

**SURVEYOR'S REAL PROPERTY REPORT**  
**PART 1 – PLAN OF SURVEY OF**  
**LOT 3**  
**REGISTERED PLAN 417**  
**TOWN OF OAKVILLE**  
**REGIONAL MUNICIPALITY OF HALTON**

SCALE 1:200

MANDARIN SURVEYORS LIMITED, O.L.S. ©

**METRIC**

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

**LEGEND**

- DENOTES MONUMENT SET
- DENOTES MONUMENT FOUND
- SIB DENOTES STANDARD IRON BAR
- IB DENOTES IRON BAR
- P1 DENOTES PLAN OF SURVEY BY H. C. SEWELL, O.L.S. DATE NOVEMBER 11, 1950
- RP DENOTES REGISTERED PLAN 417
- RP2 DENOTES REGISTERED PLAN 405
- D DENOTES INST. No. 769602
- PIN DENOTES PROPERTY IDENTIFIER NUMBER
- M DENOTES MEASURED
- N,S,E,W DENOTES NORTH, SOUTH, EAST, WEST
- B.F. DENOTES BOARD FENCE
- C.L.F. DENOTES CHAIN LINK FENCE
- NI DENOTES NOT IDENTIFIABLE
- OU DENOTES ORIGINAL UNKNOWN
- D.S. DENOTES DOOR SILL ELEVATION AT ENTRY
- O.H.W. DENOTES OVERHEAD WIRE
- F.H. DENOTES FIRE HYDRANT
- M.H. DENOTES MANHOLE
- U.P. DENOTES UTILITY POLE
- P.A. DENOTES POLE ANCHOR
- W.V. DENOTES WATER VALVE
- C.B. DENOTES CATCH BASIN
- DENOTES CONIFEROUS TREE
- DENOTES DECIDUOUS TREE

ALL TIES TO CONCRETE FOUNDATION, UNLESS NOTED OTHERWISE.  
 BEARINGS SHOWN HEREON ARE ASTRONOMIC AND ARE REFERRED TO THE WESTERLY OF LOT 3 AS SHOWN ON REGISTERED PLAN 417 HAVING A BEARING OF N43° 58' 00"W.

**BENCHMARK NOTE**

ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE REFERRED TO THE TOWN OF OAKVILLE BENCHMARK No.16 HAVING AN ELEVATION OF 95.994 M. CONCRETE BASE OF FENCE POST AT THE WEST END OF THE CHAIN LINK FENCE ON THE SOUTH SIDE OF PINEGROVE PUBLIC SCHOOL, NORTH OF #501 FOURTH LINE.

THIS REPORT WAS PREPARED FOR DIAMOND CRETE AND CONSTRUCTION INC. AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR ITS USE BY OTHER PARTIES.

**PART 2 (SURVEY REPORT)**

1. REGISTERED EASEMENTS AND/OR RIGHT OF WAYS: NONE.
2. ADDITIONAL COMMENTS: NOTE THE LOCATION OF THE FENCES AROUND THE NORTHERLY, EASTERLY AND WESTERLY LIMITS OF THE SUBJECT PROPERTY. NOTE THE LOCATION OF THE OVERHEAD WIRE.
3. THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BY-LAWS.

**SURVEYOR'S CERTIFICATE**

- I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
  2. THE SURVEY WAS COMPLETED ON THE 08th DAY OF DECEMBER, 2023

DECEMBER 14, 2023  
 DATE

Z. ZENG  
 ONTARIO LAND SURVEYOR

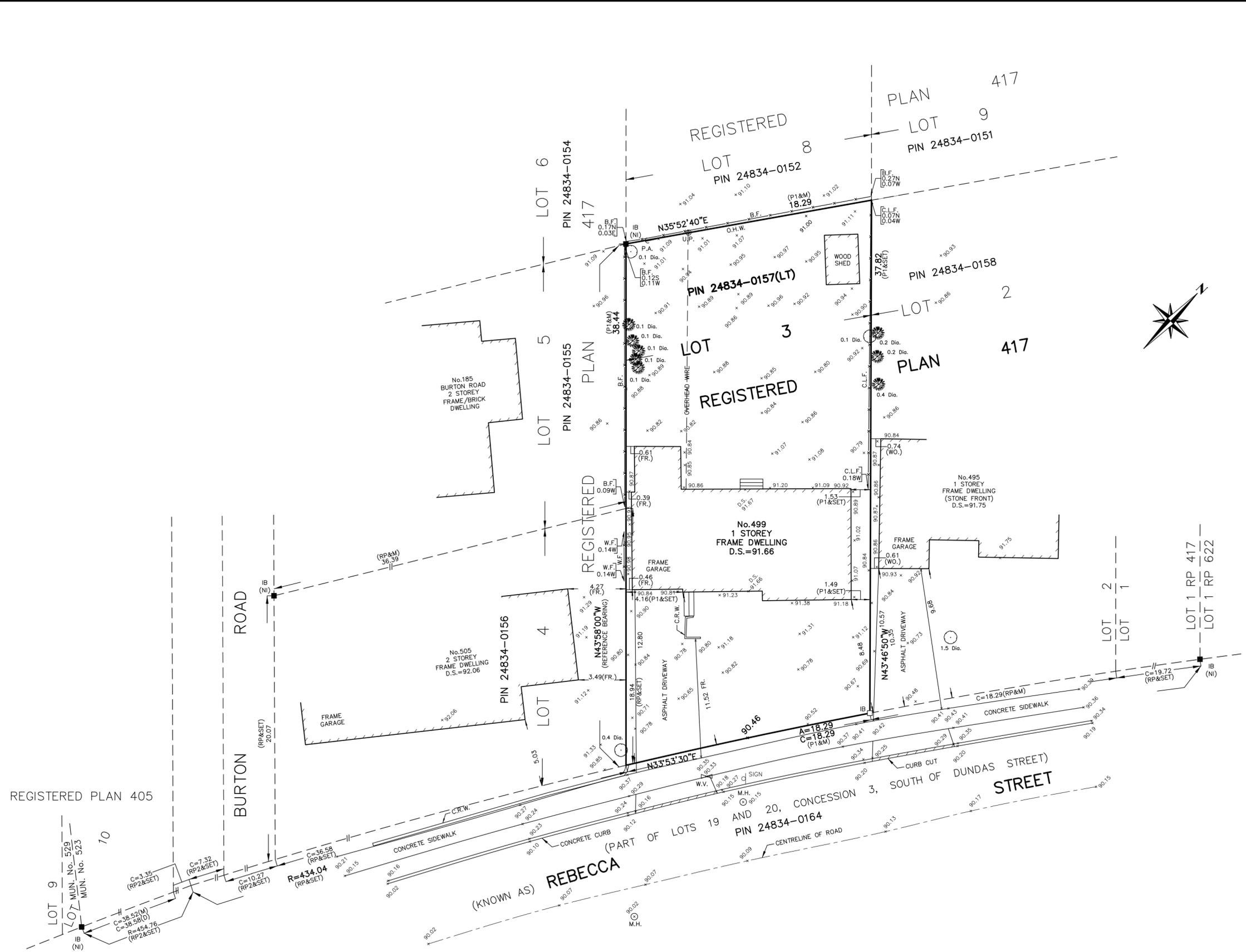
ASSOCIATION OF ONTARIO  
 LAND SURVEYORS  
 PLAN SUBMISSION FORM  
 2212962

THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR. In accordance with Regulation 1026, Section 29(3).

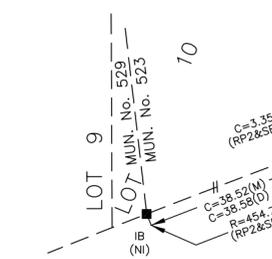
**MANDARIN SURVEYORS LIMITED**  
 ONTARIO LAND SURVEYOR CANADA LANDS SURVEYOR  
 WWW.MANDARINSURVEYORS.COM

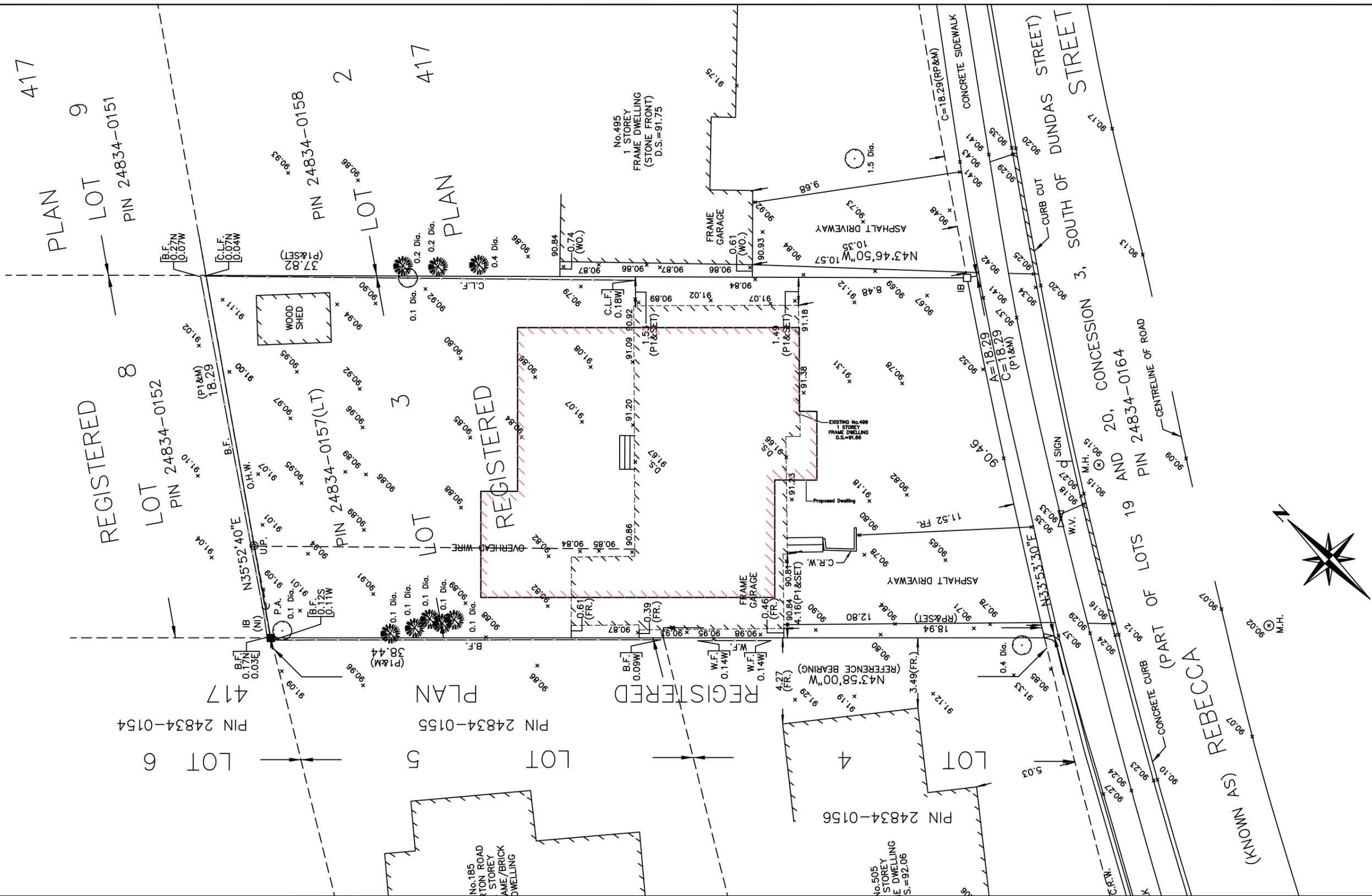
2400 MIDLAND AVE., #121 SCARBOROUGH, ONTARIO, M1S 5C1 E-MAIL: MANDARINSURVEYOR@GMAIL.COM FAX: (647)799-4068

SURVEY BY: Z.Q. DRAWN BY: S.N. CAD No: 23-511SRPR JOB No: 2023-511



REGISTERED PLAN 405





15845 RIVER DRIVE RD,  
 GEORGETOWN, ON L7G 4S7  
 289-962-4003, 647-285-2597, 289-889-2697  
 info@diamondconst.ca

**499 REBECCA STREET, OAKVILLE**

**NAME:**  
 MANJINDER KAUR

**SIGNATURE:**  
*Manjinder*

**BCIN:**  
 125147

THE UNDERSIGNED HAS REVIEWED AND TAKES THE RESPONSIBILITY FOR THE DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

**QUALIFICATION REQUIREMENT**  
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.5.1 OF DIVISION "C" OF O.B.C

DRAWN BY: MK

CLIENT REVIEW:

REVISION:

ISSUED FOR PERMIT:

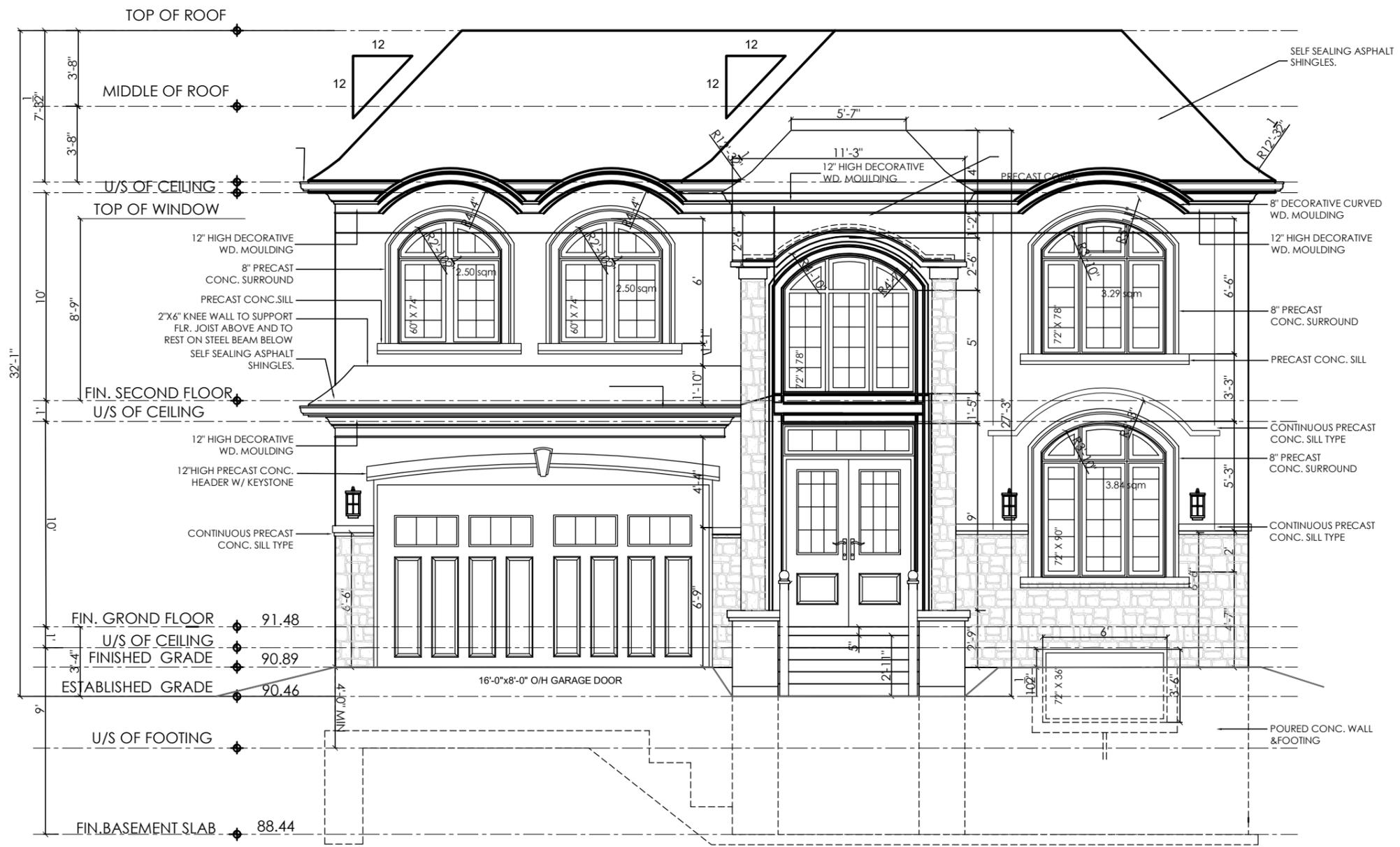
SITE SURVEY PLAN

JAN 2024

SCALE (1:200)

**A0**





FRONT ELEVATION (SOUTH FACING)  
SCALE (1:75)



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FRONT ELEVATION

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SCALE (1:75)

A5



REAR ELEVATION (NORTH FACING)  
SCALE (1:70)



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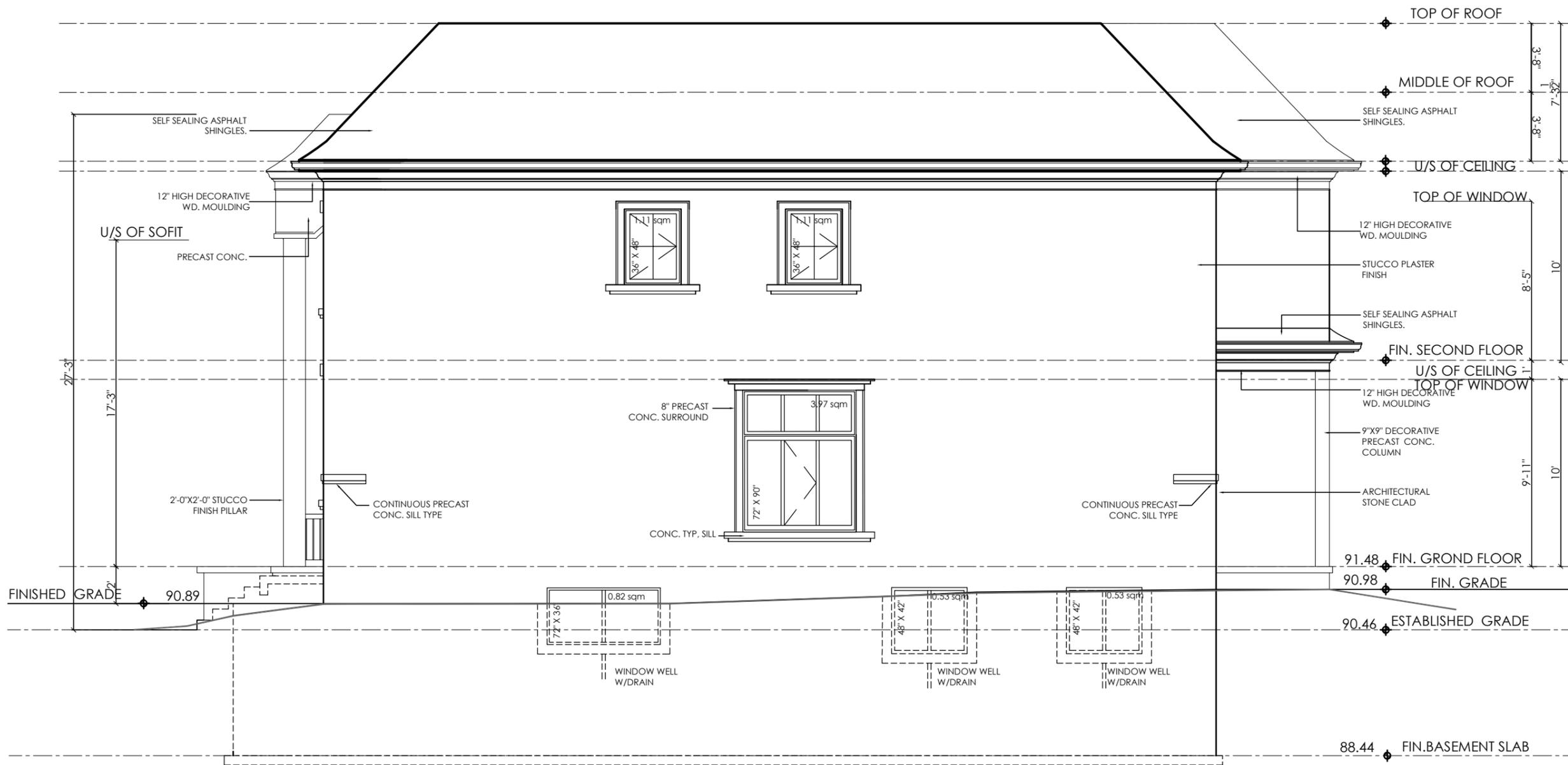
ISSUED FOR PERMIT:

REAR ELEVATION

JAN 2024

SCALE (1:75)

A8



RIGHT SIDE ELEVATION  
SCALE (1:75)

**LIMITING DISTANCE CALCULATION**  
 SETBACK: 6'-11" (2.10 M)  
 WALL AREA: 1041.33 SFT (96.77 SM)  
 ALLOWED GLAZING AREA: 9% (8.70SM)  
 PROVIDED GLAZING AREA: 6.78% (6.56 SM)



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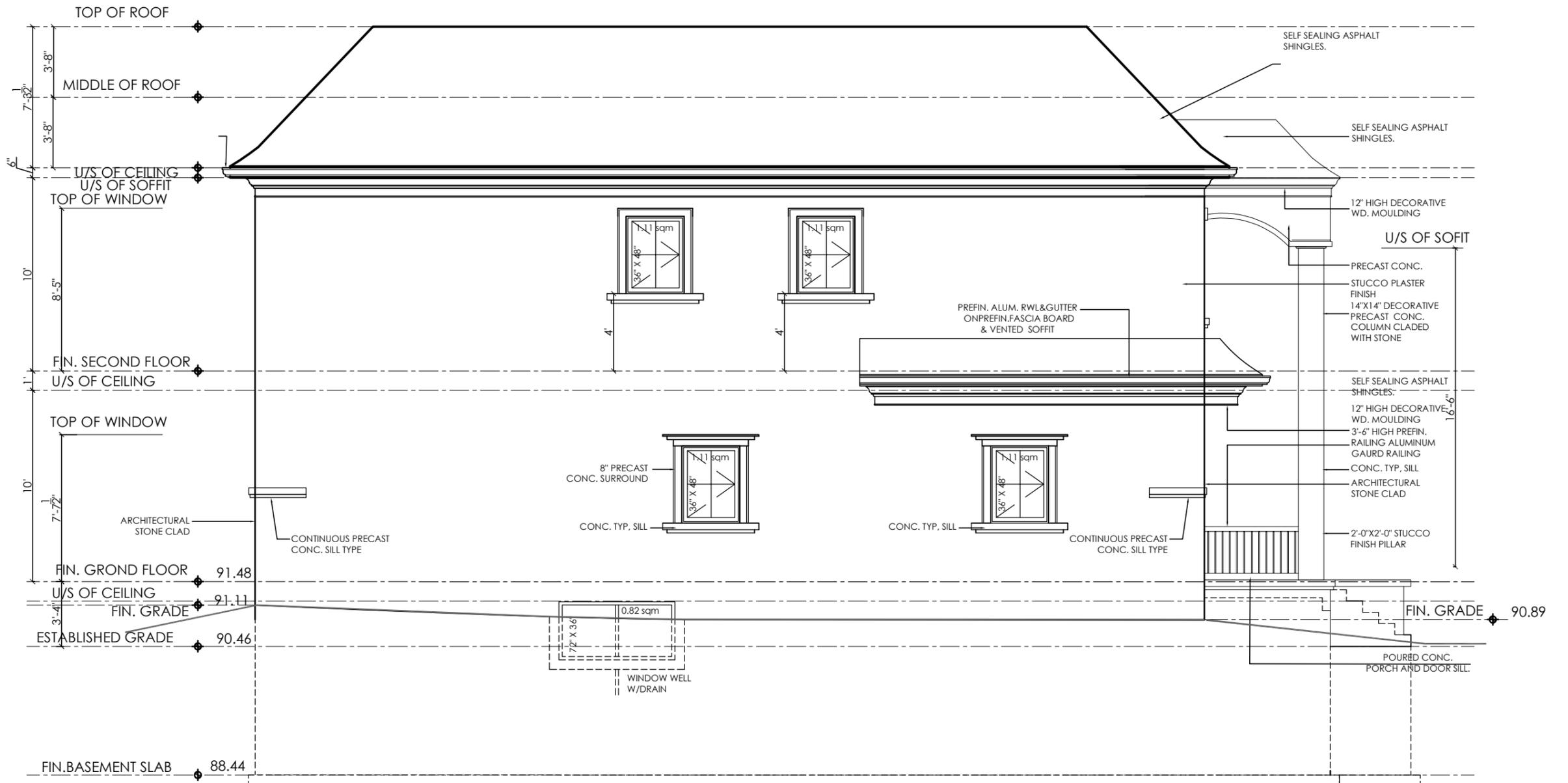
ISSUED FOR PERMIT:

RIGHT SIDE ELEVATION

JAN 2024

SCALE (1:75)

**A7**



LEFT SIDE ELEVATION (EAST FACING)  
SCALE (1:75)

LIMITING DISTANCE CALCULATION  
 SETBACK: 7'-11" (2.40 M)  
 WALL AREA: 1087.77 SFT (101.02 SM)  
 ALLOWED GLAZING AREA: 8% (8.08SM)  
 PROVIDED GLAZING AREA: 4.74% (4.79 SM)



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CLIENT REVIEW:

REVISION:

ISSUED FOR PERMIT:

LEFT SIDE ELEVATION

JAN 2024

SCALE (1:75)

**A6**