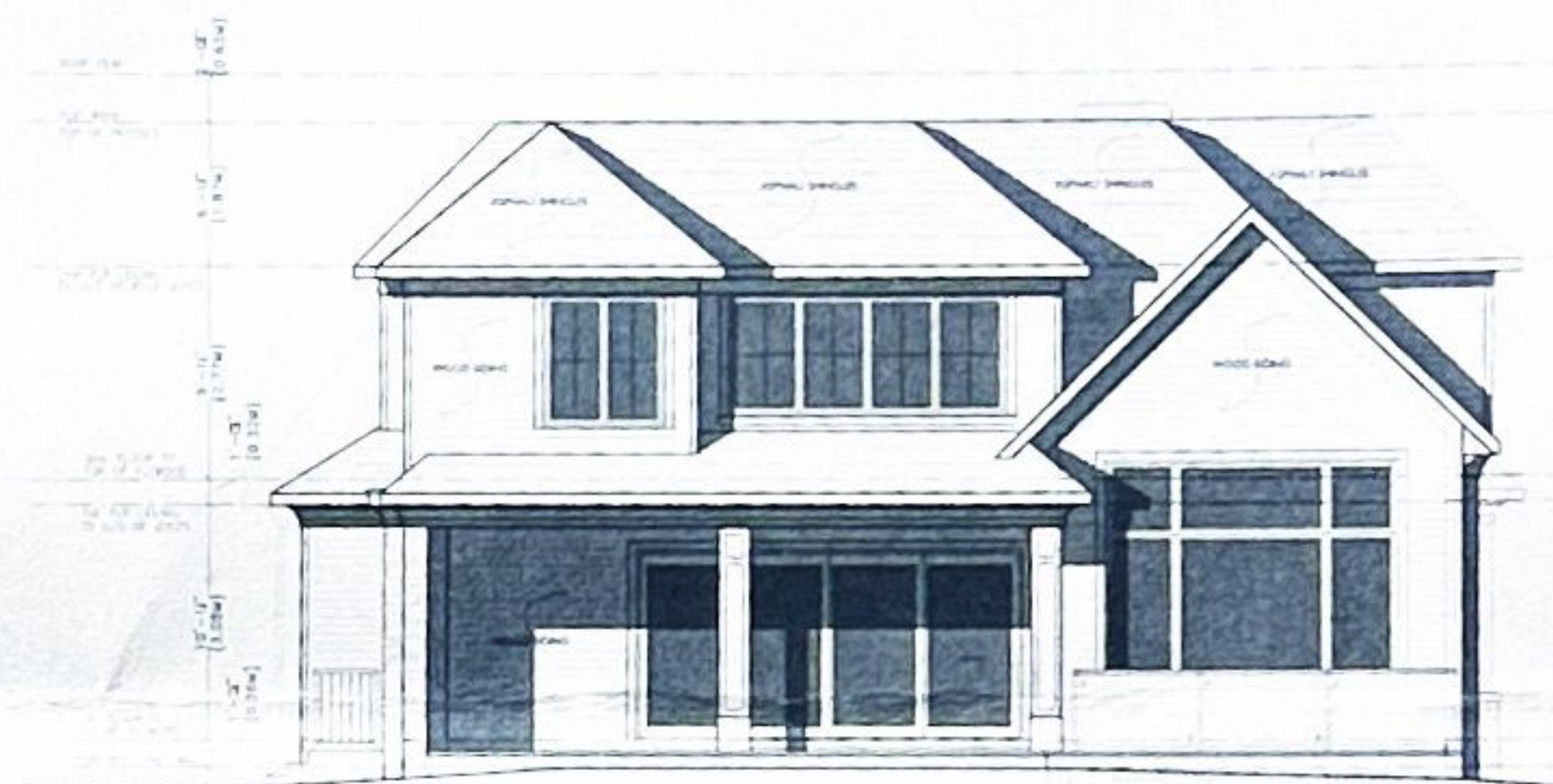
SIGNATURE

SITE STATISTICS: 214 MOHAWK ROAD

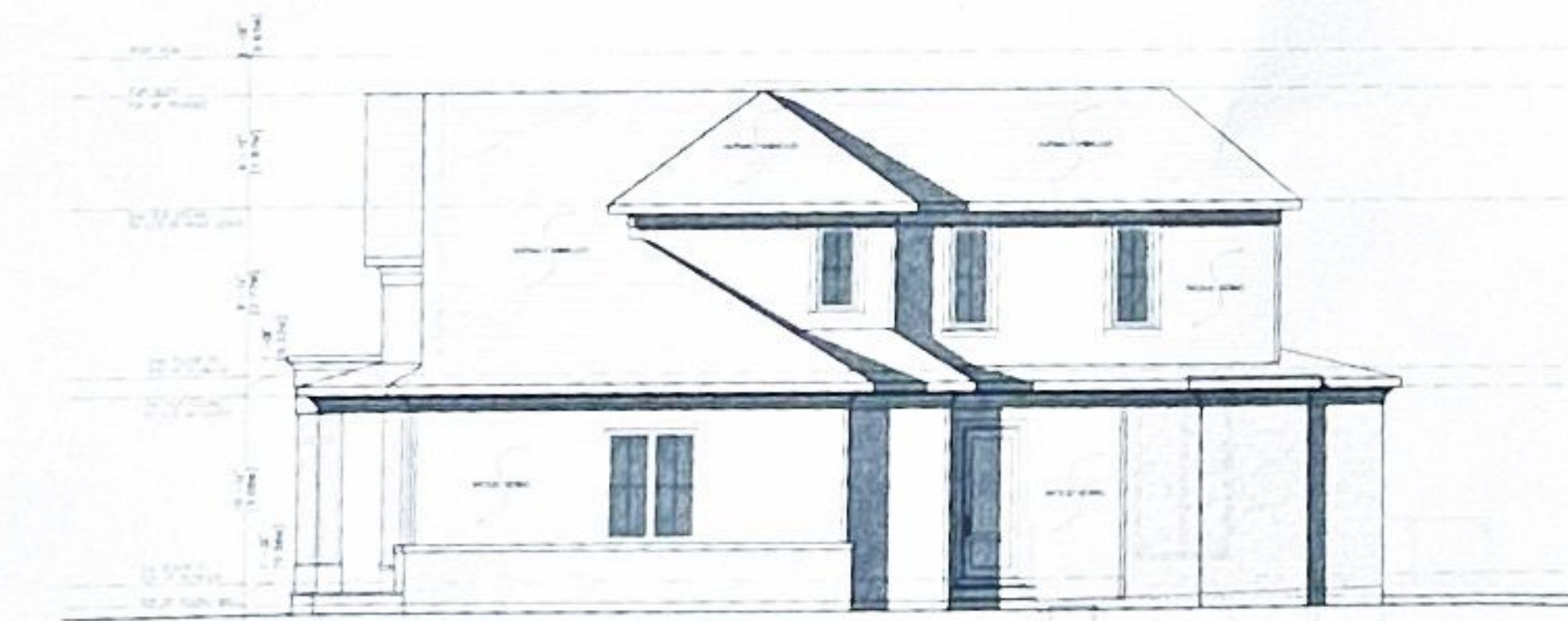
	EXISTING	PROPOSED	TOTAL	ALLOWED
ZONING	RLS-0			
LOT AREA	697 M ²			
LOT COVERAGE	---	243.53M ²	---	243.95M ² <small>34.98%</small>
LOT COVERAGE	---	34.94%	---	35%
R.F.A.	---	301.77M ²	---	285.77M ² <small>41.00%</small>
R.F.A.	---	43.3%	---	41%
BLDG HEIGHT (PEAK)	---	9.60M	---	9 M
FRONT YARD SETBACK	---	8.38M	---	9.49M



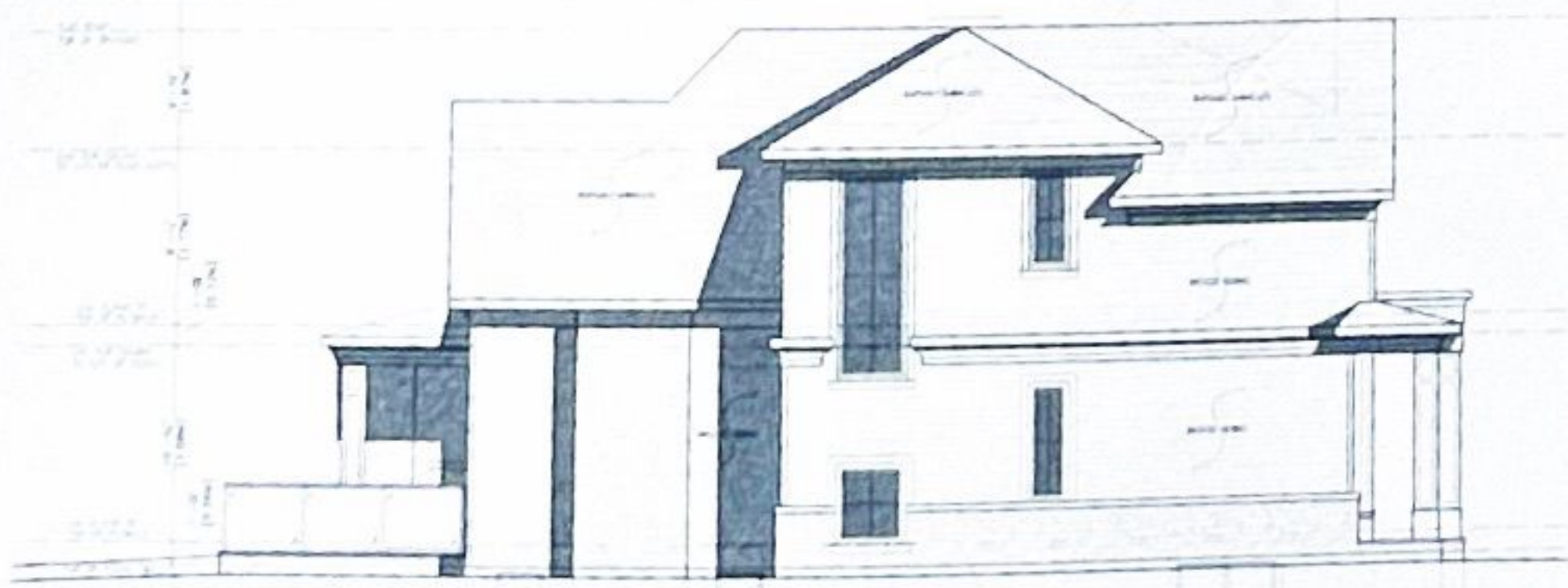
FRONT ELEVATION
 SCALE: 1/8"



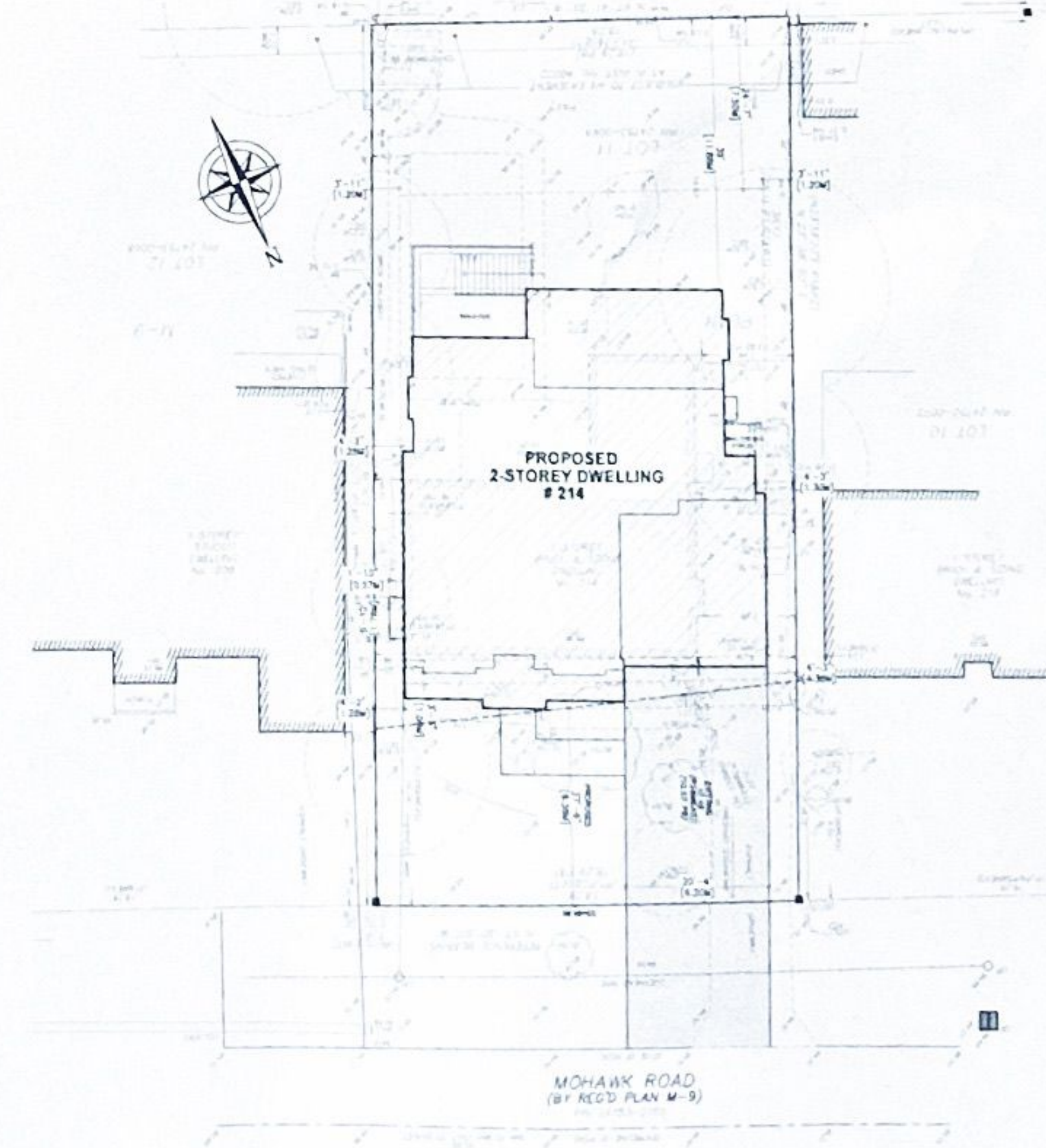
REAR ELEVATION
 SCALE: 1/8"



WEST SIDE ELEVATION
 SCALE: 1/8"



EAST SIDE ELEVATION
 SCALE: 1/8"



214
MOHAWK ROAD
OAKVILLE

LETTER OF SUPPORT

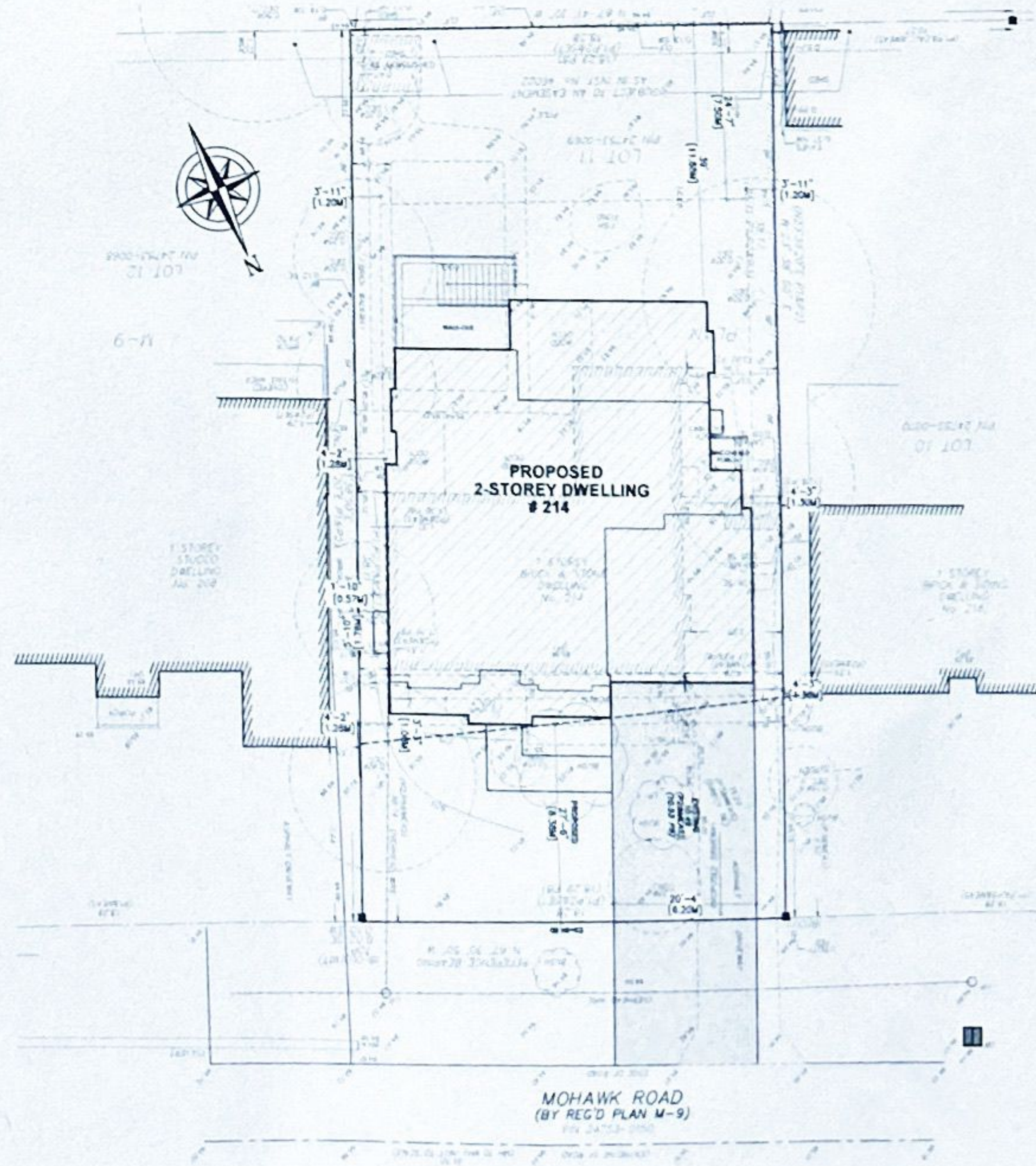
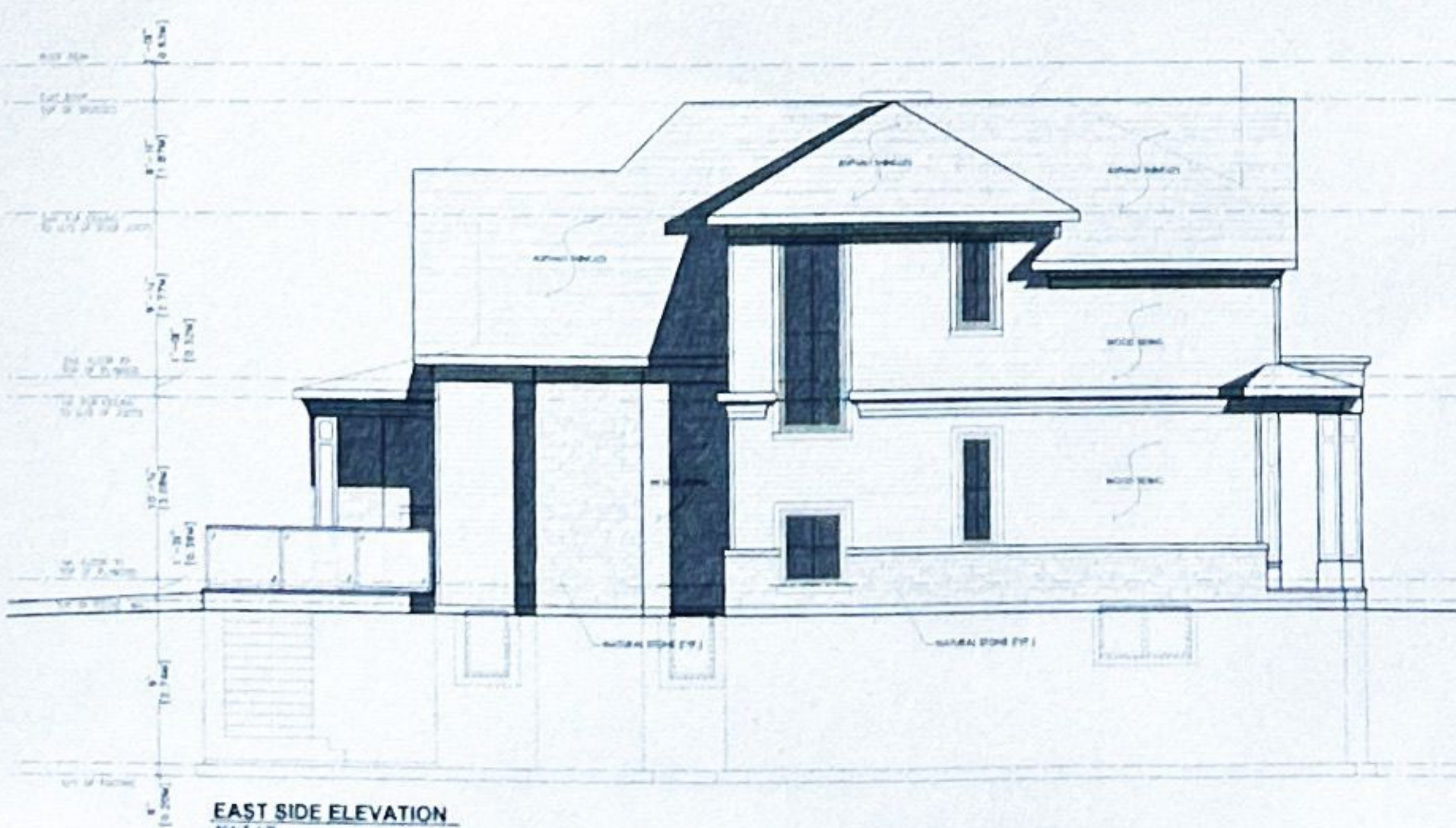
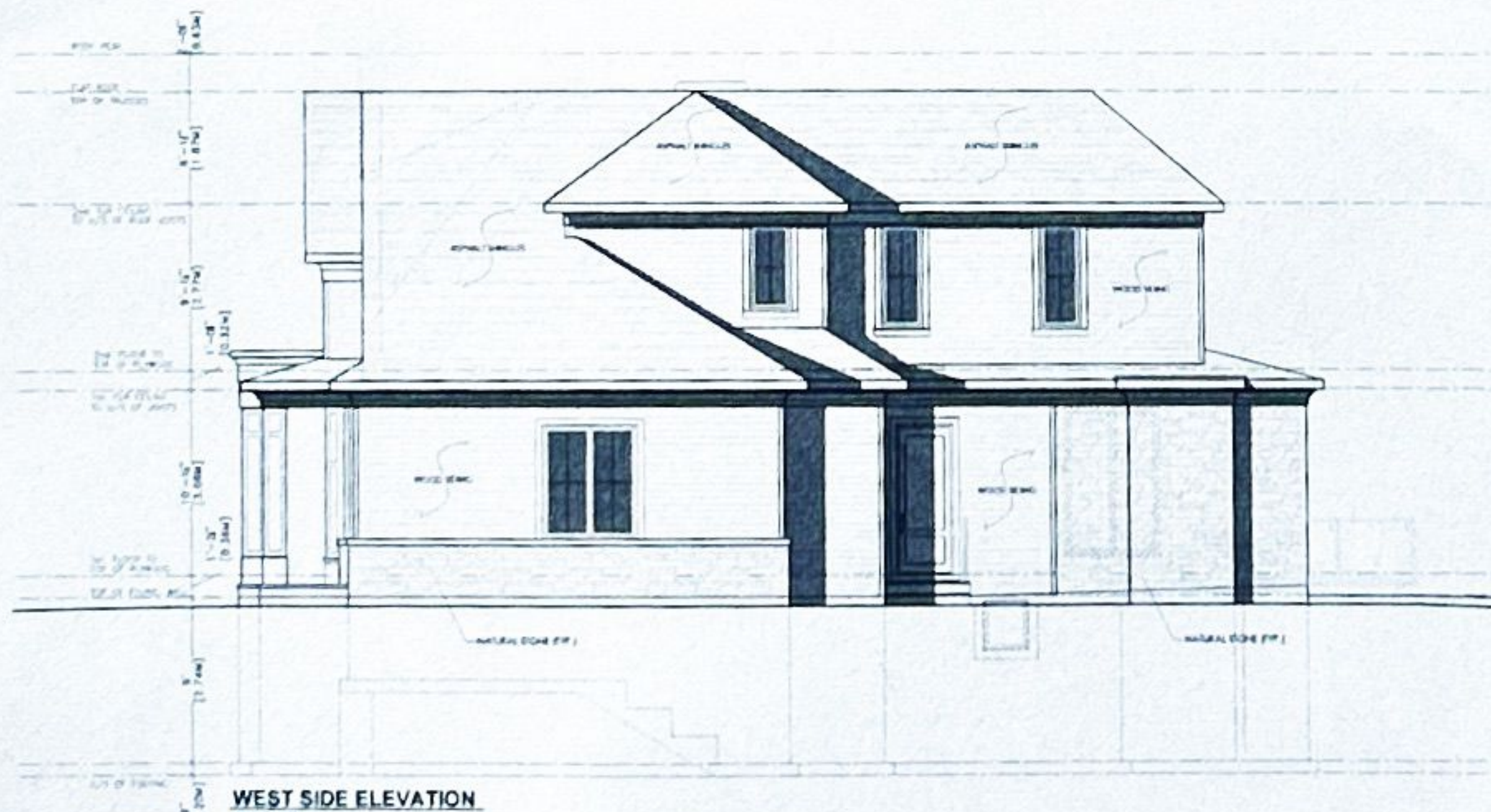
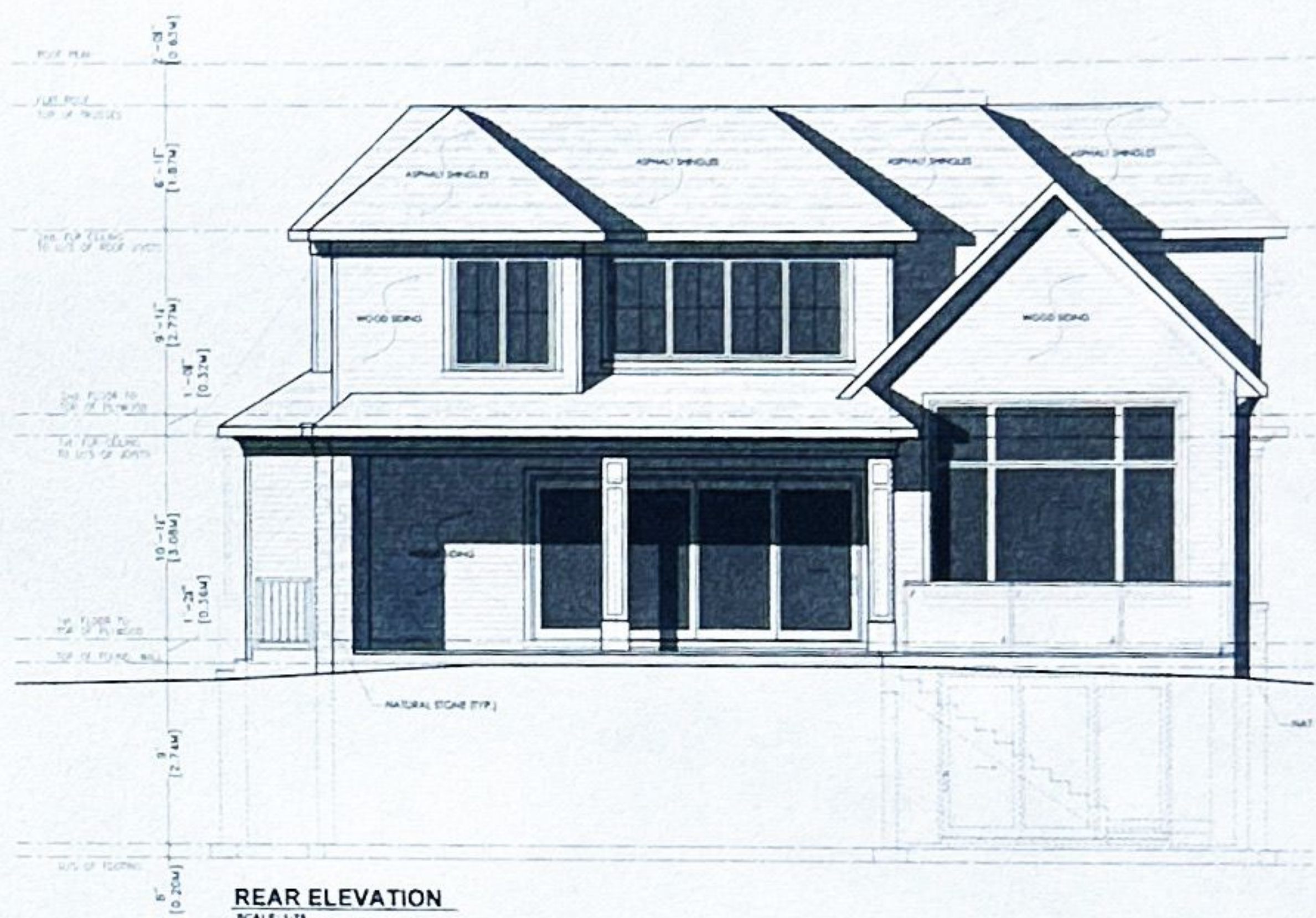
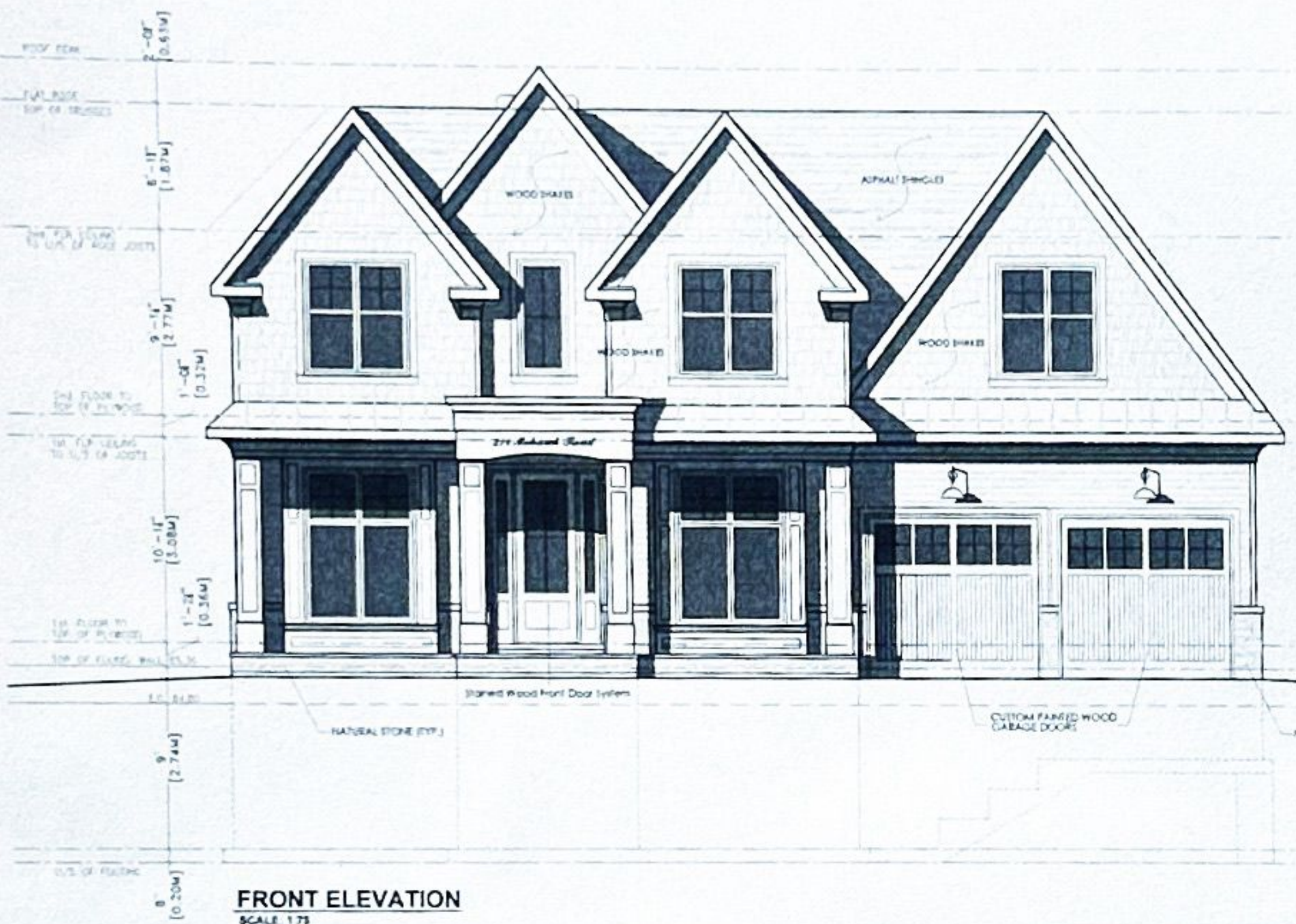
Letter of Support

We have reviewed the plans with our neighbours for their proposed new home to be built at 214 Mohawk Rd., and have no objections to the minor variances being requested through the Committee of Adjustment.

NAME: MARCIN LESNIAK
 ADDRESS: 207 MOHAWK RD
 SIGNATURE: [Handwritten Signature]

SITE STATISTICS: 214 MOHAWK ROAD

	EXISTING	PROPOSED	TOTAL	ALLOWED
ZONING:	RL5-0			
LOT AREA:	697 M2			
LOT COVERAGE:	--- M2	243.53M2	--- M2	243.95M2 35.0% (2,612.50 FT ²)
LOT COVERAGE:	--- %	34.94%	--- %	35%
R.F.A.:	--- M	301.77M2	--- M	285.77M2 40.7% (3,076.50 FT ²)
R.F.A.:	---%	43.3%	---%	41%
BLDG. HEIGHT (PEAK):	--- M	9.60M	--- M	9 M
FRONT YARD SETBACK:	--- M	8.38M	--- M	9.49M



214
MOHAWK ROAD
OAKVILLE

Letter of Support

We have reviewed the plans with our neighbours for their proposed new home to be built at 214 Mohawk Rd., and have no objections to the minor variances being requested through the Committee of Adjustment.

Shannon Lewis-Lewis

NAME

199 Mohawk Road Oakville on Lot 21

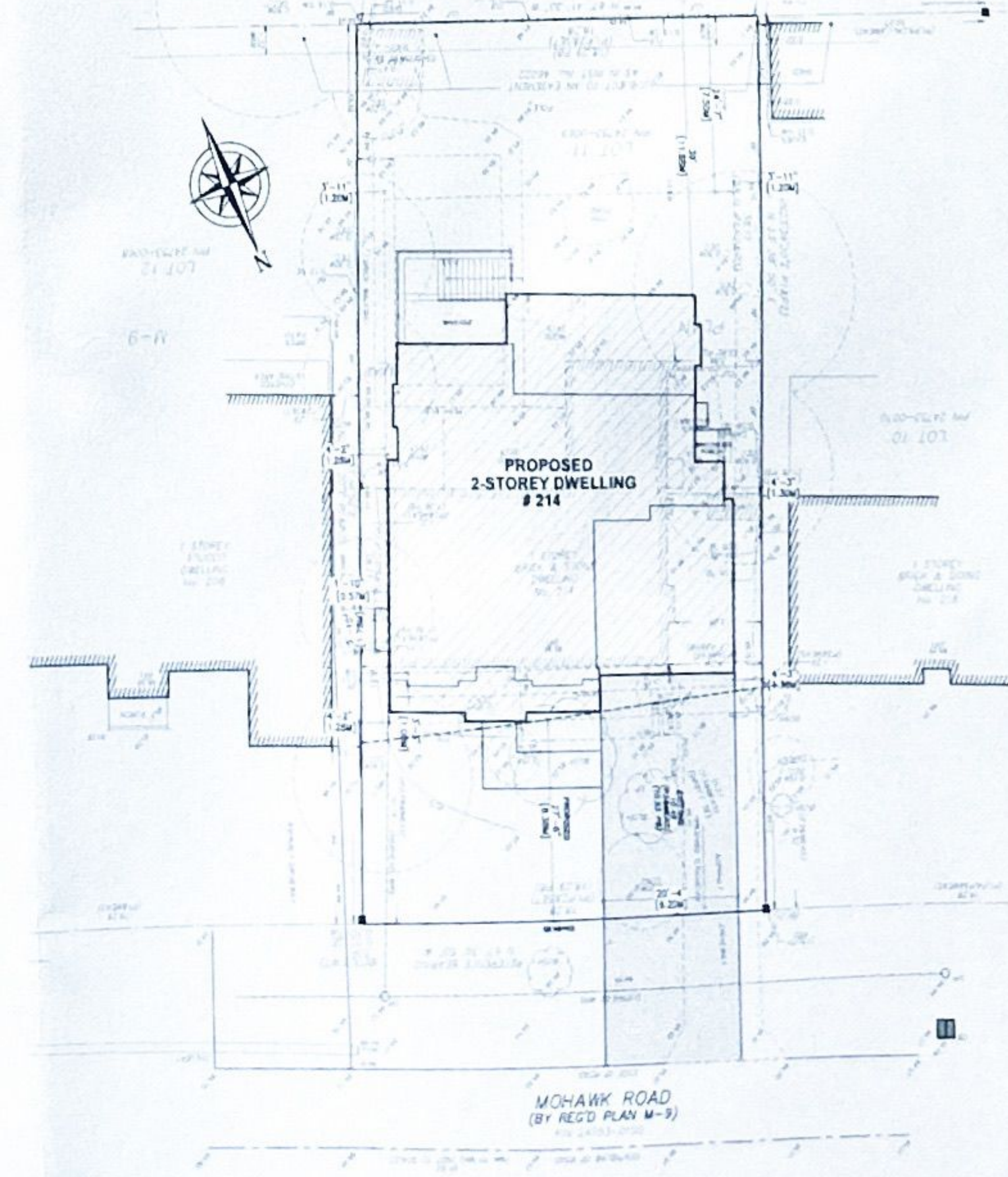
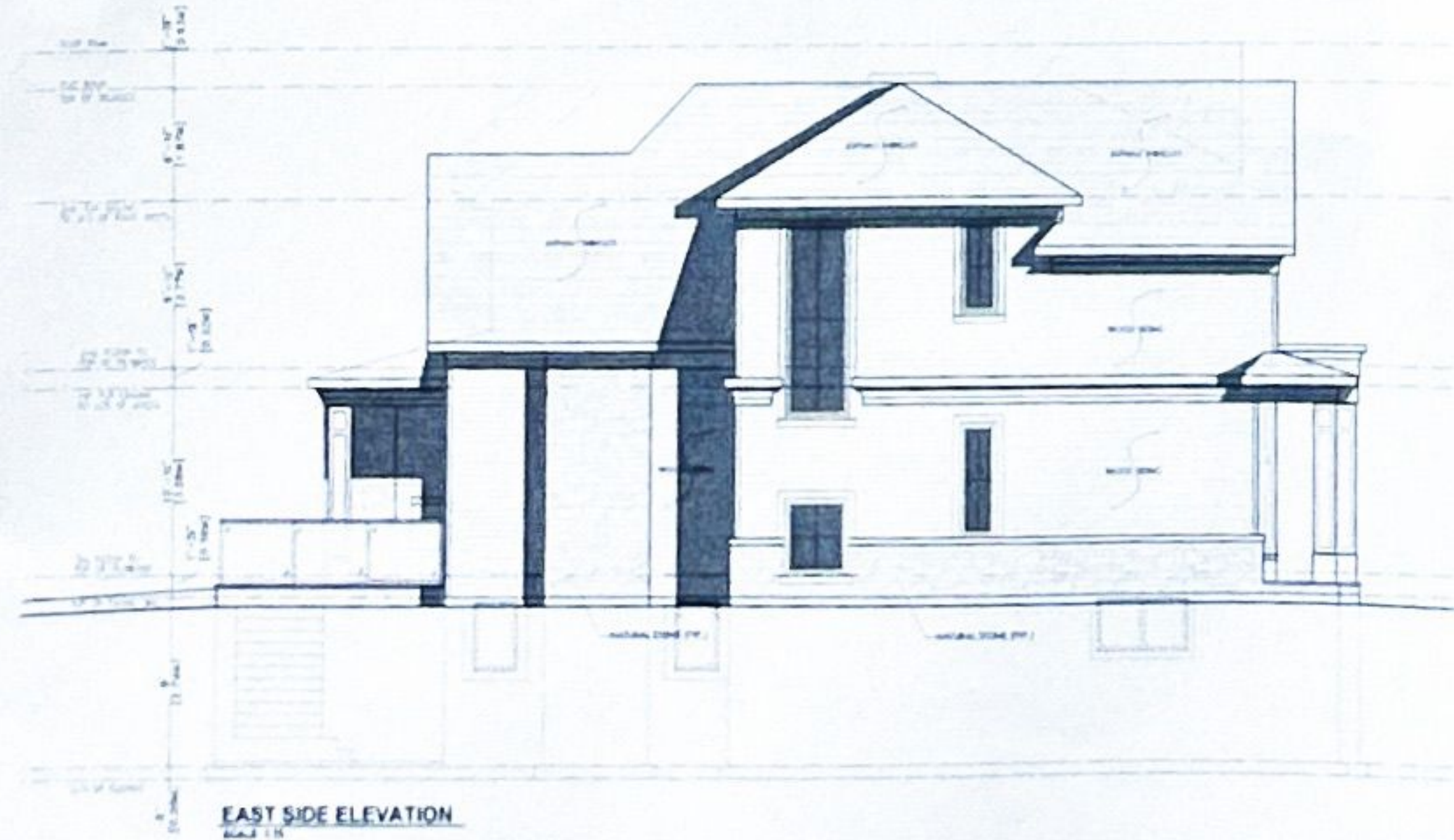
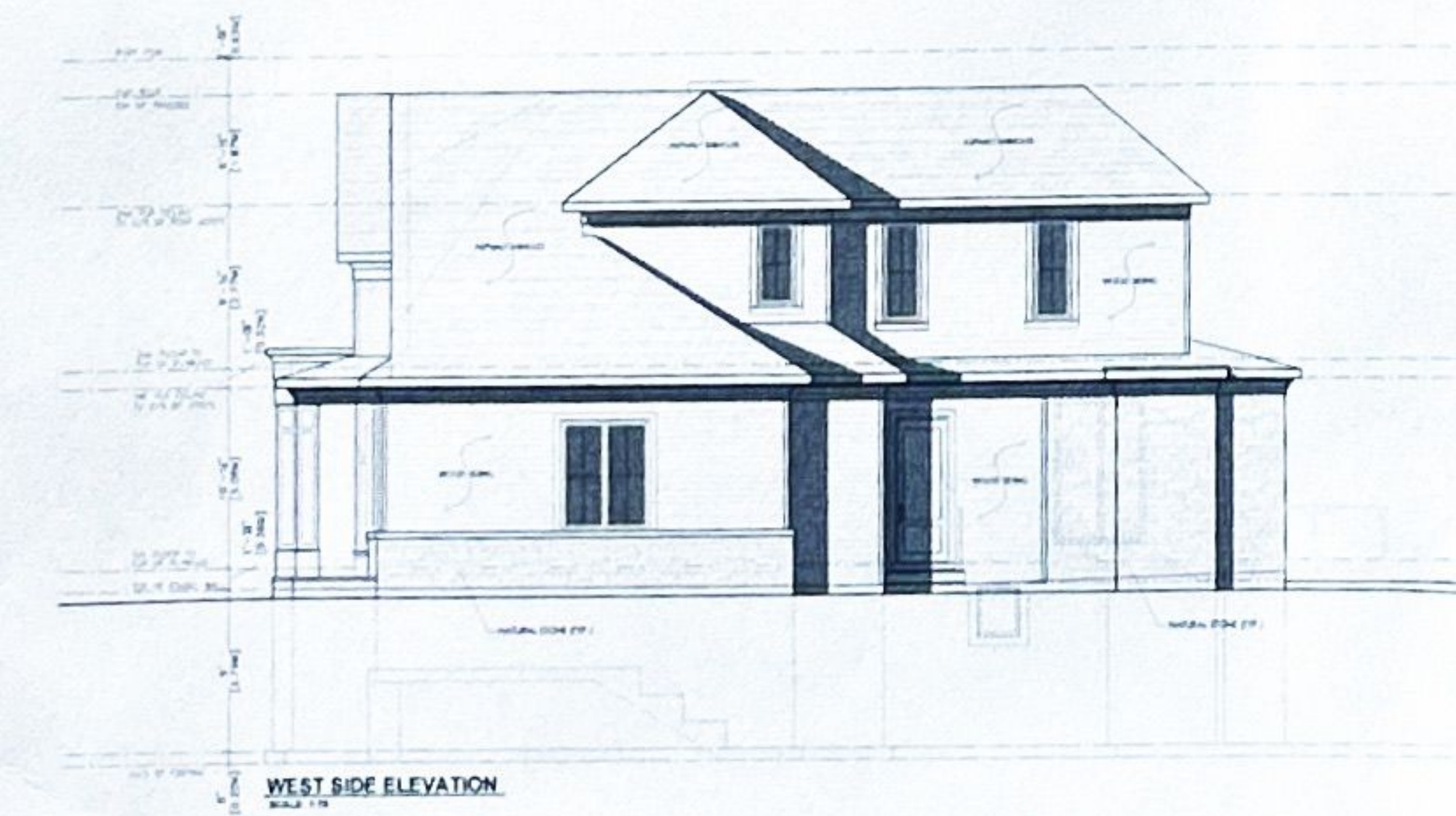
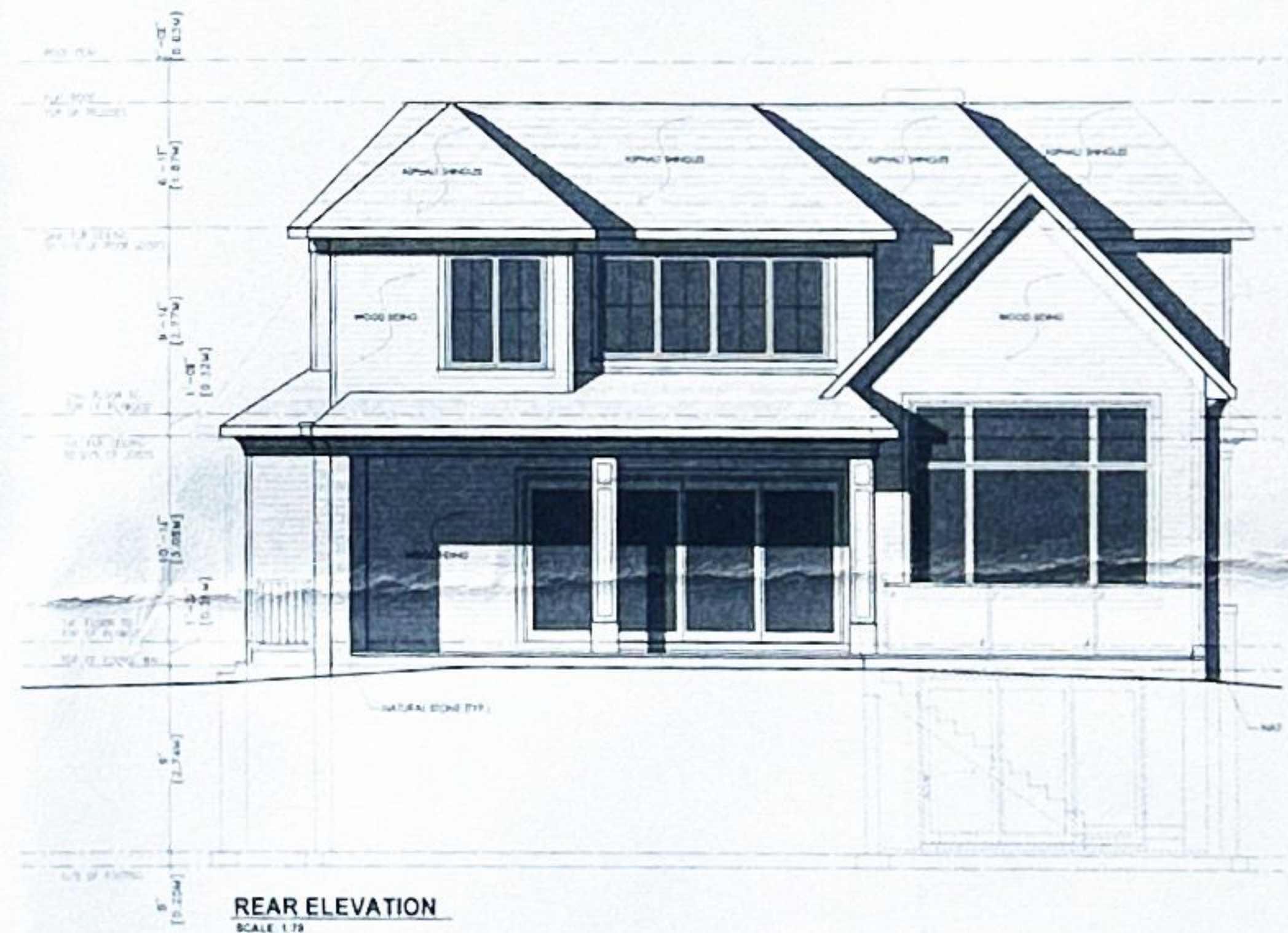
ADDRESS

SPL

SIGNATURE

SITE STATISTICS 214 MOHAWK ROAD

	EXISTING	PROPOSED	TOTAL	ALLOWED
ZONING	RL5-0			
LOT AREA	697 M2			
LOT COVERAGE	---	243.53M2	---	243.95M2 34.9%
LOT COVERAGE	---	34.94%	---	35%
R F A	---	301.77M2	---	285.77M2 40.9%
R F A	---	43.3%	---	41%
BLDG HEIGHT (PEAK)	---	9.60M	---	9 M
FRONT YARD SETBACK	---	8.38M	---	9.49M



214
MOHAWK ROAD
OAKVILLE

LETTER OF SUPPORT

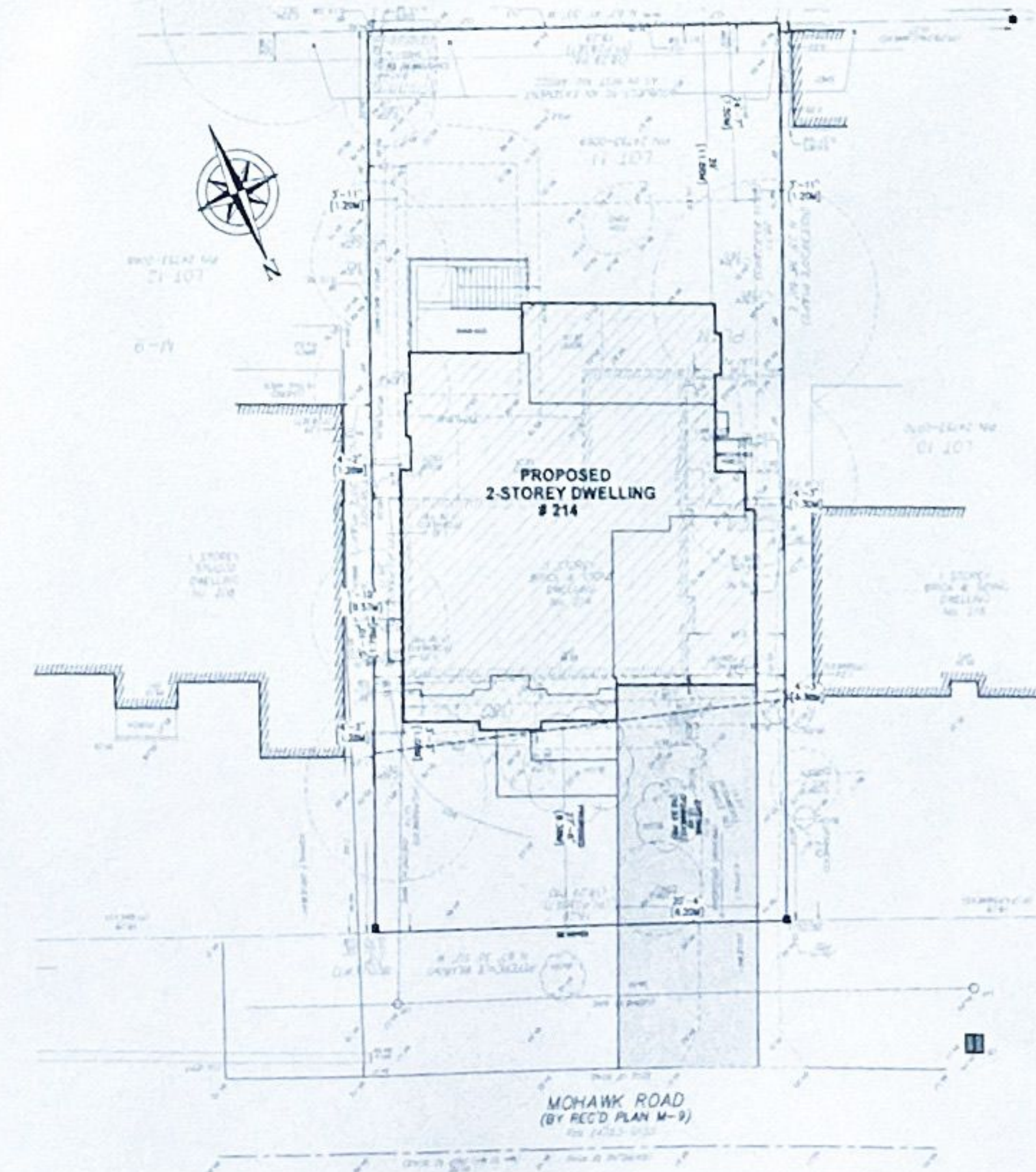
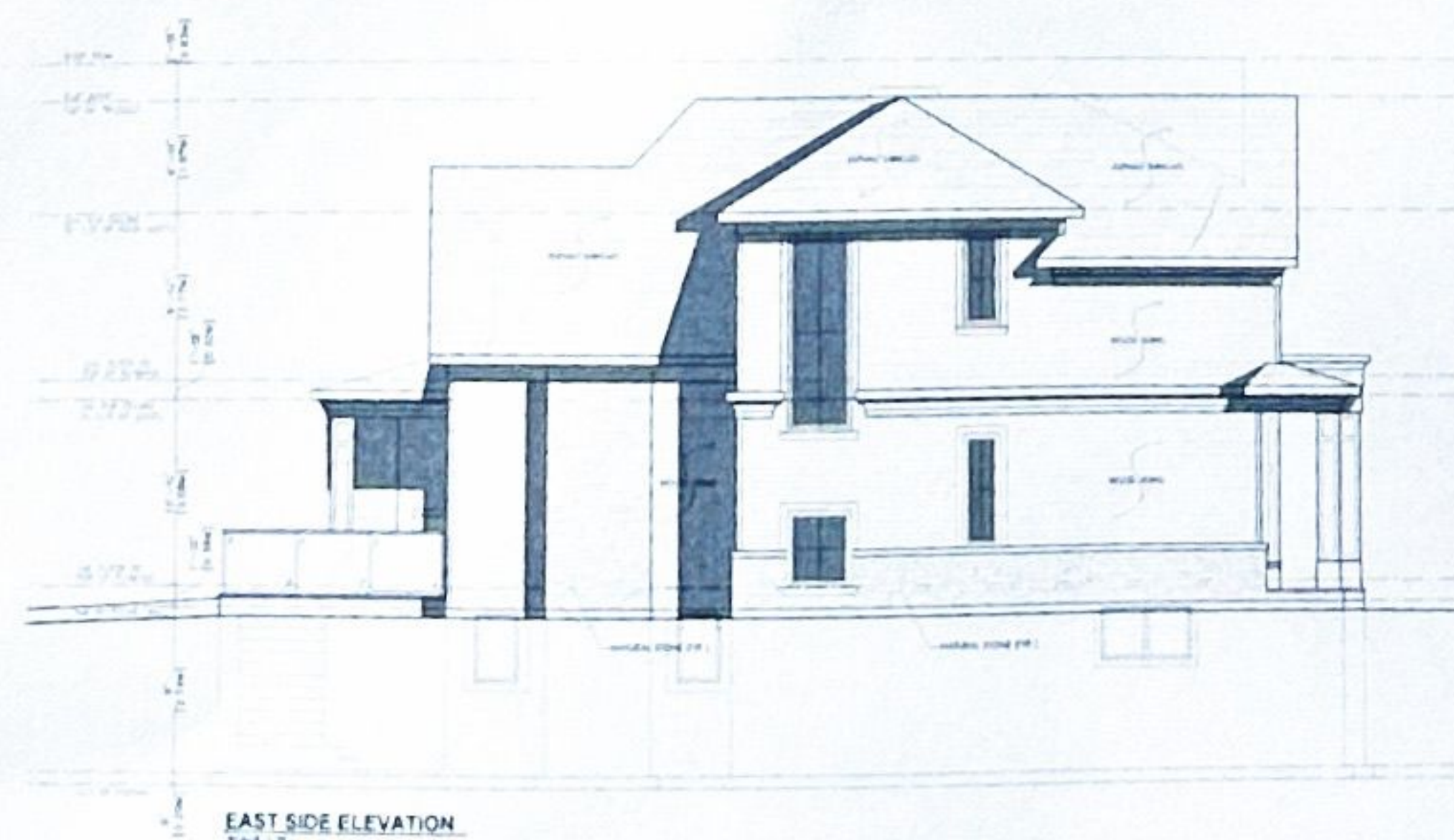
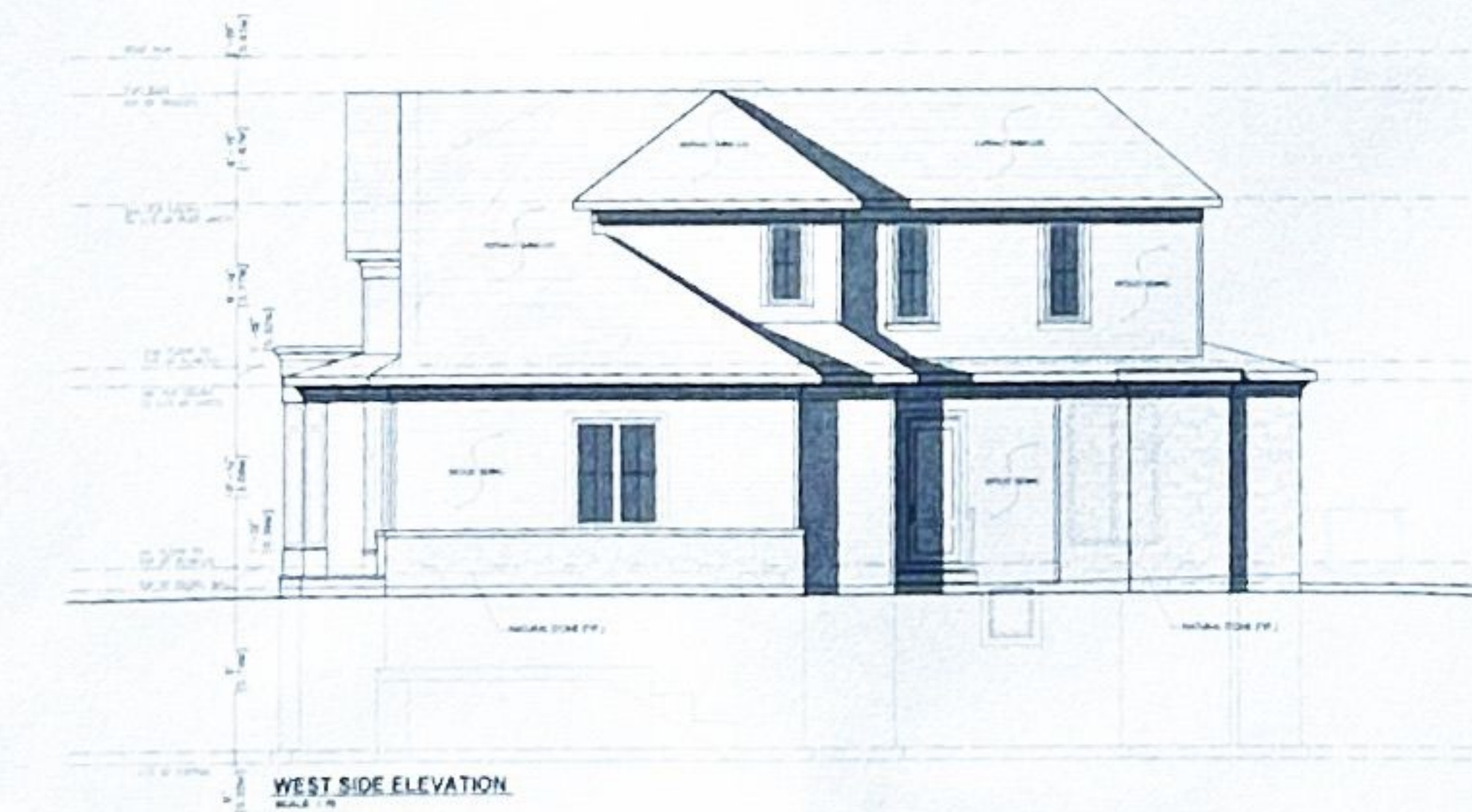
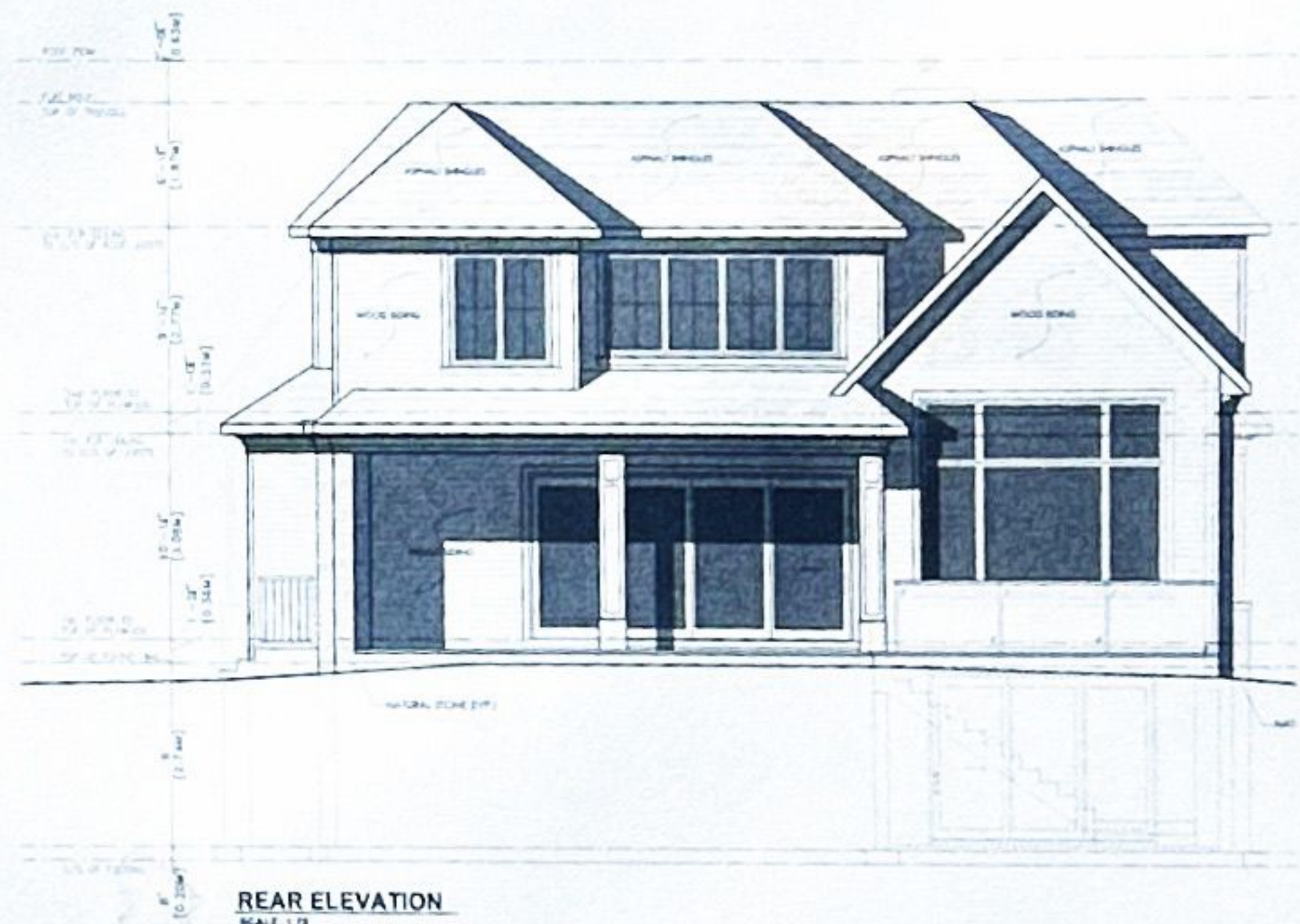
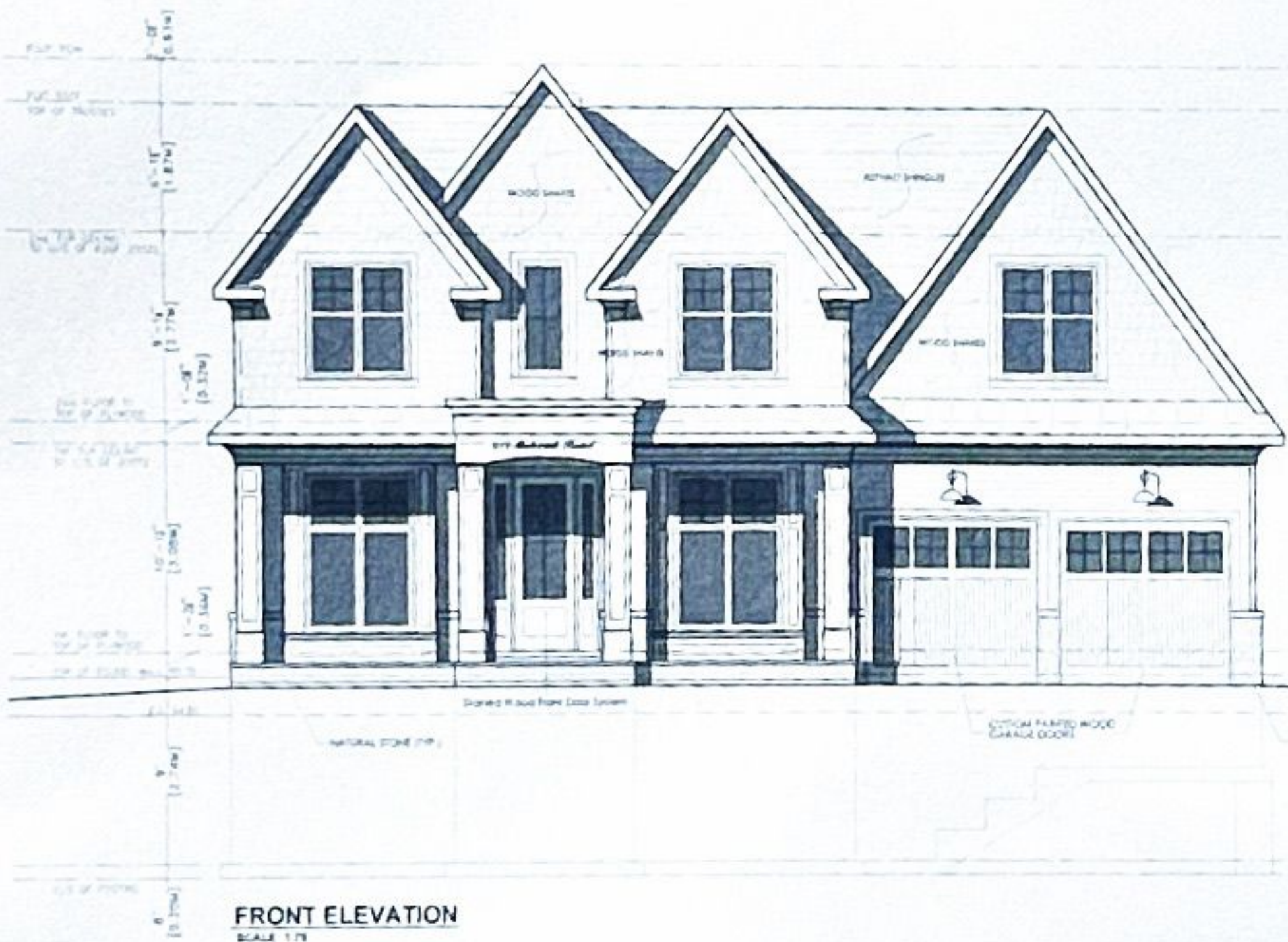
Letter of Support

We have reviewed the plans with our neighbours for their proposed new home to be built at 214 Mohawk Rd., and have no objections to the minor variances being requested through the Committee of Adjustment.

NAME DALIP
 ADDRESS 231 Mohawk Rd
Dalip Kumar
 SIGNATURE

SITE STATISTICS 214 MOHAWK ROAD

	EXISTING	PROPOSED	TOTAL	ALLOWED
ZONING	RL5-0			
LOT AREA	697 M2			
LOT COVERAGE	---	M2 243.53M2	---	M2 243.95M2 <small>3,523.30 FT²</small>
LOT COVERAGE	---	% 34.94%	---	% 35%
R.F.A.	---	M 301.77M2	---	M 285.77M2 <small>3,878.59 FT²</small>
R.F.A.	---	% 43.3%	---	% 41%
BLDG HEIGHT (PEAK)	---	M 9.60M	---	M 9
FRONT YARD SETBACK	---	M 8.38M	---	M 9.49M




214
MOHAWK ROAD
OAKVILLE

LETTER OF SUPPORT

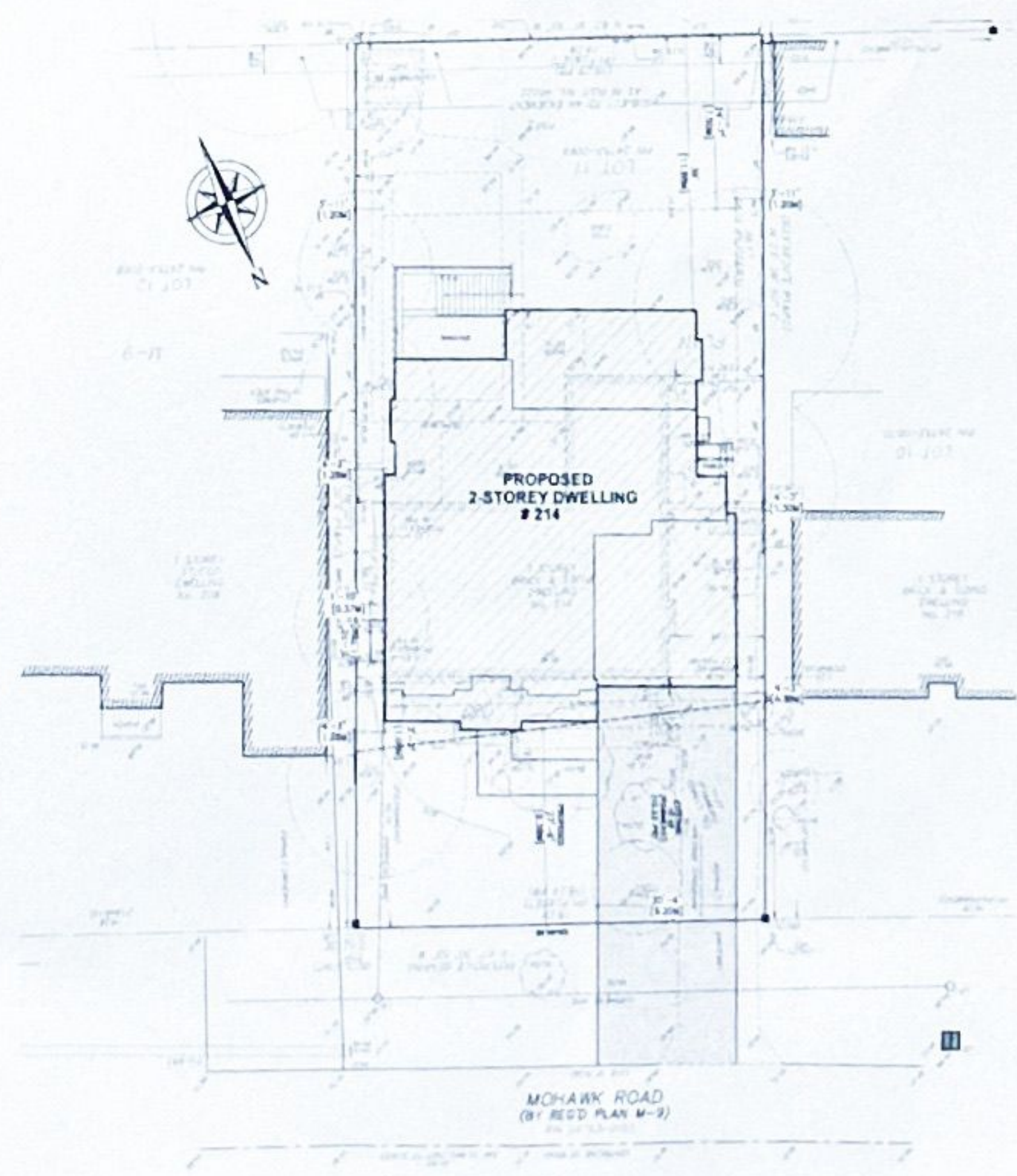
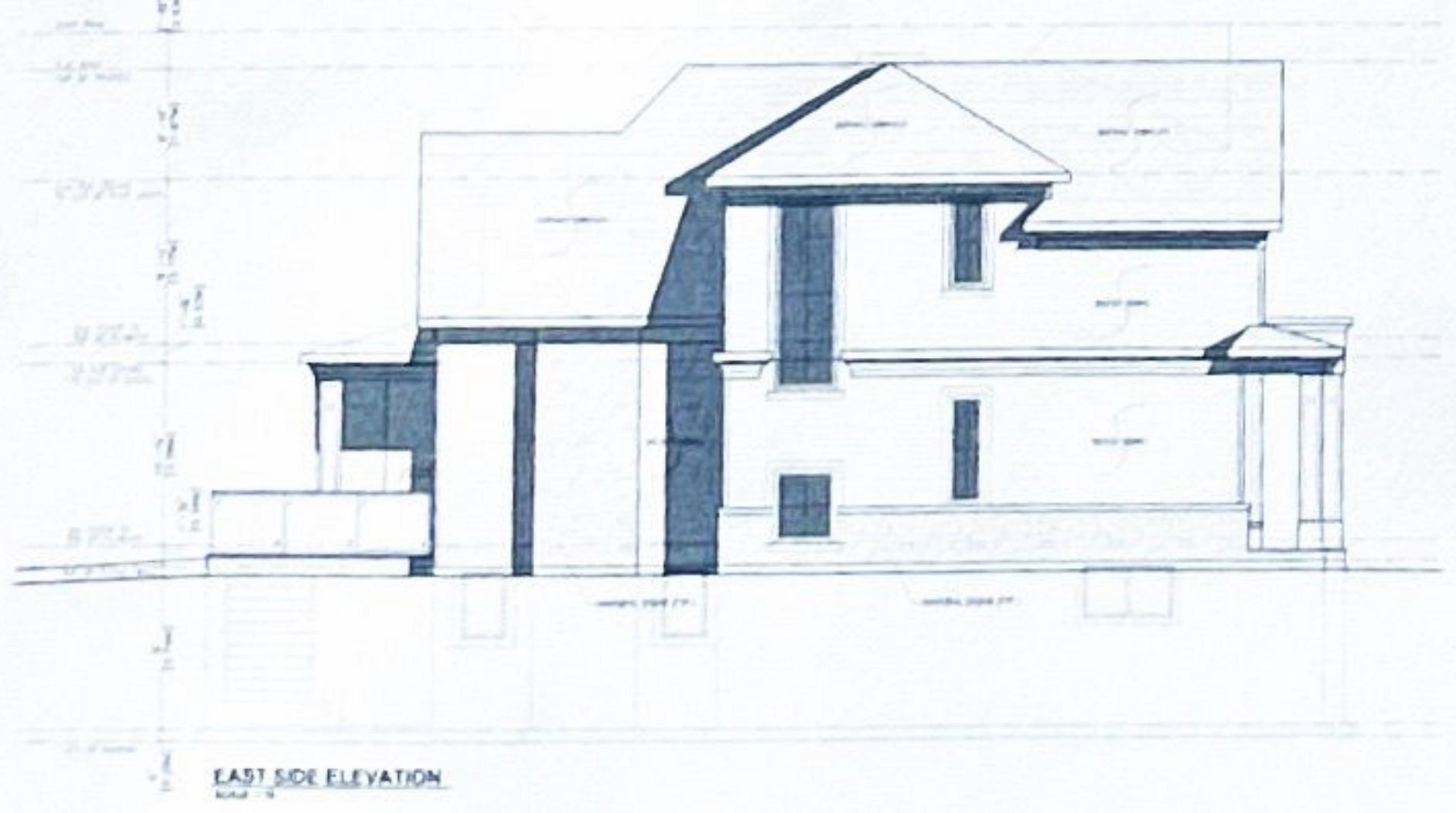
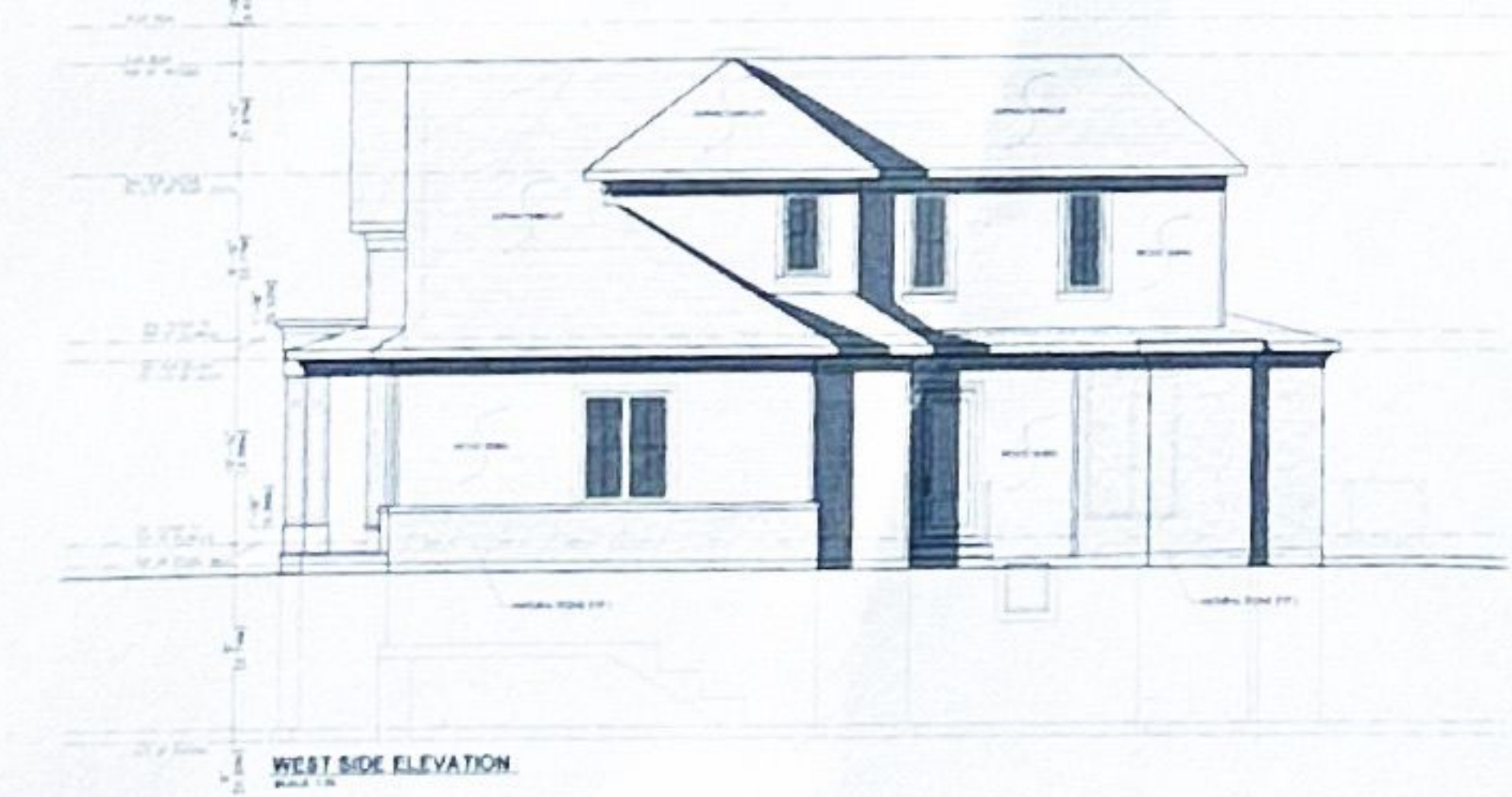
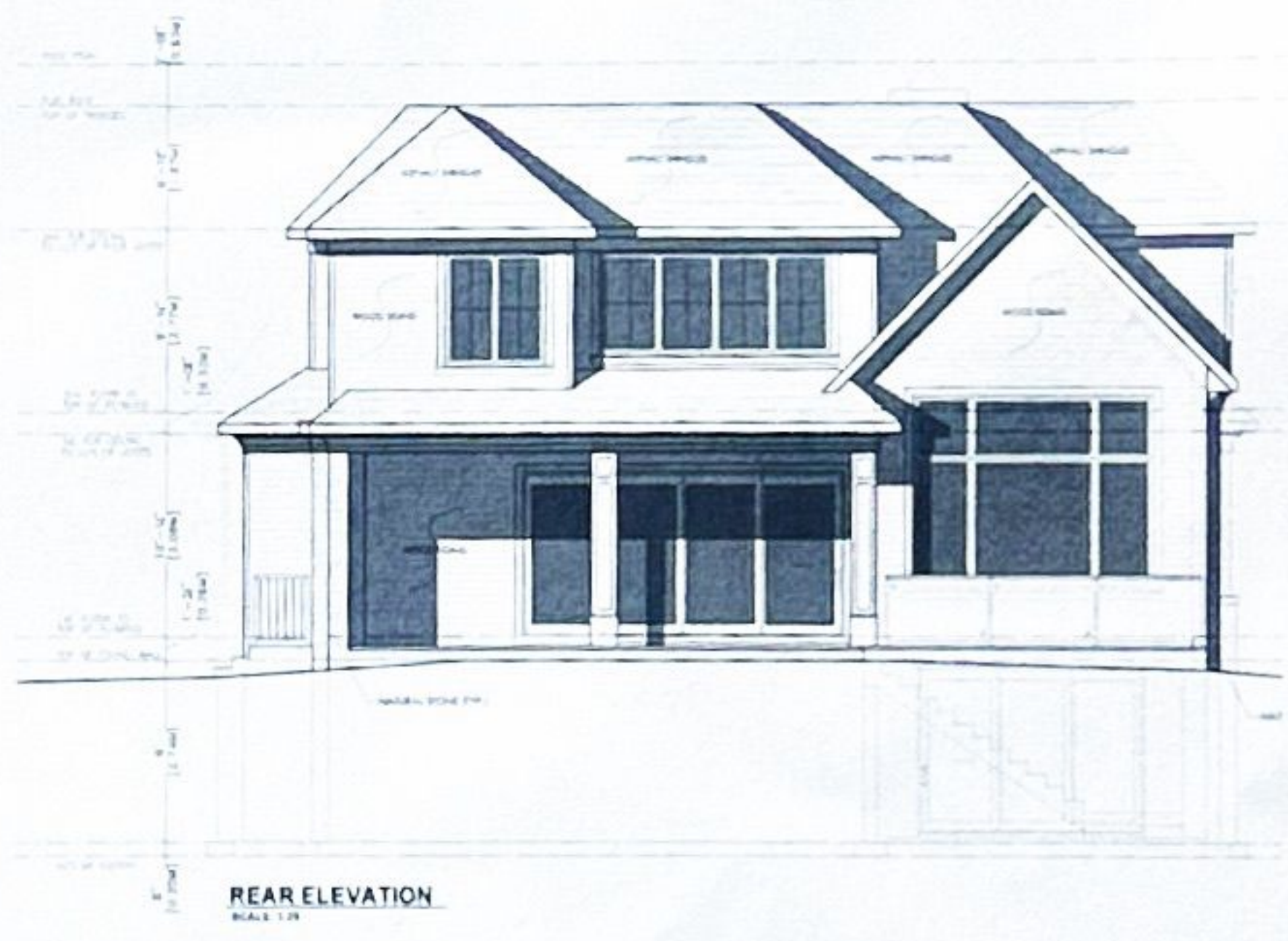
Letter of Support

We have reviewed the plans with our neighbours for their proposed new home to be built at 214 Mohawk Rd., and have no objections to the minor variances being requested through the Committee of Adjustment.

NAME SCOTT PEARCE
 ADDRESS 184 MOHAWK ROAD L6L 2Z2
 SIGNATURE 

SITE STATISTICS 214 MOHAWK ROAD

	EXISTING	PROPOSED	TOTAL	ALLOWED
ZONING	RL5-0			
LOT AREA	697 M ²			
LOT COVERAGE	---	243.53M ²	---	243.95M ² <small>349.36 FT²</small>
LOT COVERAGE	---	34.94%	---	35%
R.F.A.	---	301.77M ²	---	285.77M ² <small>3079.50 FT²</small>
R.F.A.	---	43.3%	---	41%
BLDG HEIGHT (PEAK)	---	9.60M	---	9 M
FRONT YARD SETBACK	---	8.38M	---	9.49M



214
MOHAWK ROAD
OAKVILLE

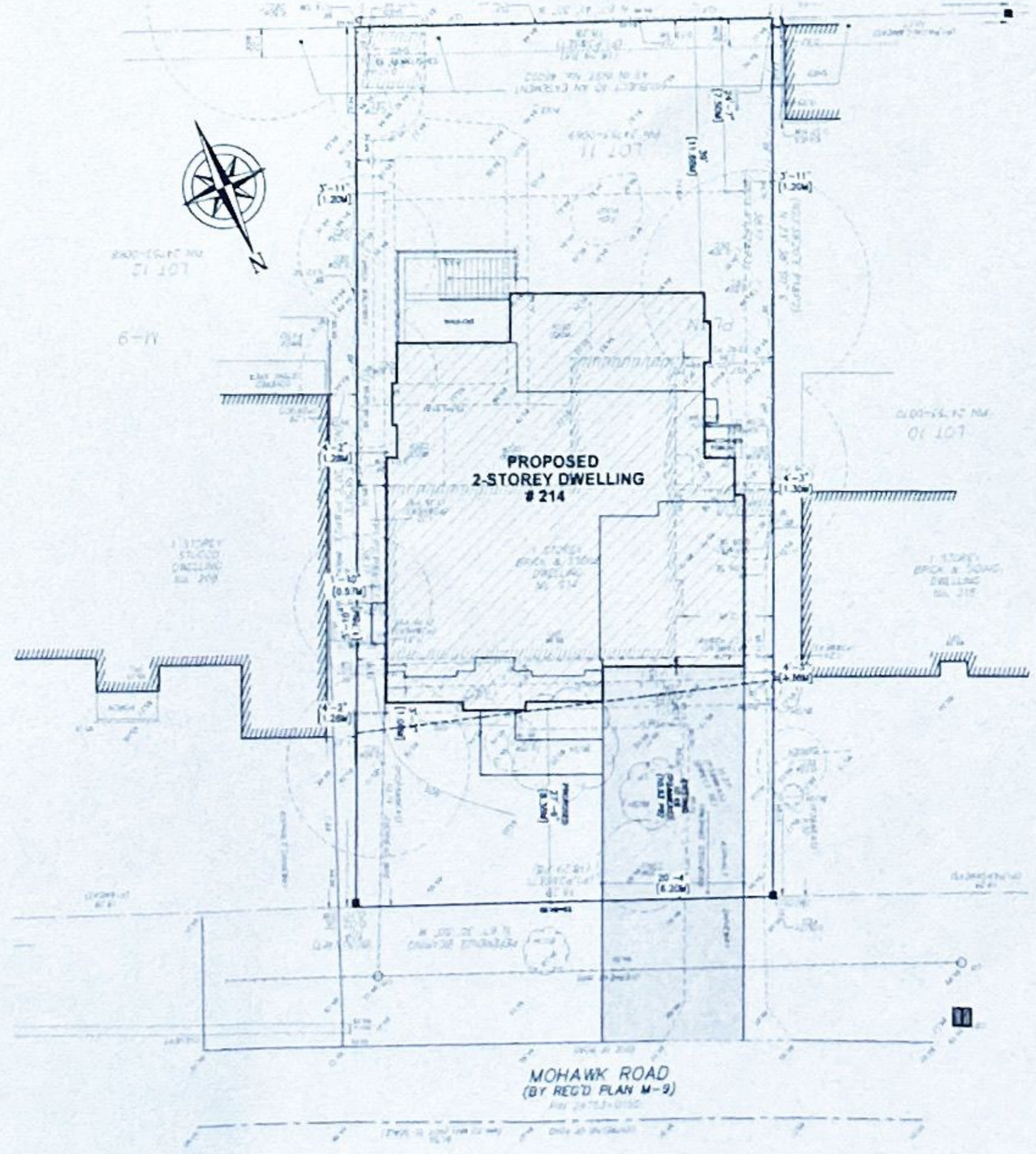
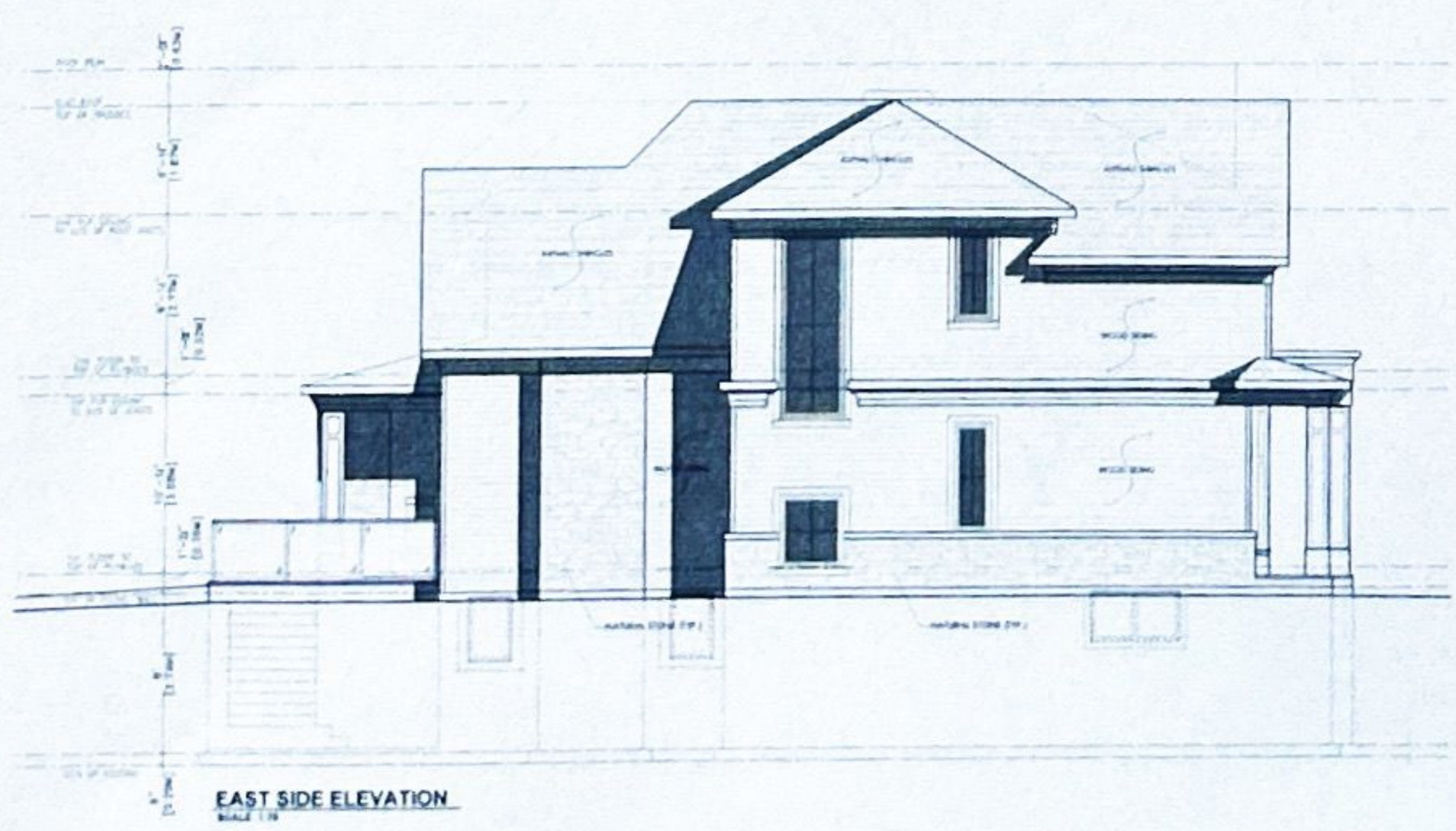
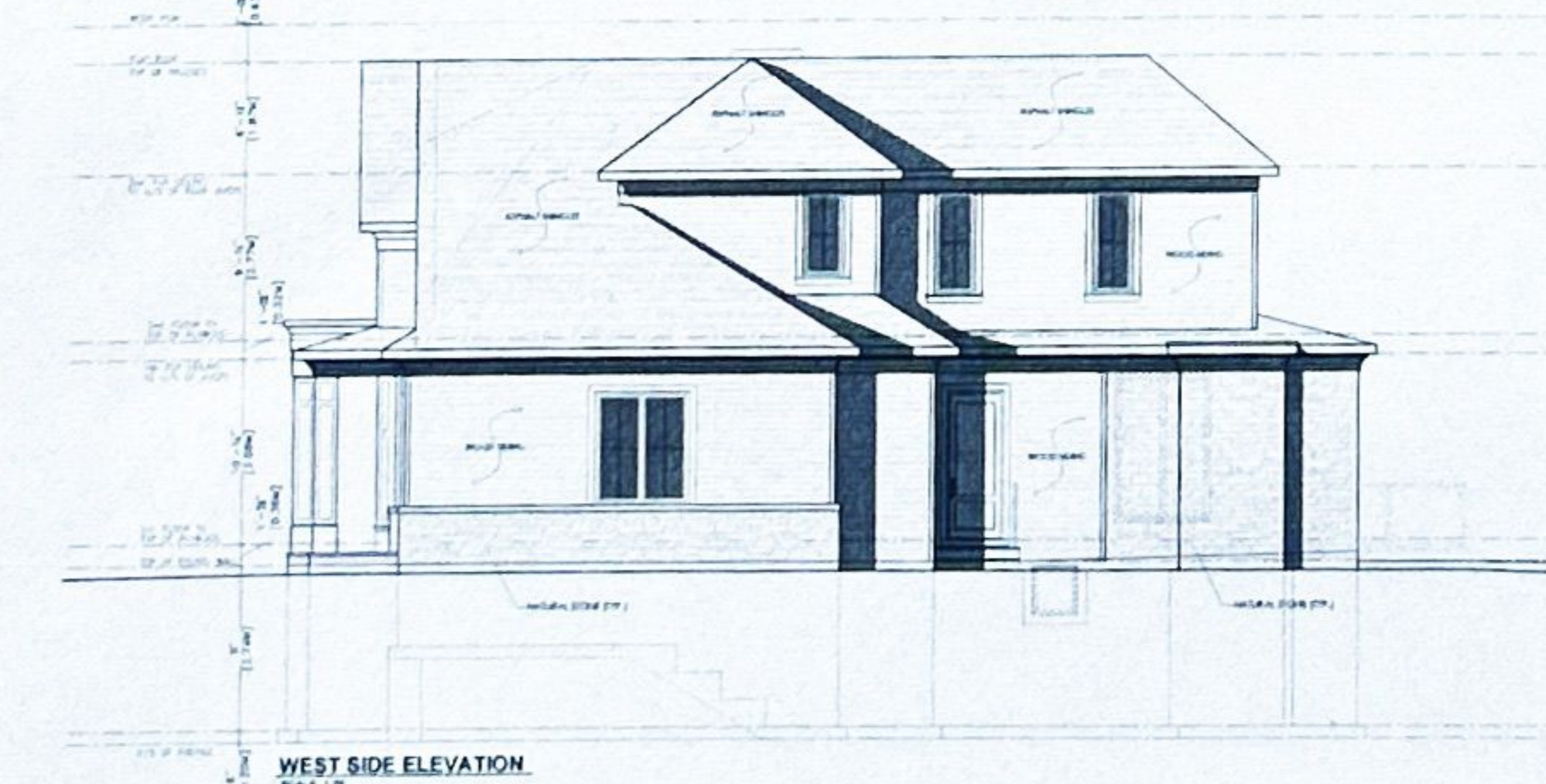
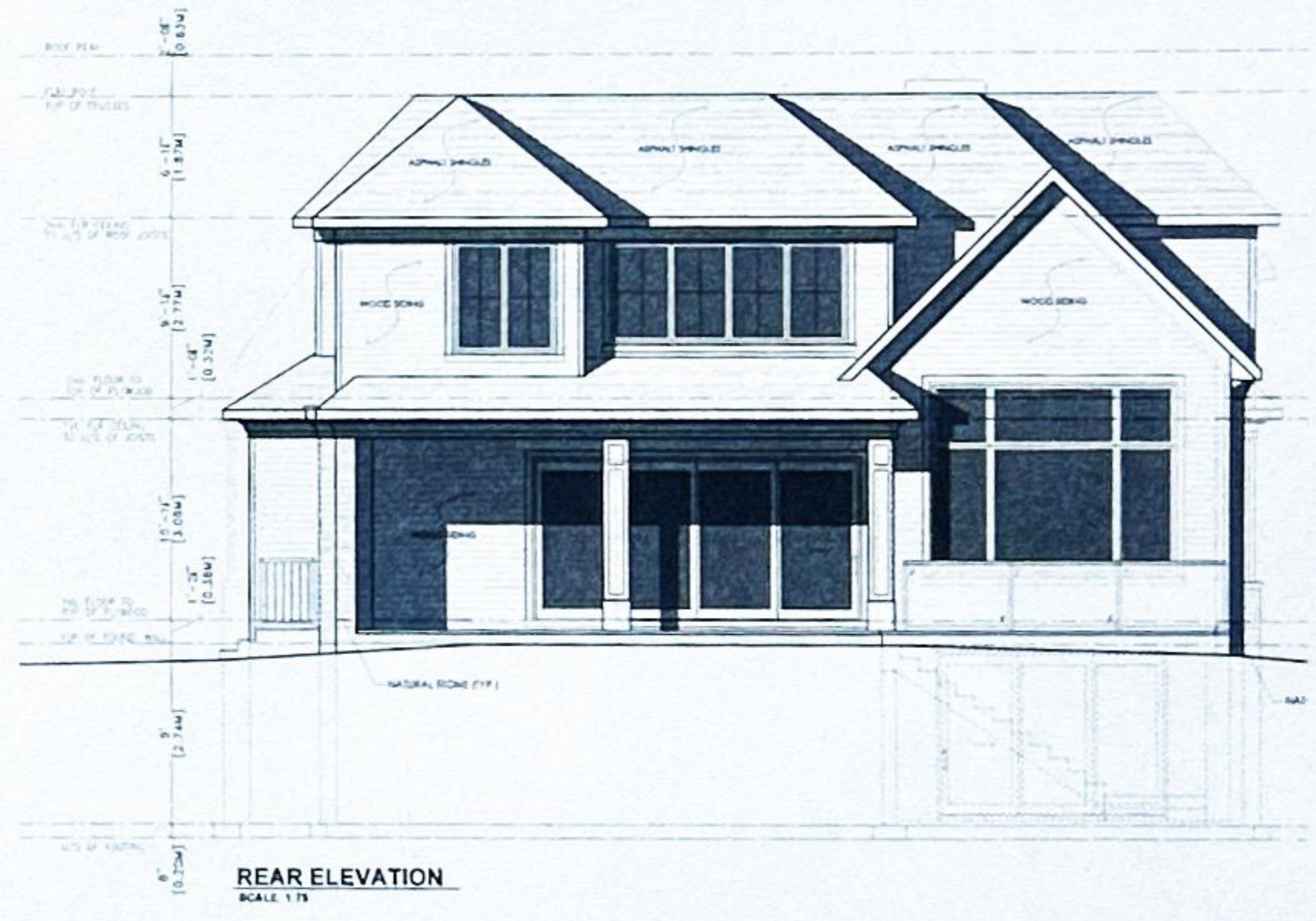
Letter of Support

We have reviewed the plans with our neighbours for their proposed new home to be built at 214 Mohawk Rd., and have no objections to the minor variances being requested through the Committee of Adjustment.

LINDA GALLANT
 NAME
183 Mohawk Road
 ADDRESS
Linda Gallant
 SIGNATURE

SITE STATISTICS: 214 MOHAWK ROAD

	EXISTING	PROPOSED	TOTAL	ALLOWED
ZONING	RL5-0			
LOT AREA	697 M2			
LOT COVERAGE :	---	243.53M2	---	243.95M2
LOT COVERAGE :	---	34.94%	---	35%
R.F.A. :	---	301.77M2	---	285.77M2
R.F.A. :	---	43.3%	---	41%
BLDG HEIGHT (PEAK) :	---	9.60M	---	9 M
FRONT YARD SETBACK :	---	8.38M	---	9.49M



214
MOHAWK ROAD
OAKVILLE

Letter of Support

We have reviewed the plans with our neighbours for their proposed new home to be built at 214 Mohawk Rd., and have no objections to the minor variances being requested through the Committee of Adjustment.

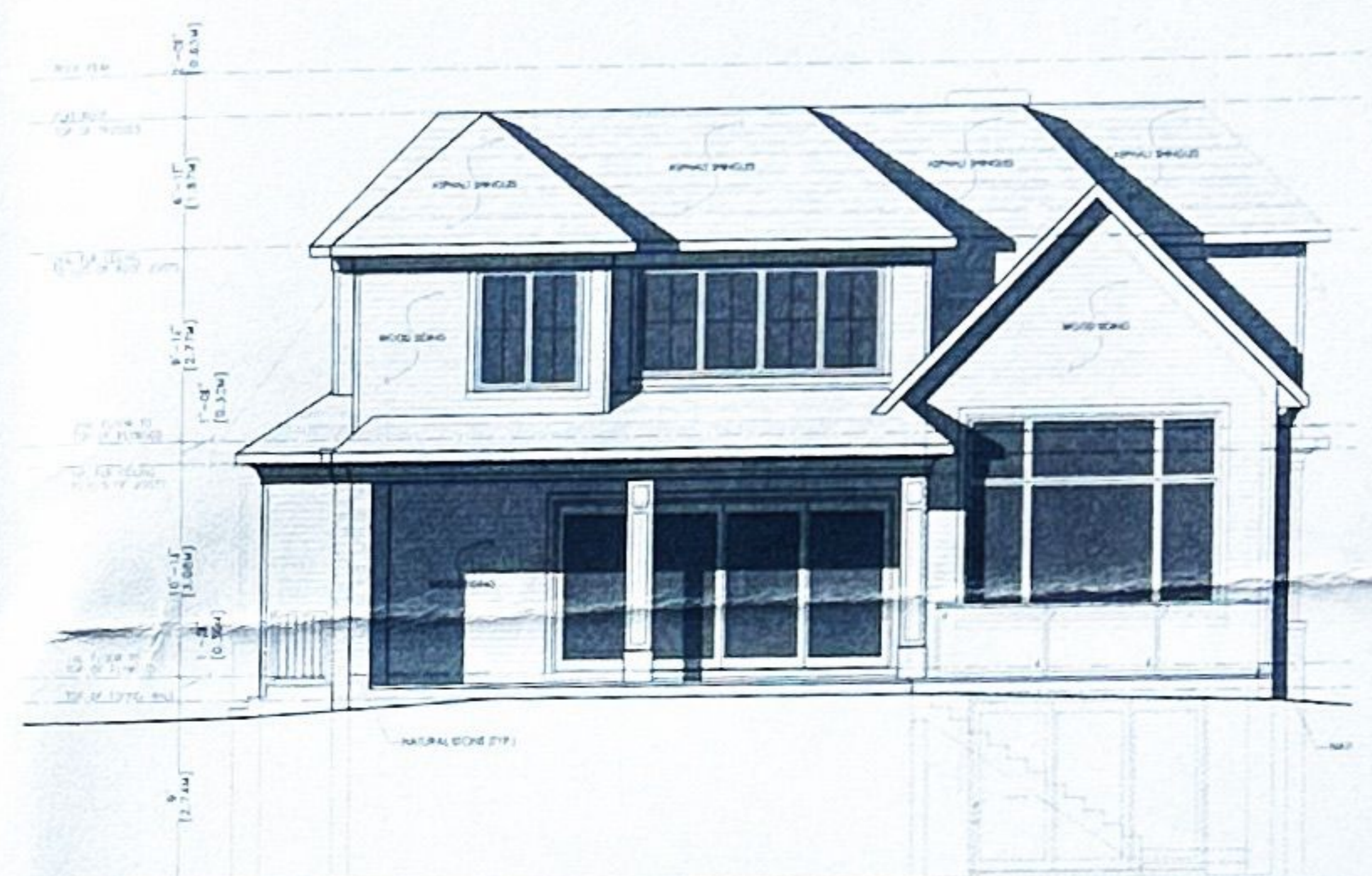
NAME Maureen Morkka
 ADDRESS 201 Mohawk Rd.
 SIGNATURE M Morkka

SITE STATISTICS: 214 MOHAWK ROAD

	EXISTING	PROPOSED	TOTAL	ALLOWED
ZONING	RL5-0			
LOT AREA	697 M2			
LOT COVERAGE	---	243.53M2	---	243.95M2
LOT COVERAGE	---	34.94%	---	35%
R.F.A.	---	301.77M2	---	285.77M2
R.F.A.	---	43.3%	---	41%
BLDG. HEIGHT (PEAK)	---	9.60M	---	9 M
FRONT YARD SETBACK	---	8.38M	---	9.49M



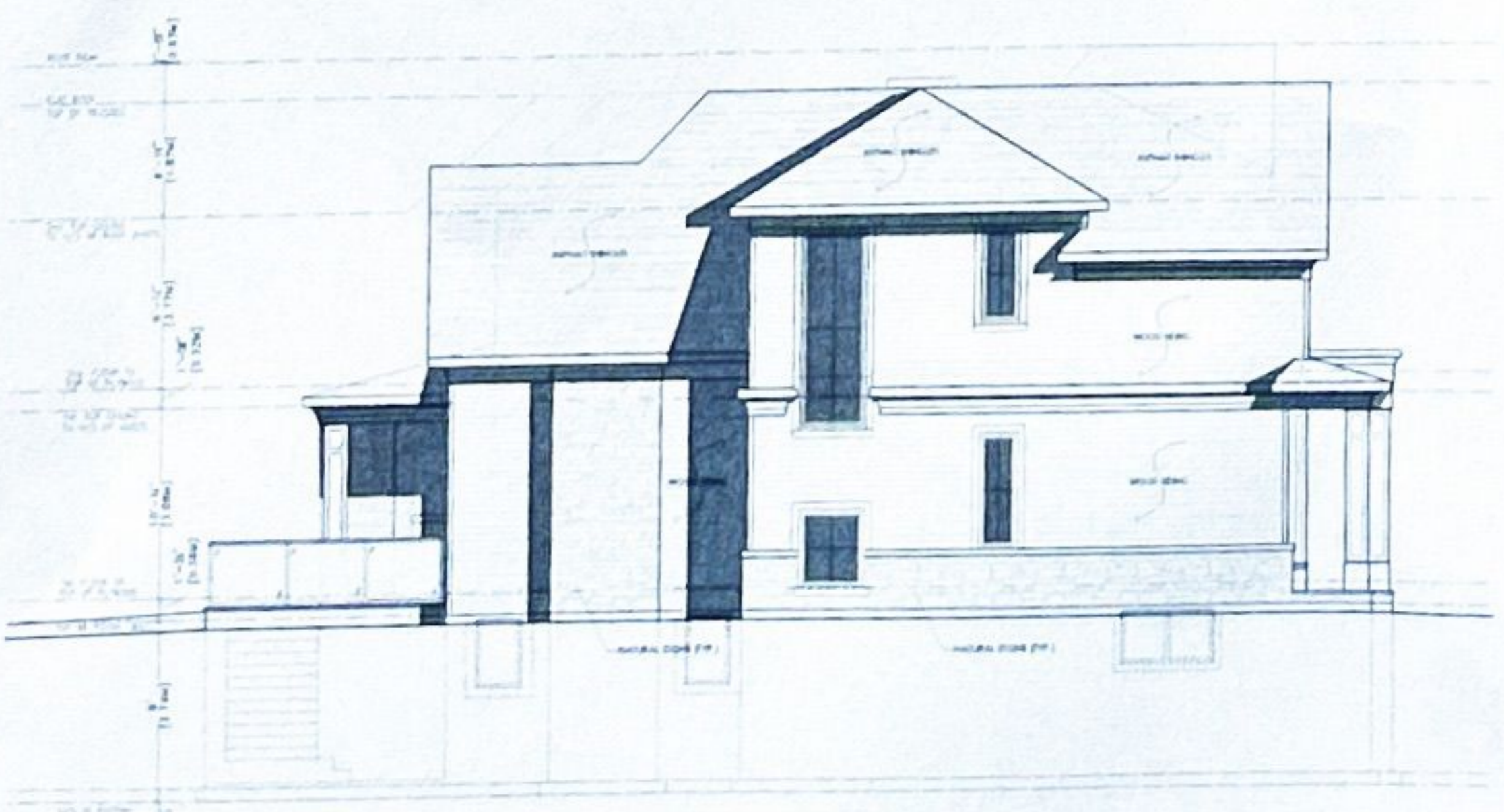
FRONT ELEVATION
 SCALE 1/4"



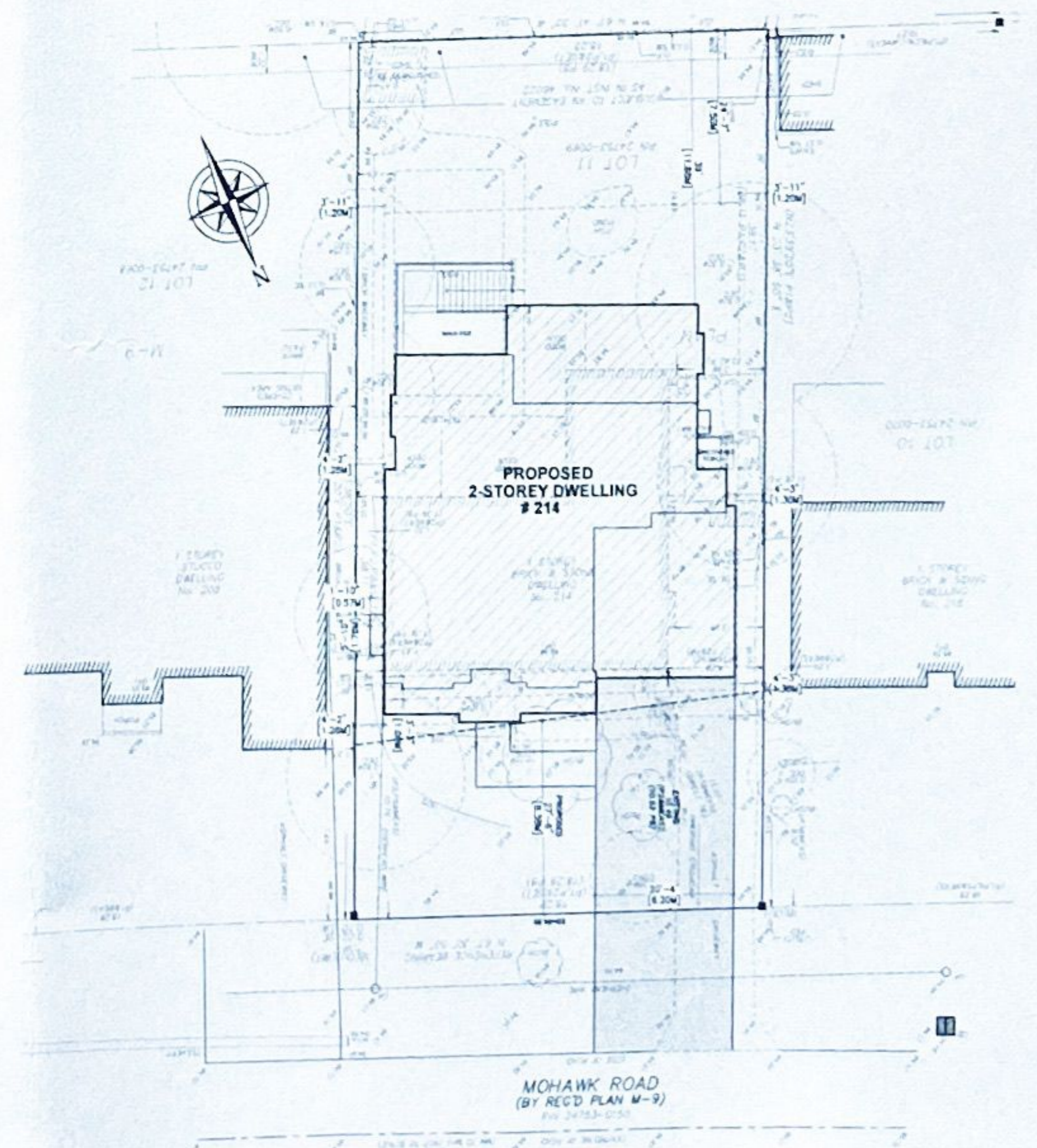
REAR ELEVATION
 SCALE 1/4"



WEST SIDE ELEVATION
 SCALE 1/4"



EAST SIDE ELEVATION
 SCALE 1/4"



214
MOHAWK ROAD
OAKVILLE

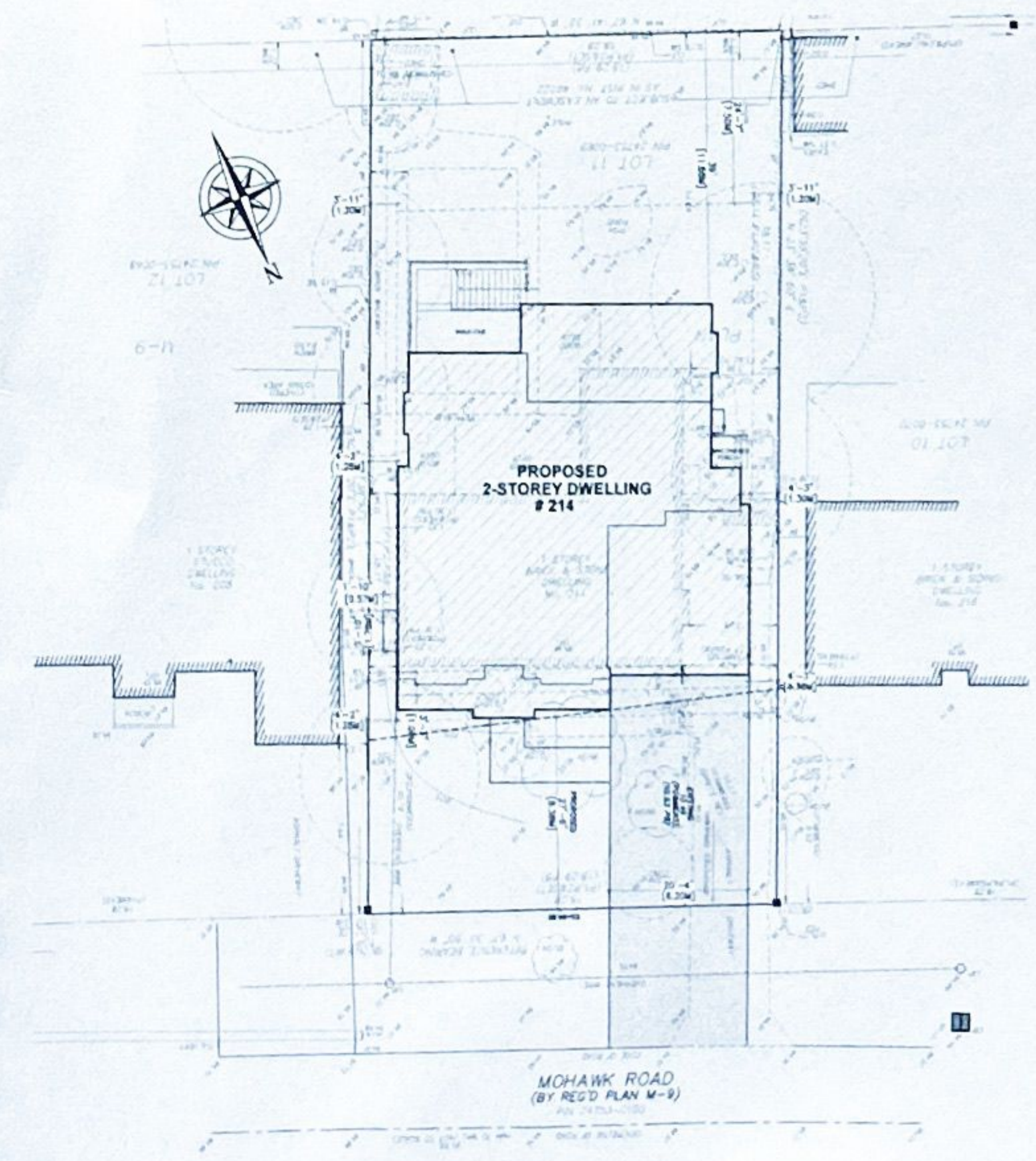
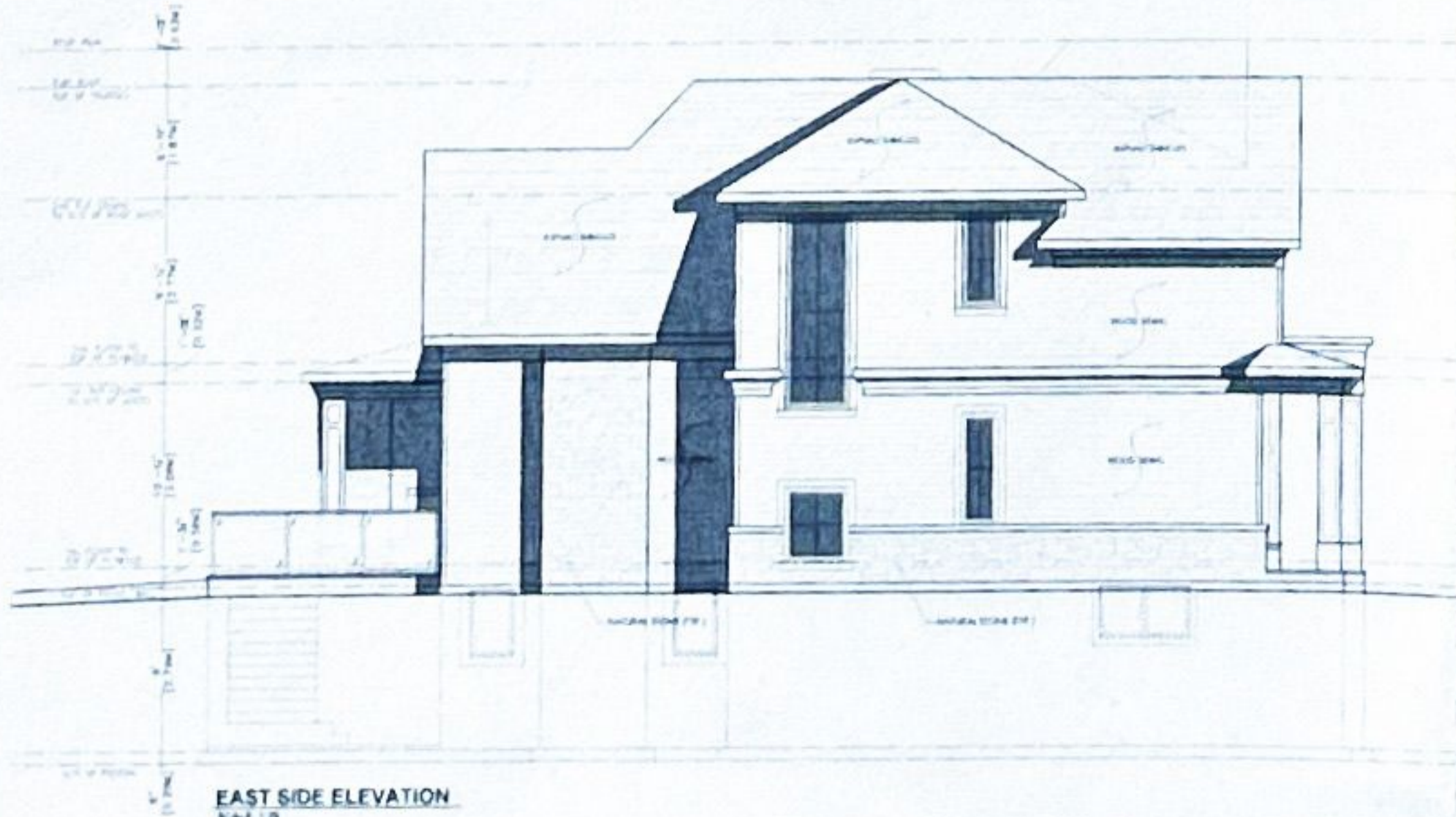
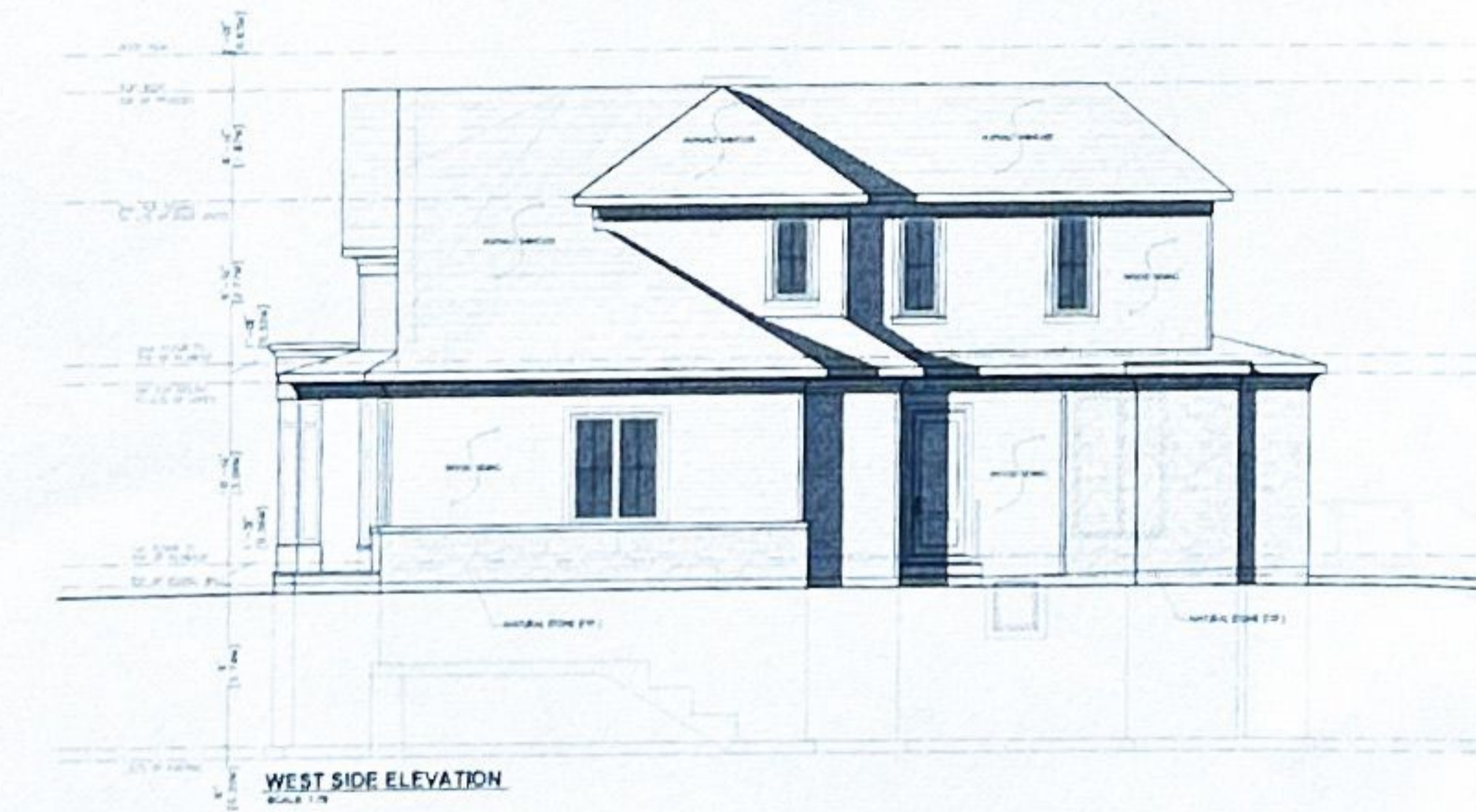
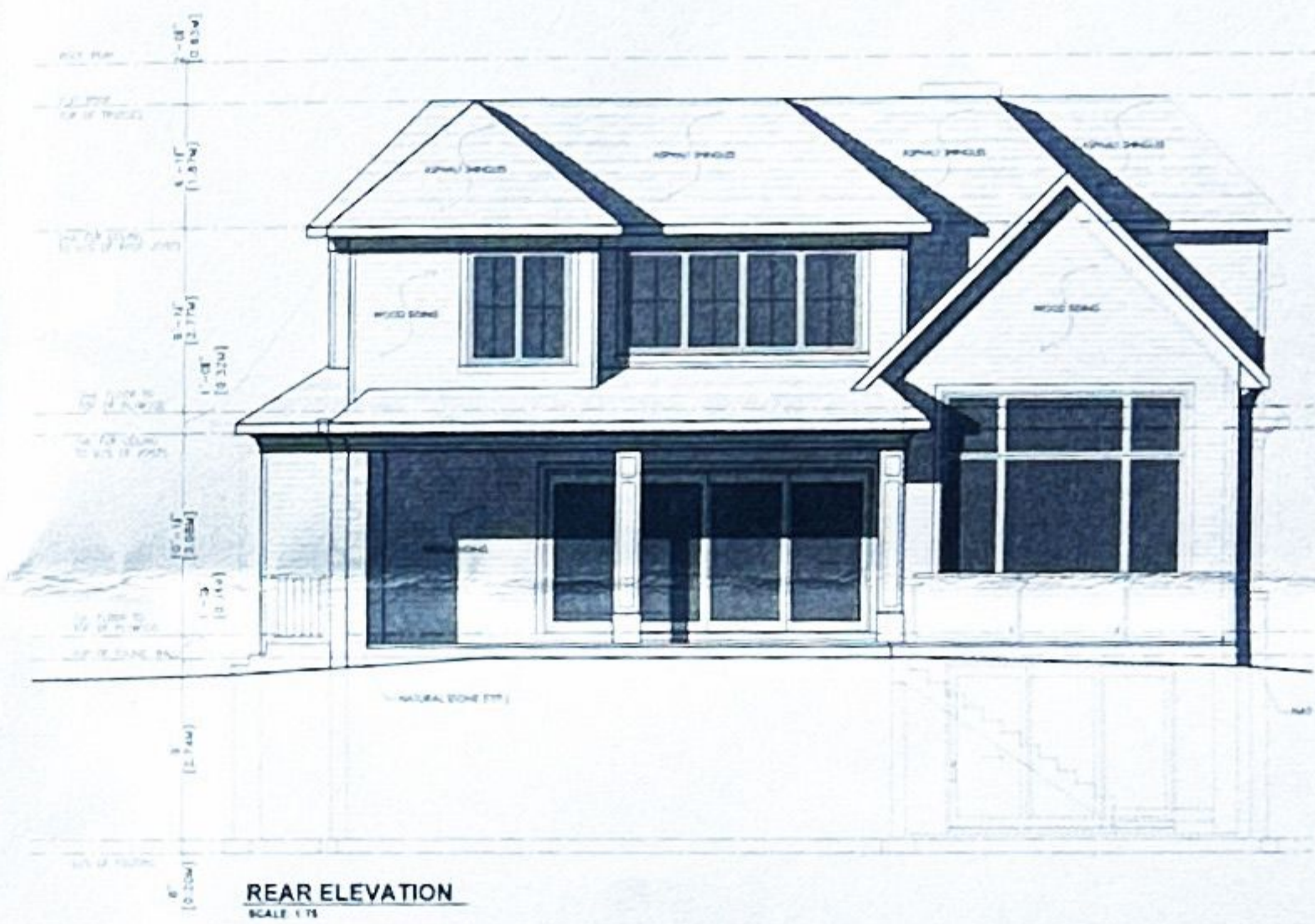
Letter of Support

We have reviewed the plans with our neighbours for their proposed new home to be built at 214 Mohawk Rd., and have no objections to the minor variances being requested through the Committee of Adjustment.

NAME *Lindsay Leslie*
 ADDRESS *202 Mohawk Rd.*
 SIGNATURE *R. Plie*

SITE STATISTICS: 214 MOHAWK ROAD

	EXISTING	PROPOSED	TOTAL	ALLOWED
ZONING	RL5-0			
LOT AREA	697 M2			
LOT COVERAGE	--- M2	243.53M2	--- M2	243.95M2 349.36 FT
LOT COVERAGE	---	34.94%	---	35%
R F A	---	301.77M2	---	285.77M2 307.39 FT
R F A	---	43.3%	---	41%
BLDG HEIGHT (PEAK)	---	9.60M	---	9 M
FRONT YARD SETBACK	---	8.38M	---	9.49M



214
MOHAWK ROAD
OAKVILLE

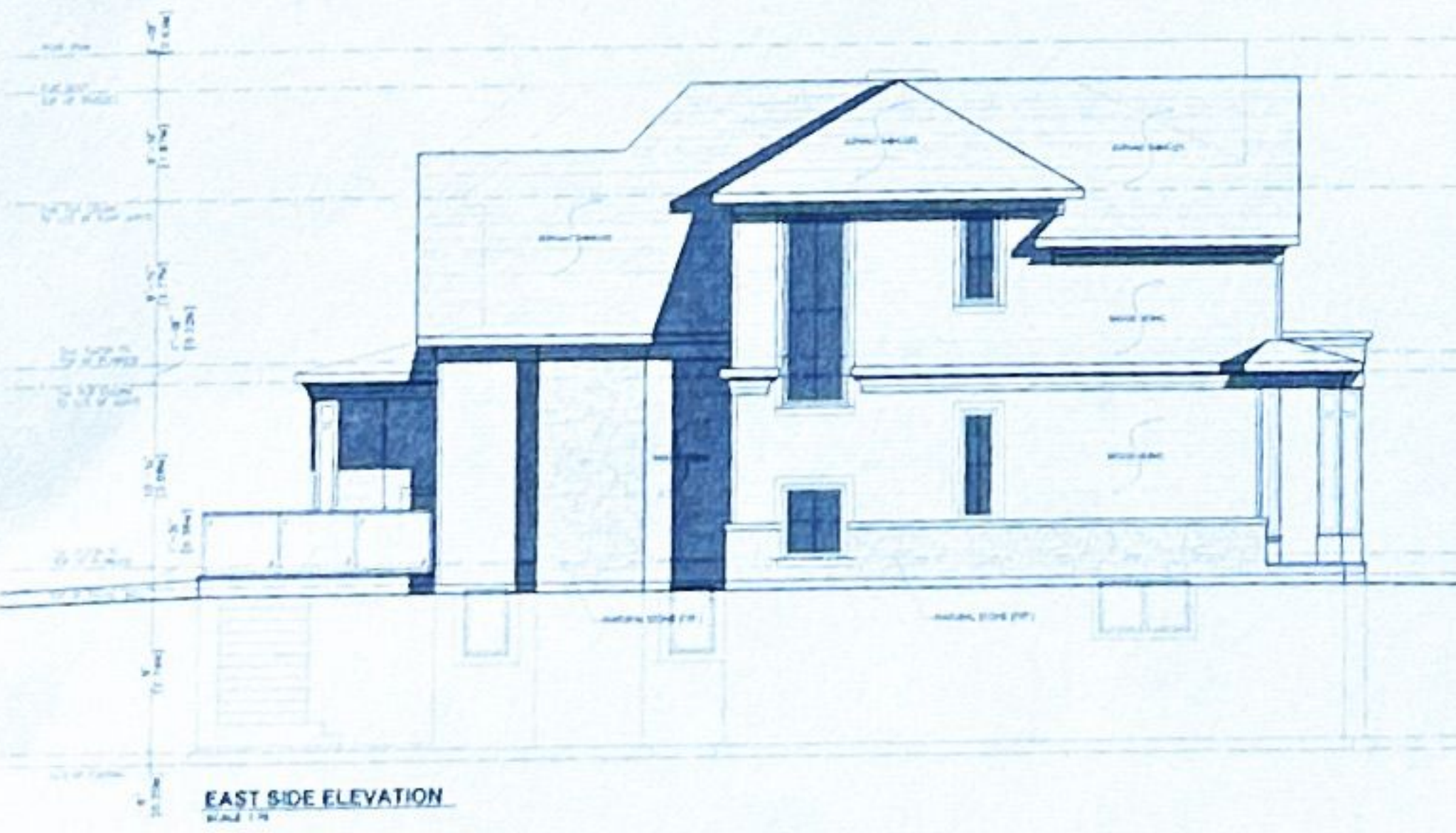
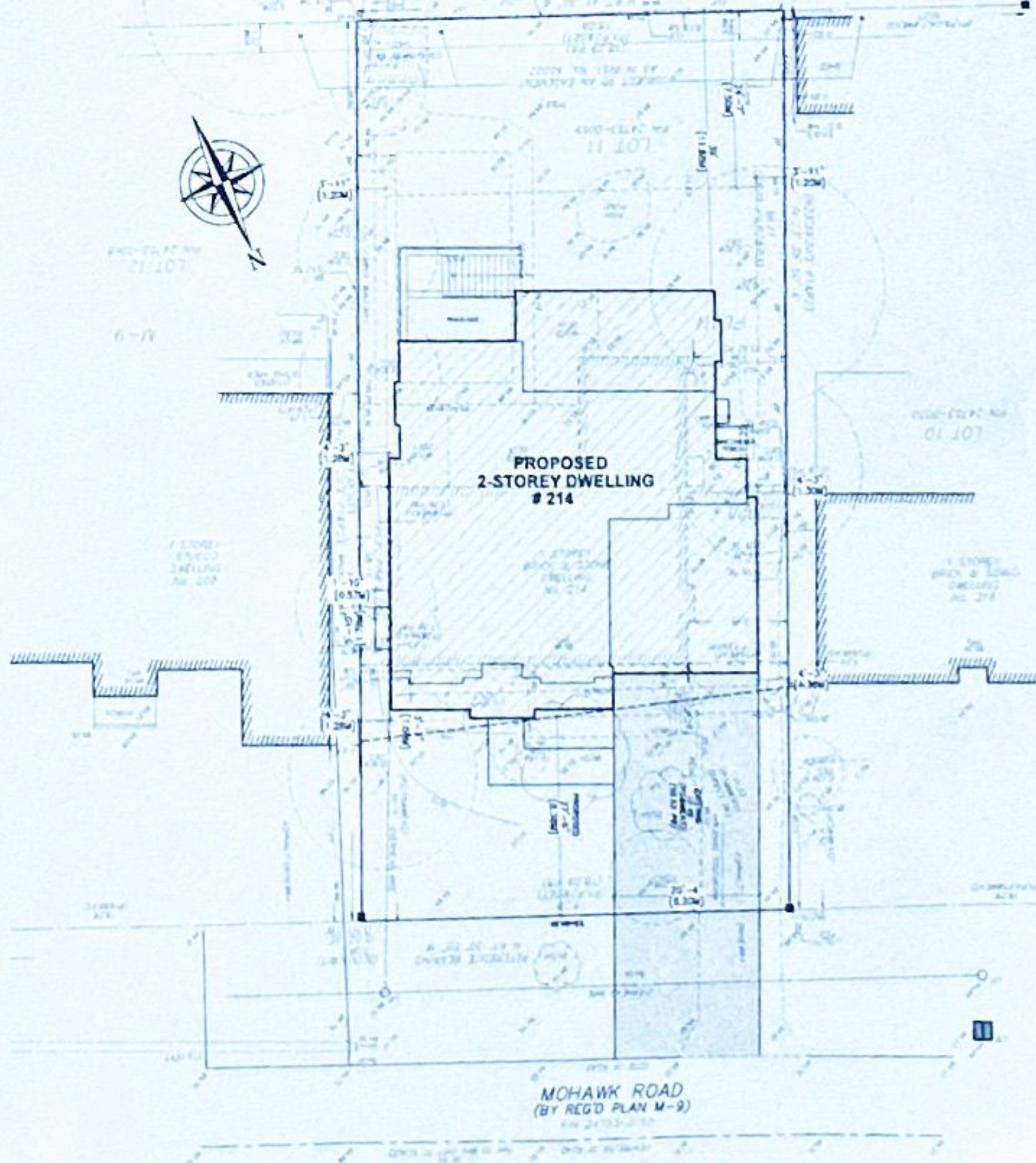
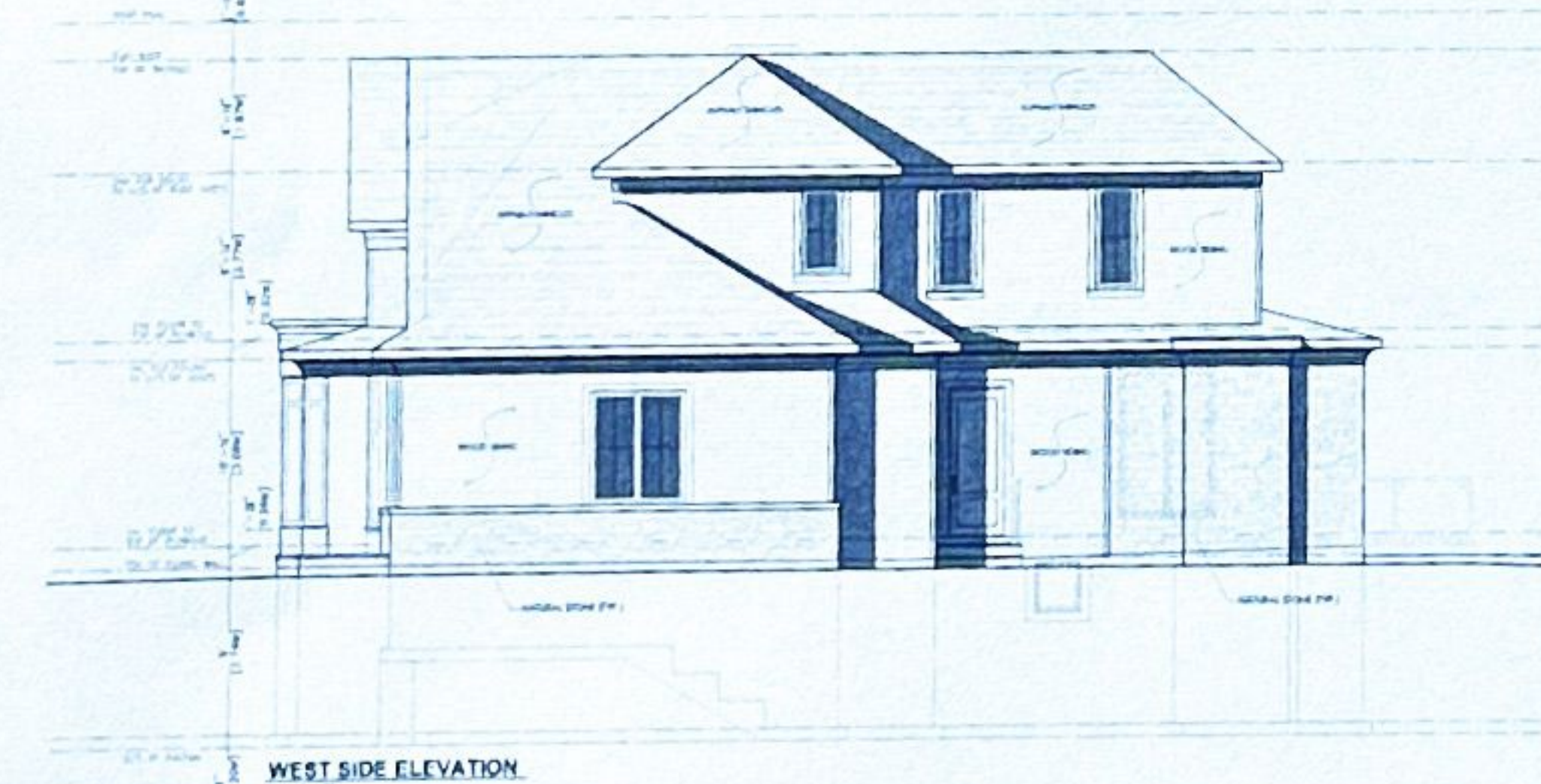
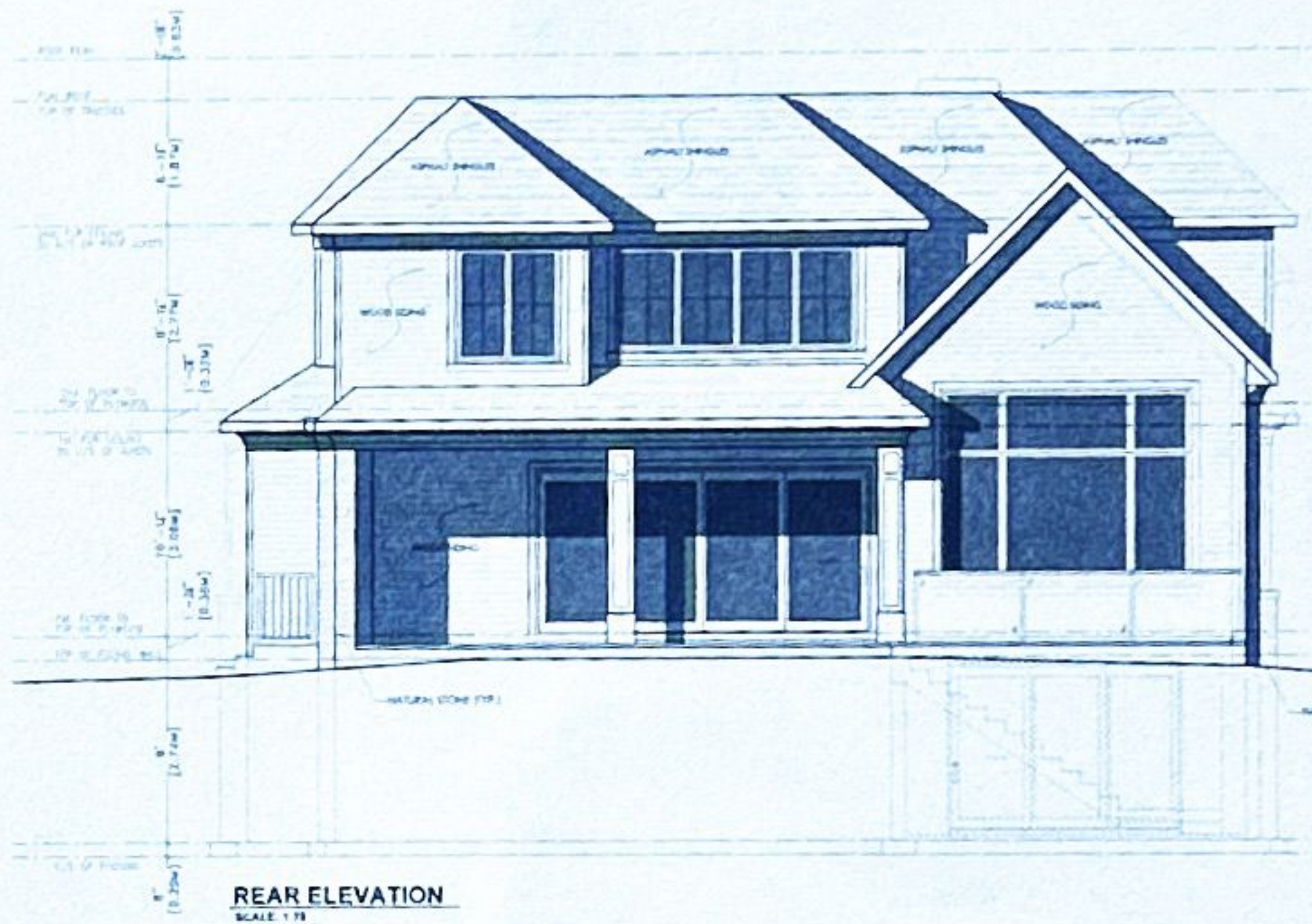
Letter of Support

We have reviewed the plans with our neighbours for their proposed new home to be built at 214 Mohawk Rd., and have no objections to the minor variances being requested through the Committee of Adjustment.

NAME R. N. BACKUS
 ADDRESS 223 MOHAWK RD.
 SIGNATURE *RNB*

SITE STATISTICS 214 MOHAWK ROAD

	EXISTING	PROPOSED	TOTAL	ALLOWED
ZONING:	RL5-0			
LOT AREA:	697 M ²			
LOT COVERAGE :	---	M ² 243.53M ²	---	M ² 243.95M ² <small>3492.59 FT²</small>
LOT COVERAGE :	---	% 34.94%	---	% 35%
R.F.A.	---	M 301.77M ²	---	M 285.77M ² <small>3078.54 FT²</small>
R.F.A. :	---	% 43.3%	---	% 41%
BLDG. HEIGHT (PEAK) :	---	M 9.60M	---	M 9
FRONT YARD SETBACK	---	M 8.38M	---	M 9.49M



Letter of Support

We have reviewed the plans with our neighbours for their proposed new home to be built at 214 Mohawk Rd., and have no objections to the minor variances being requested through the Committee of Adjustment.

LOROTTA ROSENBERG

NAME

232 MOHAWK RD., OAKVILLE

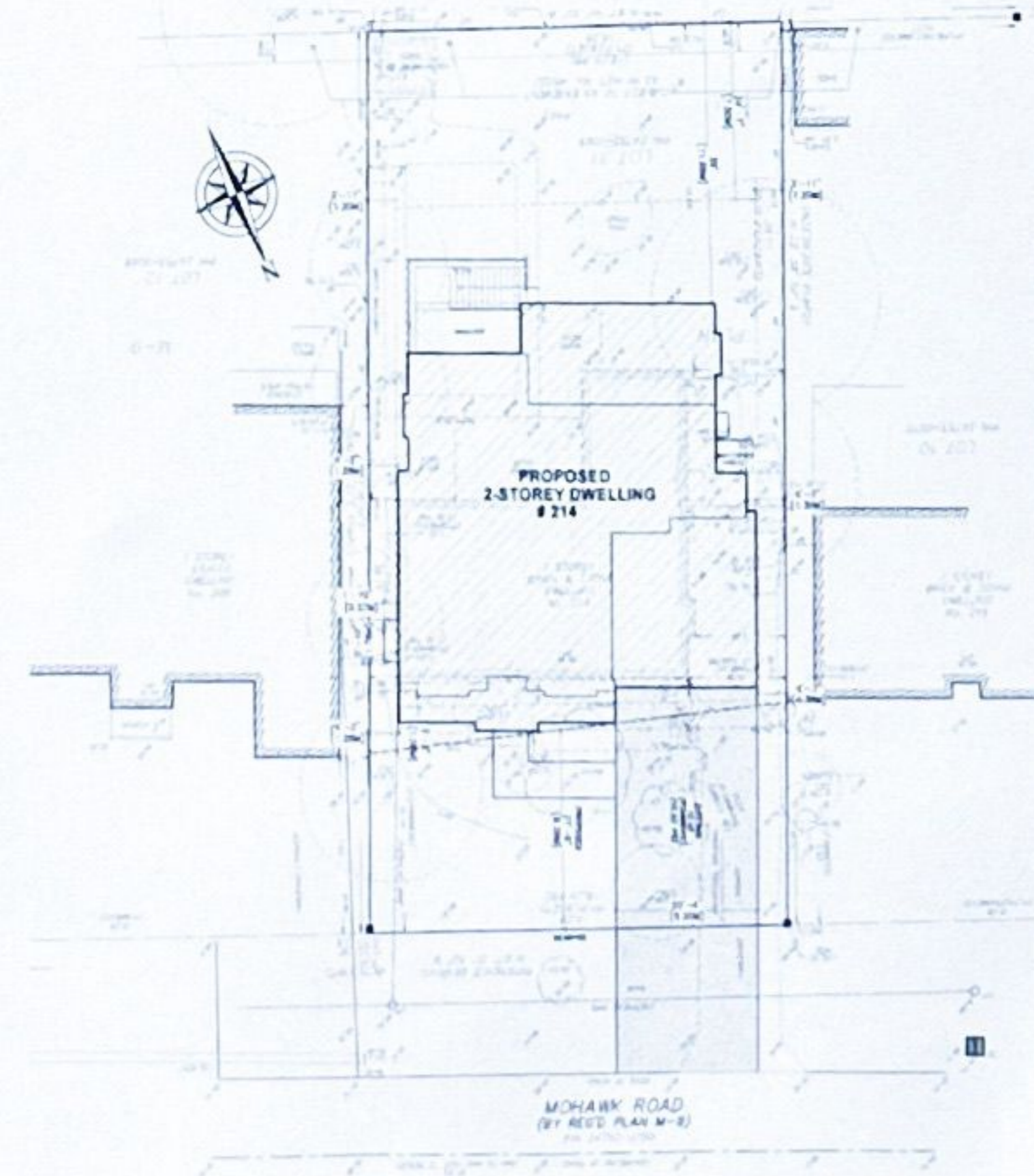
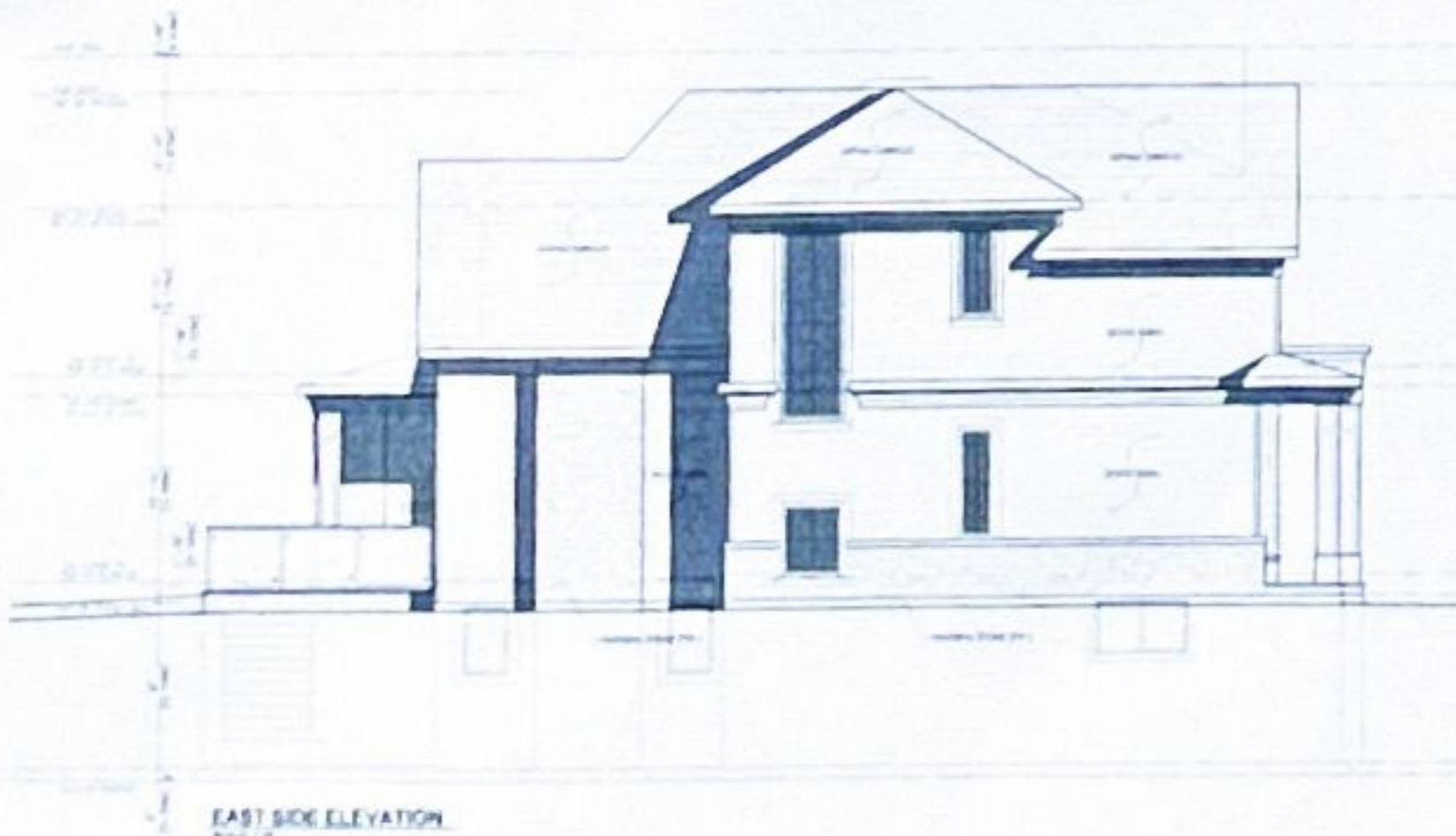
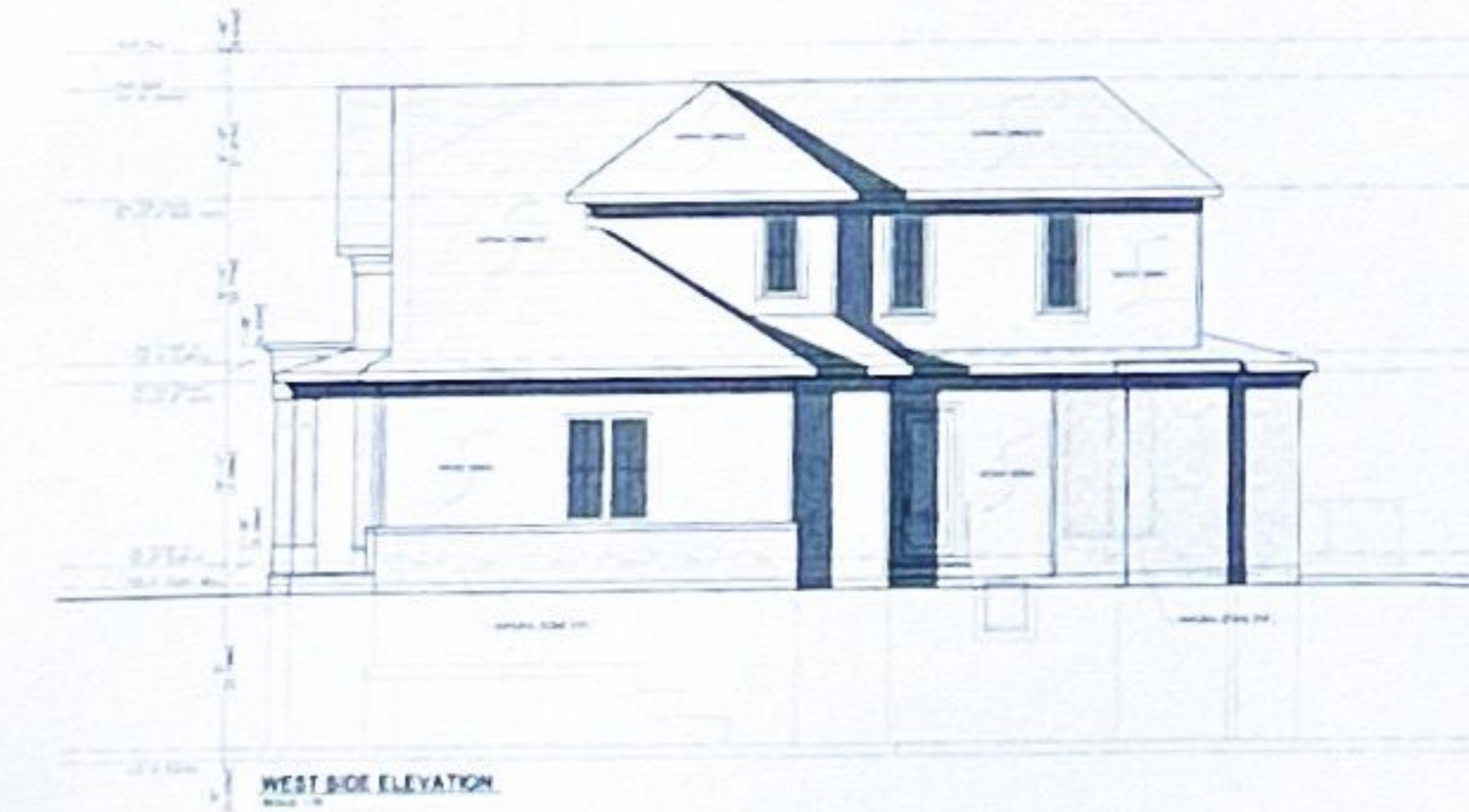
ADDRESS

Linda Resnais

SIGNATURE

SITE STATISTICS: 214 MOHAWK ROAD

	EXISTING	PROPOSED	TOTAL	ALLOWED
ZONING	RLS-0			
LOT AREA	697 M2			
LOT COVERAGE	---	M2 243.53M2	---	M2 243.95M2
LOT COVERAGE	---	% 34.94%	---	% 35%
R.F.A.	---	M 301.77M2	---	M 285.77M2
R.F.A.	---	% 43.3%	---	% 41%
BLDG HEIGHT (PEAK)	---	M 9.60M	---	M 9 M
FRONT YARD SETBACK	---	M 8.38M	---	M 9.49M



214
MOHAWK ROAD
OAKVILLE

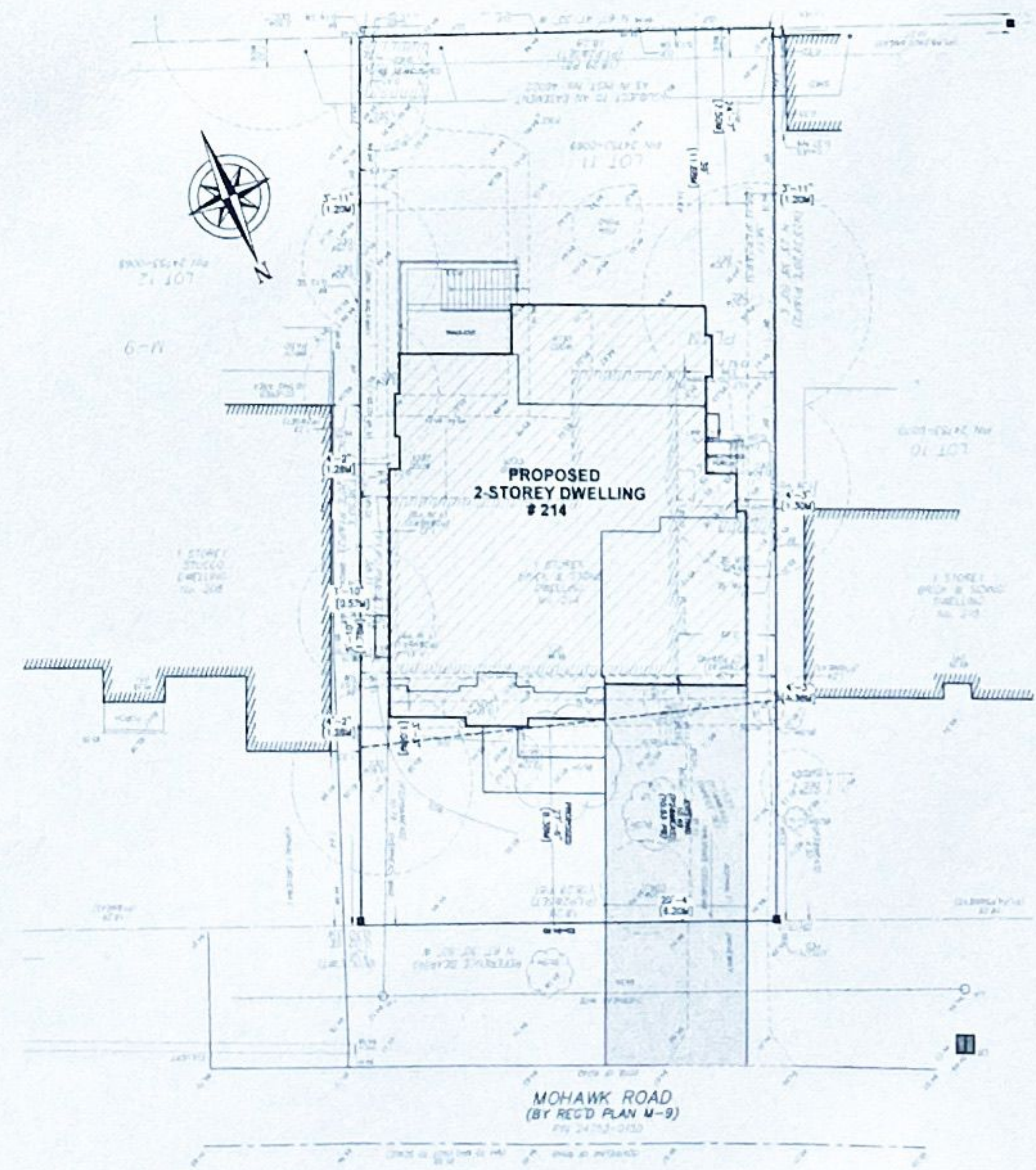
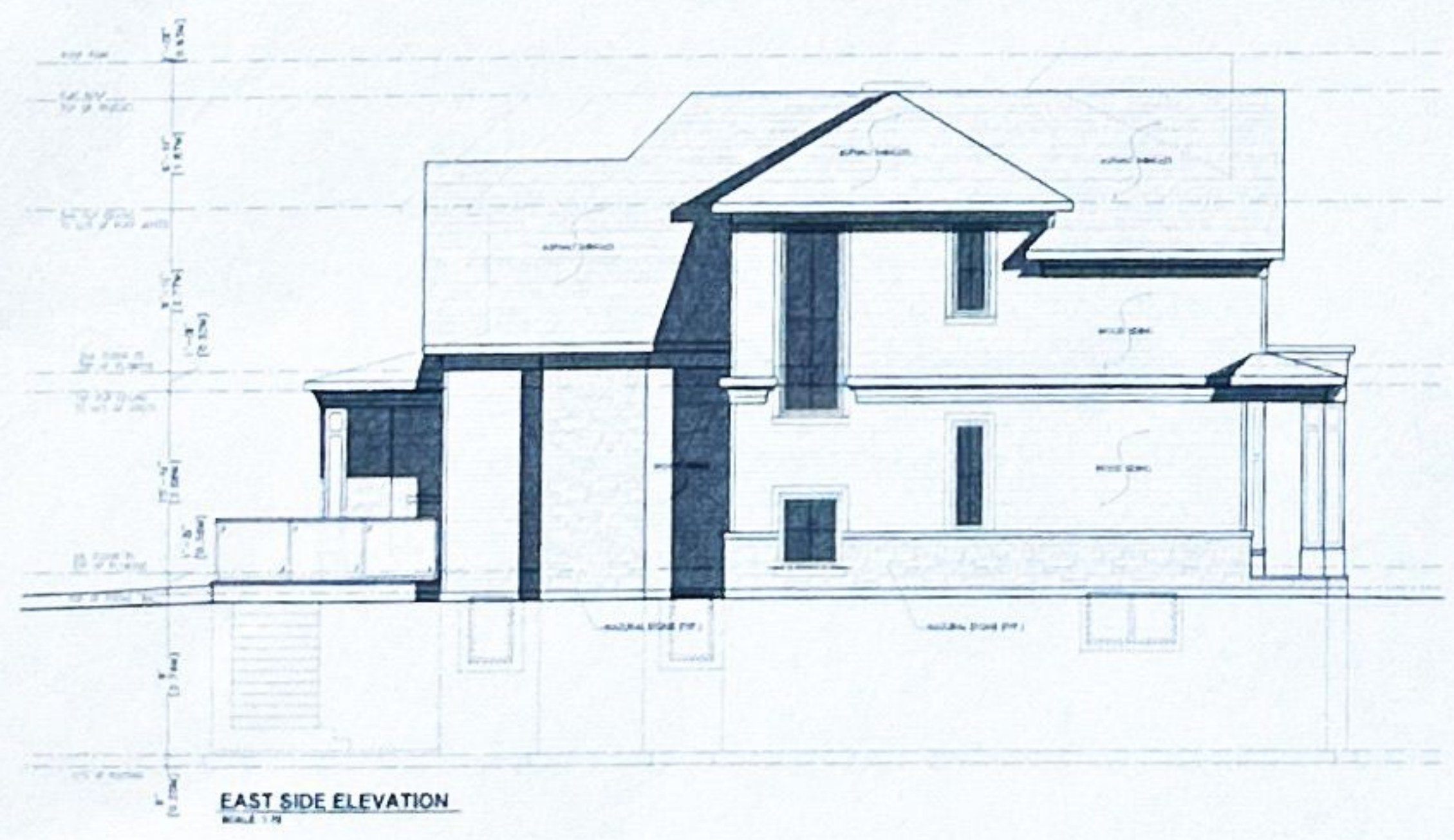
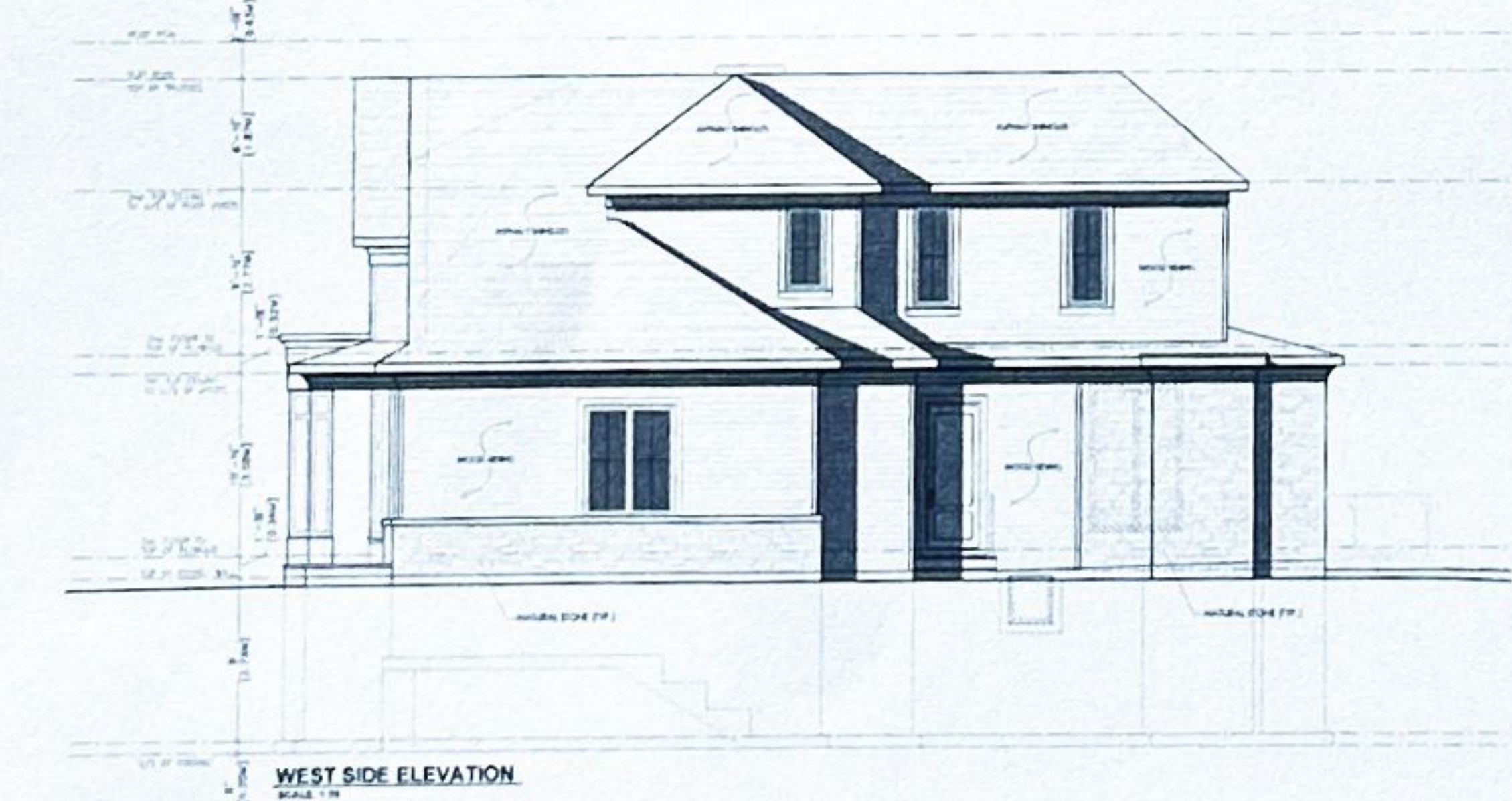
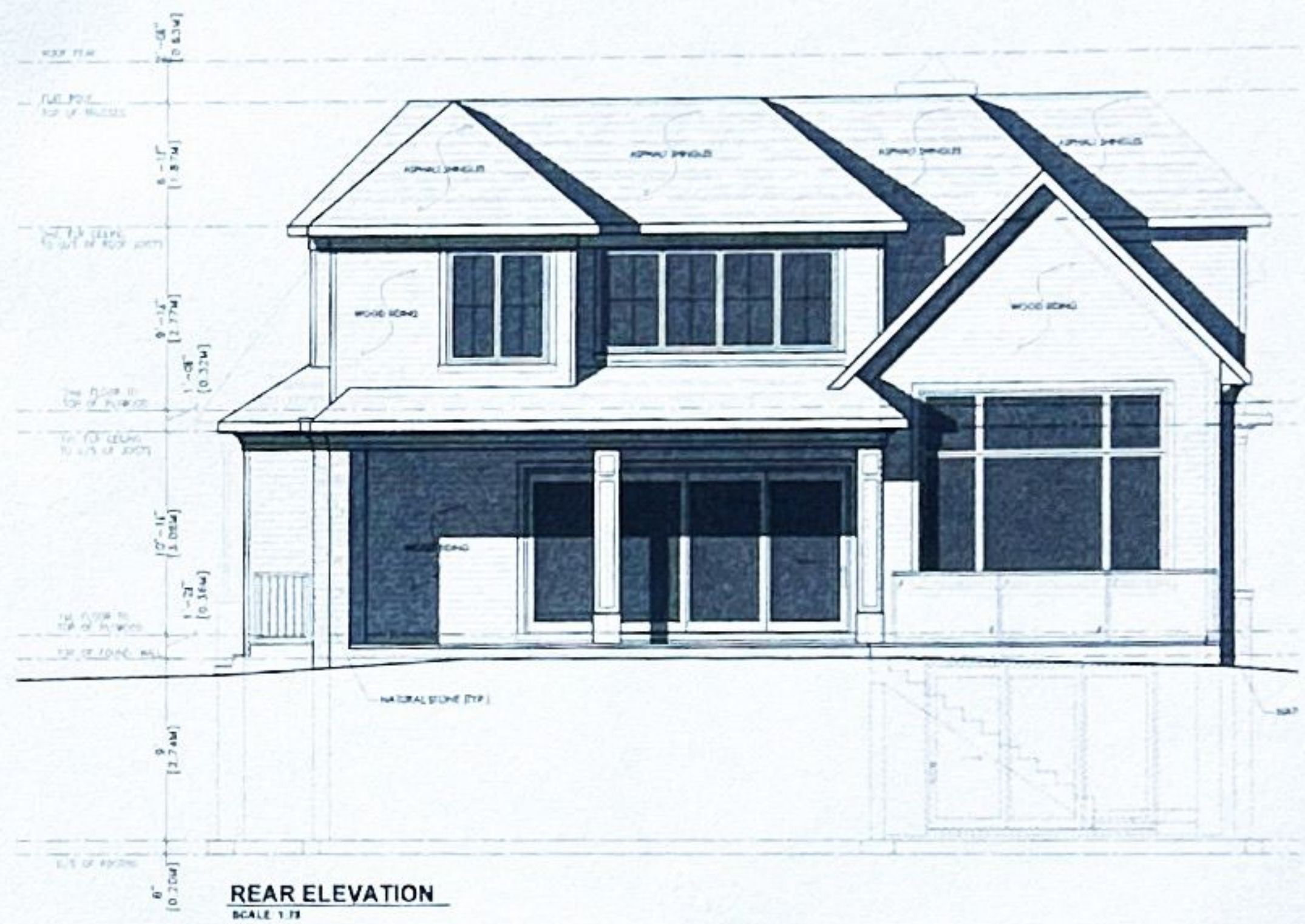
Letter of Support

We have reviewed the plans with our neighbours for their proposed new home to be built at 214 Mohawk Rd., and have no objections to the minor variances being requested through the Committee of Adjustment.

VINCE PEHAR
 NAME
 205 Chalmers St.
 ADDRESS
[Signature]
 SIGNATURE

SITE STATISTICS: 214 MOHAWK ROAD

	EXISTING	PROPOSED	TOTAL	ALLOWED
ZONING	RL5-0			
LOT AREA	697 M2			
LOT COVERAGE	--- M2	243.53M2	--- M2	243.95M2 3492.39FT ²
LOT COVERAGE	---	34.94%	---	35%
R.F.A.	--- M	301.77M2	--- M	285.77M2 3071.50FT ²
R.F.A.	---	43.3%	---	41%
BLDG. HEIGHT (PEAK)	--- M	9.60M	--- M	9 M
FRONT YARD SETBACK	--- M	8.38M	--- M	9.49M



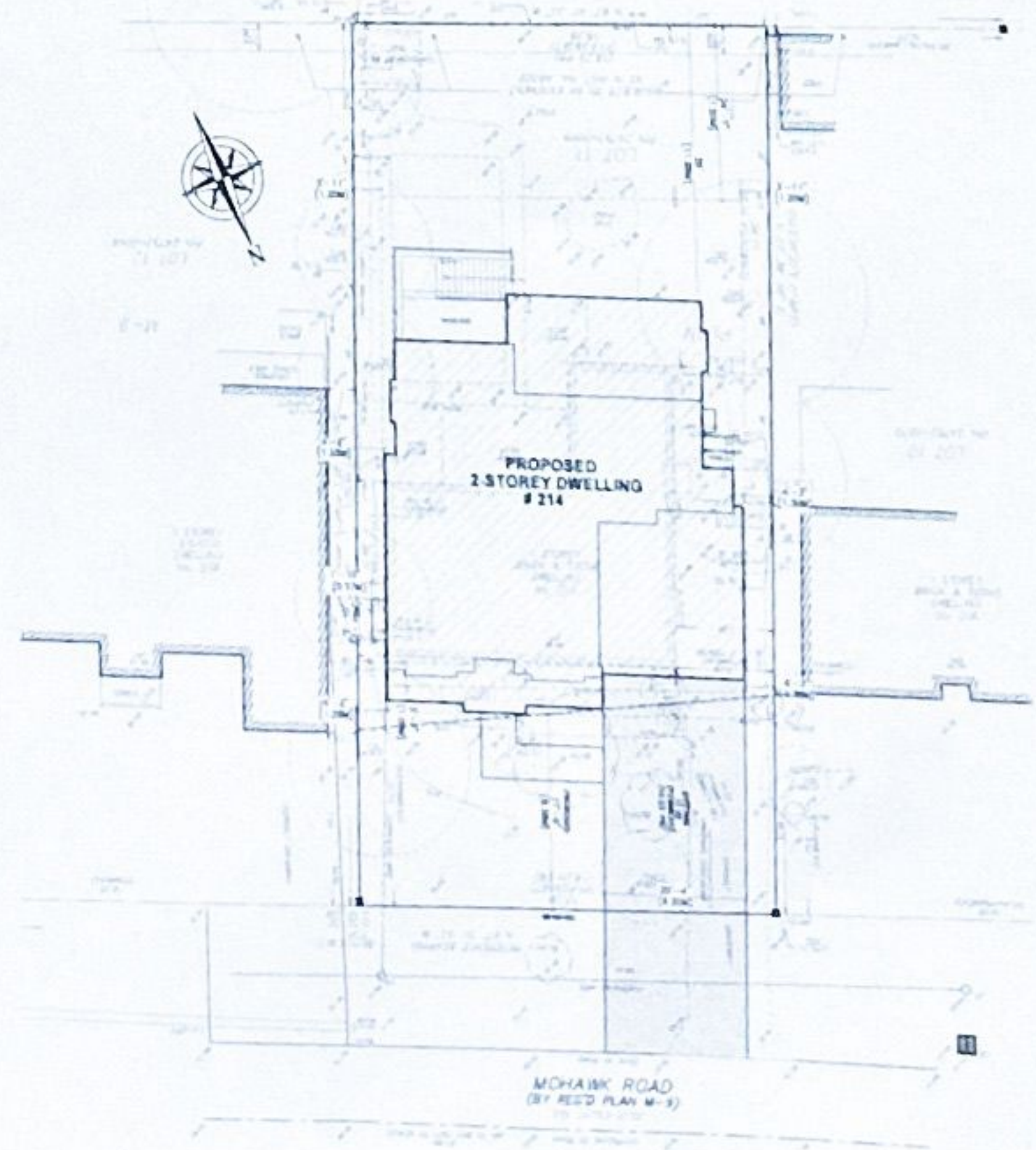
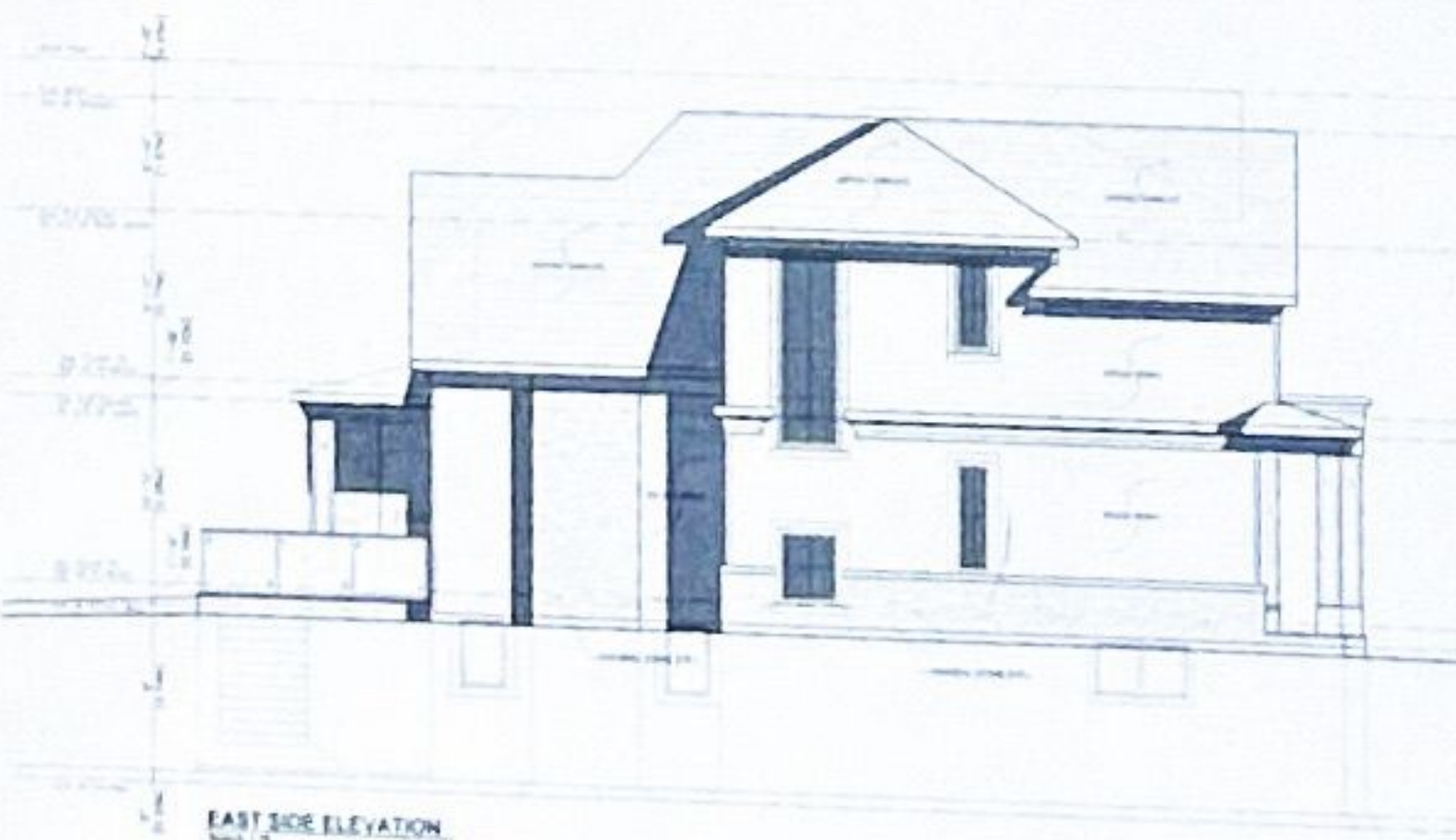
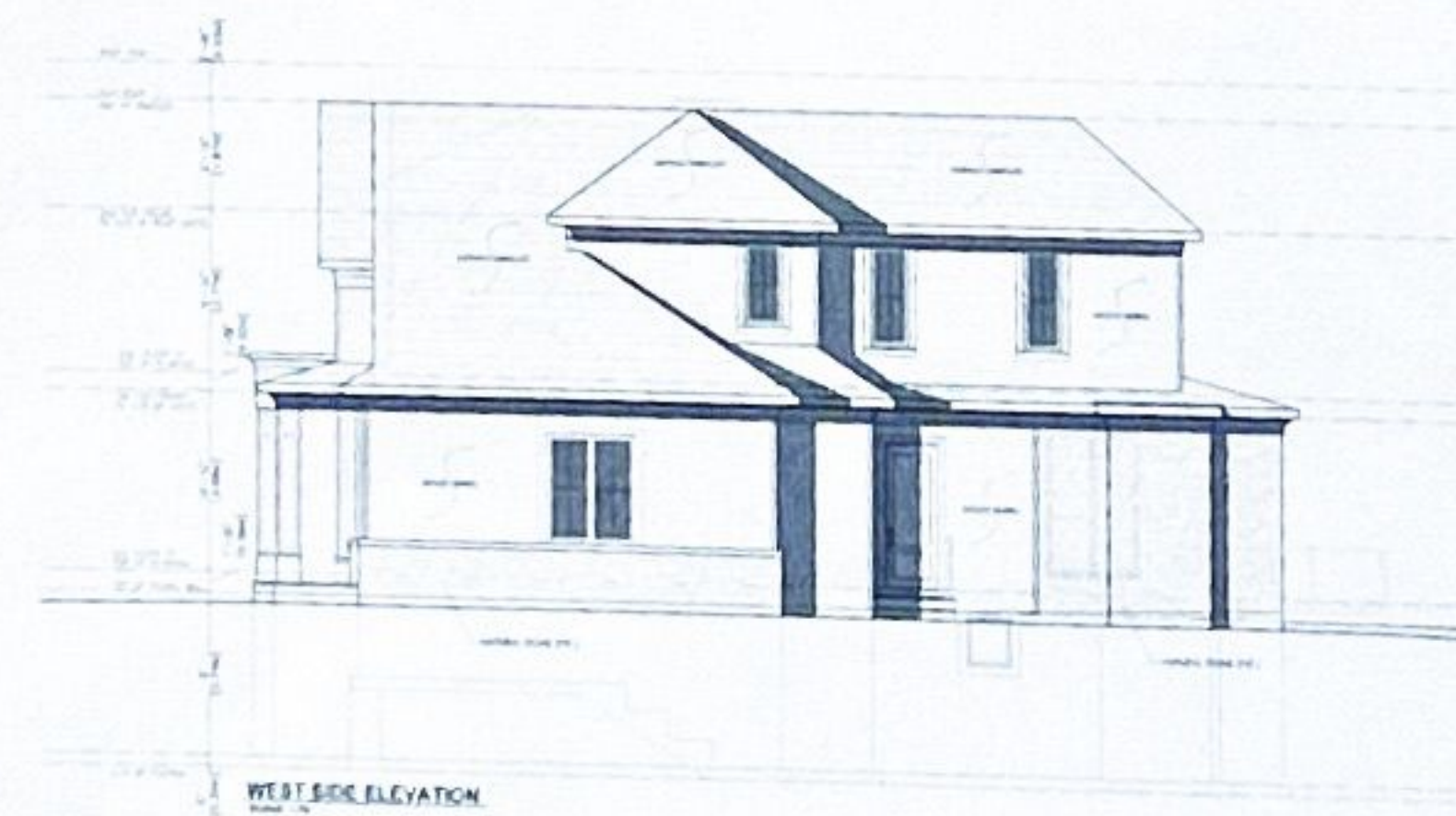
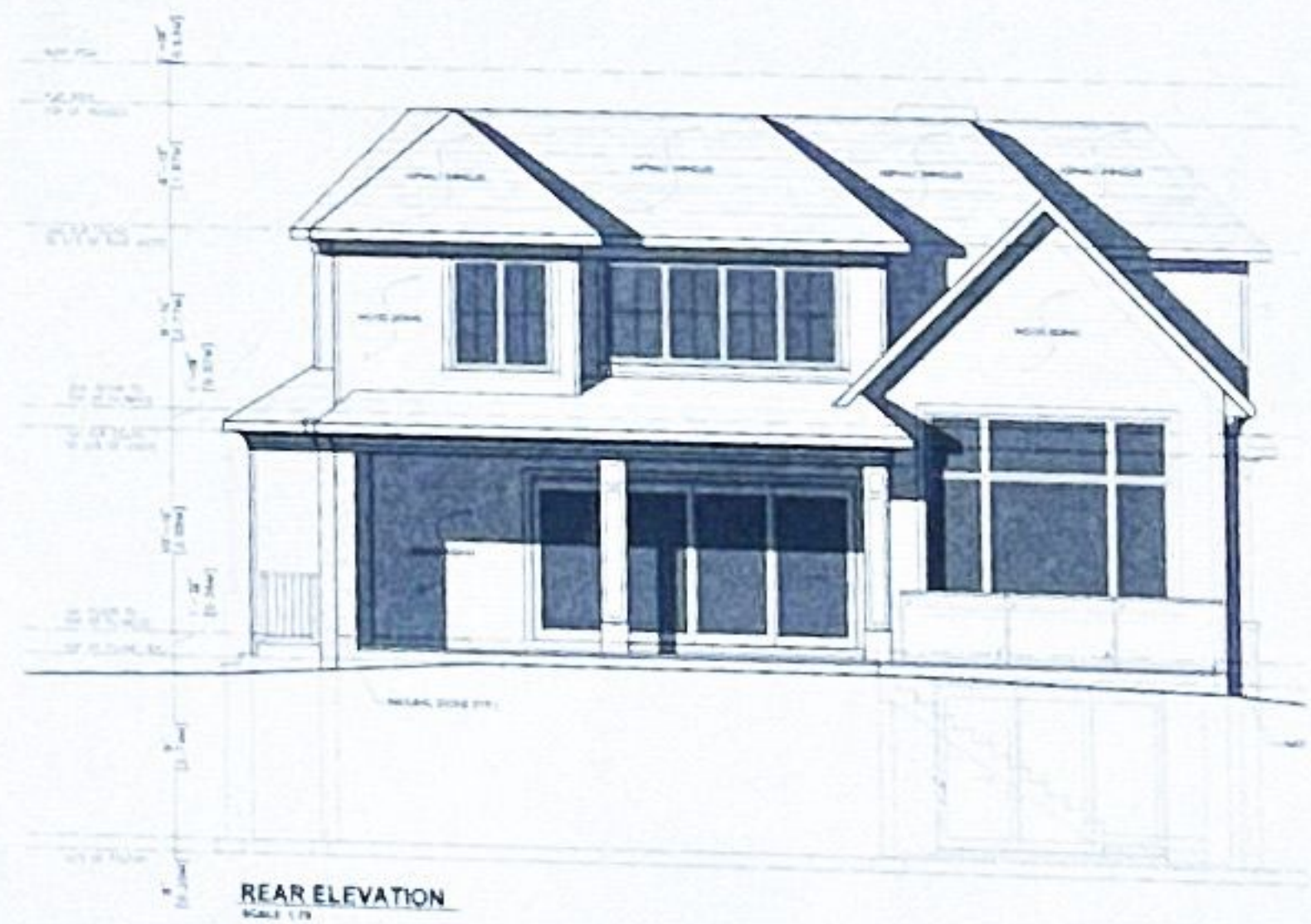
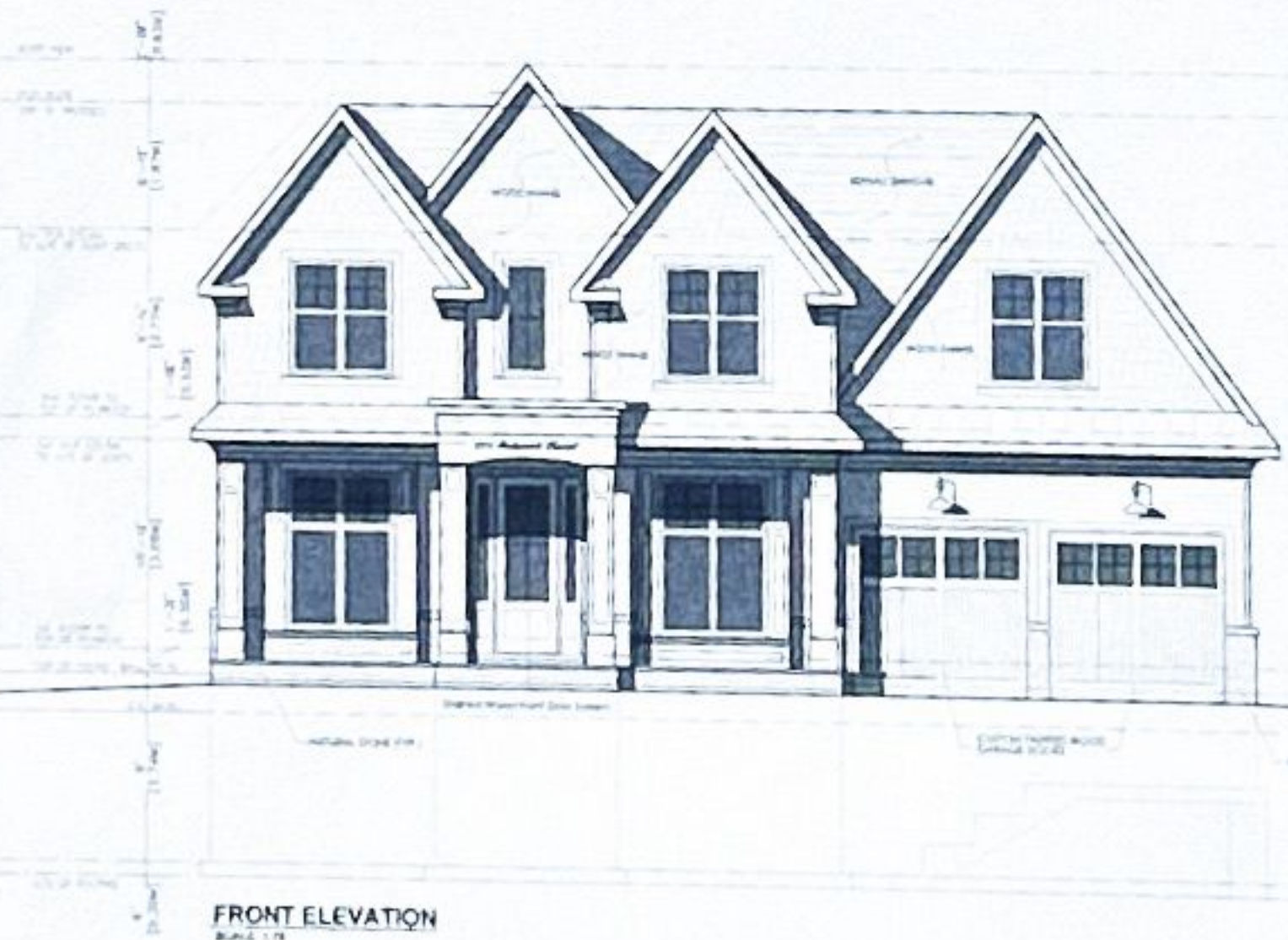
Letter of Support

We have reviewed the plans with our neighbours for their proposed new home to be built at 214 Mohawk Rd., and have no objections to the minor variances being requested through the Committee of Adjustment.

NAME Kellin Nott
 ADDRESS 209 Chalmers
 SIGNATURE [Signature]

SITE STATISTICS 214 MOHAWK ROAD

	EXISTING	PROPOSED	TOTAL	ALLOWED
ZONING	RLS-0			
LOT AREA	697 M2			
LOT COVERAGE	---	243.53M2	---	243.95M2
LOT COVERAGE	---	34.94%	---	35%
R.F.A.	---	301.77M2	---	285.77M2
R.F.A.	---	43.3%	---	41%
BLDG HEIGHT (PEAK)	---	9.60M	---	9 M
FRONT YARD SETBACK	---	8.38M	---	9.49M



214
MOHAWK ROAD
OAKVILLE

Letter of Support

We have reviewed the plans with our neighbours for their proposed new home to be built at 214 Mohawk Rd., and have no objections to the minor variances being requested through the Committee of Adjustment.

Linda Kallio

NAME

207 Chalmers St

ADDRESS

L. Kallio

SIGNATURE

SITE STATISTICS 214 MOHAWK ROAD

	EXISTING	PROPOSED	TOTAL	ALLOWED
ZONING:	RL5-0			
LOT AREA	697 M2			
LOT COVERAGE :	---	M2 243.53M2	---	M2 243.95M2 3,477.59 FT ²
LOT COVERAGE :	---	% 34.94%	---	% 35%
R.F.A. :	---	M 301.77M2	---	M 285.77M2 3,078.59 FT ²
R.F.A. :	---	% 43.3%	---	% 41%
BLDG HEIGHT (PEAK) :	---	M 9.60M	---	M 9 M
FRONT YARD SETBACK :	---	M 8.38M	---	M 9.49M

