

309 WINSTON ROAD
OAKVILLE, ONTARIO



our cool blue architects inc.
450 Bronte St. S. Suite 213
MILTON - ON - L9T 8T2
www.ourcoolblue.com
e: info@ourcoolblue.com
p: 905 363 7677
f: 905 363 7677

OCBA



general notes:

1. ALL DIMENSIONS IN IMPERIAL.
2. VERIFY ALL DIMENSIONS.
3. DO NOT SCALE DRAWINGS.
4. CHECK DRAWINGS AGAINST SPECIFICATIONS.
5. USE THE LATEST REVISED DRAWINGS ONLY.
6. REPORT ANY DISCREPANCIES, DISCOVERED ERRORS, OR OMISSIONS, TO THE OWNER BEFORE PROCEEDING.
7. CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS PRIOR TO CONSTRUCTION AND INFORM OWNER OF ALL DISCREPANCIES. DO NOT SCALE THESE DRAWINGS.
8. CONSTRUCTION SHALL BE IN ACCORDANCE WITH PART 9 AND 4 OF THE ONTARIO BUILDING CODE AND LOCAL BY-LAWS.
9. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONFORM WITH THESE SECTIONS WHERE APPLICABLE AND BE AQUAINTED GENERALLY WITH PART 9 OF THE BUILDING CODE

ISSUE			
#	DATE	DESCRIPTION	INITIAL
1	01/02/24	CLIENT REVIEW	TK
2	02/05/24	CLIENT REVIEW	TK
3	02/09/24	CLIENT REVIEW	TK
4	03/13/24	COMMITTEE OF ADJUSTMENT	TK



DRAWING LIST

- A0.0 COVER PAGE
- A1.1 SITE PLAN
- A2.1 BASEMENT PLAN
- A2.2 GROUND FLOOR PLAN
- A2.3 SECOND FLOOR PLAN
- A3.1 EXTERIOR ELEVATIONS
- A3.2 EXTERIOR ELEVATIONS

ISSUED FOR COMMITTEE OF ADJUSTMENT - MARCH 13, 2024

COMMITTEE OF ADJUSTMENT			
Issued for:			
MARCH 13, 2024			
Issue date			
Project No.	DRL	TK	
	Drawn by	Checked by	
309 Winston Road			
Oakville		Ontario	
Project			
Cover Page			
Drawing title			
Sheet no.			A0.0



SITE DATA:	
ZONING:	RL2-0
LOT AREA:	1,102.06 SQM (11,862.5 SQFT)
LEGAL SETBACKS:	
FRONT YARD SETBACK:	11.26 M
EXISTING SETBACK -	10.26 M
MINIMUM = EXISTING - 1.0M =	15.76 M
MAXIMUM = NEW MINIMUM + 5.5M =	1.20 M
WEST SIDE YARD SETBACK:	2.40 M
EAST SIDE YARD SETBACK:	7.50 M
REAR YARD SETBACK:	
PROPOSED SETBACKS:	
FRONT SETBACK:	10.26 M
WEST SETBACK:	1.20 M
EAST SETBACK:	2.40 M
REAR SETBACK:	18.48 M
BUILDING FOOTPRINT AREA:	
MAIN HOUSE:	271.7 SQM (2924.2 SQFT)
REAR COVERED PORCH:	28.5 SQM (306.5 SQFT)
FRONT COVERED PORCH:	12.9 SQM (138.4 SQFT)
OPEN REAR PORCH:	21.1 SQM (227.5 SQFT)
OVERALL TOTAL:	334.2 SQM (3596.6 SQFT)
LOT COVERAGE:	
MAXIMUM PERMISSIBLE - 25%:	1102.06 X 0.25 = 275.5 SQM (2965.5 SQFT)
PROPOSED - LOT AREA x 30.3%:	334.2 SQM (3596.6 SQFT)
GROSS FLOOR AREA (EXTERIOR FACE):	
MAIN FLOOR:	207.0 SQM (2228.6 SQFT)
SECOND FLOOR:	221.6 SQM (2385.7 SQFT)
OVERALL TOTAL:	428.6 SQM (4614.3 SQFT)
MAXIMUM GFA:	
MAXIMUM PERMISSIBLE - 37%:	1102.06 X 0.37 = 407.8 SQM (4389.5 SQFT)
PROPOSED - LOT AREA x 38.9%:	428.6 SQM (4614.3 SQFT)
BUILDING HEIGHT:	
MAXIMUM PERMISSIBLE :	9.0 M
PROPOSED:	9.0 M
GARAGE AREA:	
MAXIMUM PERMISSIBLE :	45 SQM (484.4 SQFT)
PROPOSED	59.2 SQM (636.8 SQFT)

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Submitted for:

MARCH 13, 2024

Issue Date:

Project No.	DRL	TK
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309 Winston Road

Oakville Ontario

Site Plan

Drawing title

A1.1



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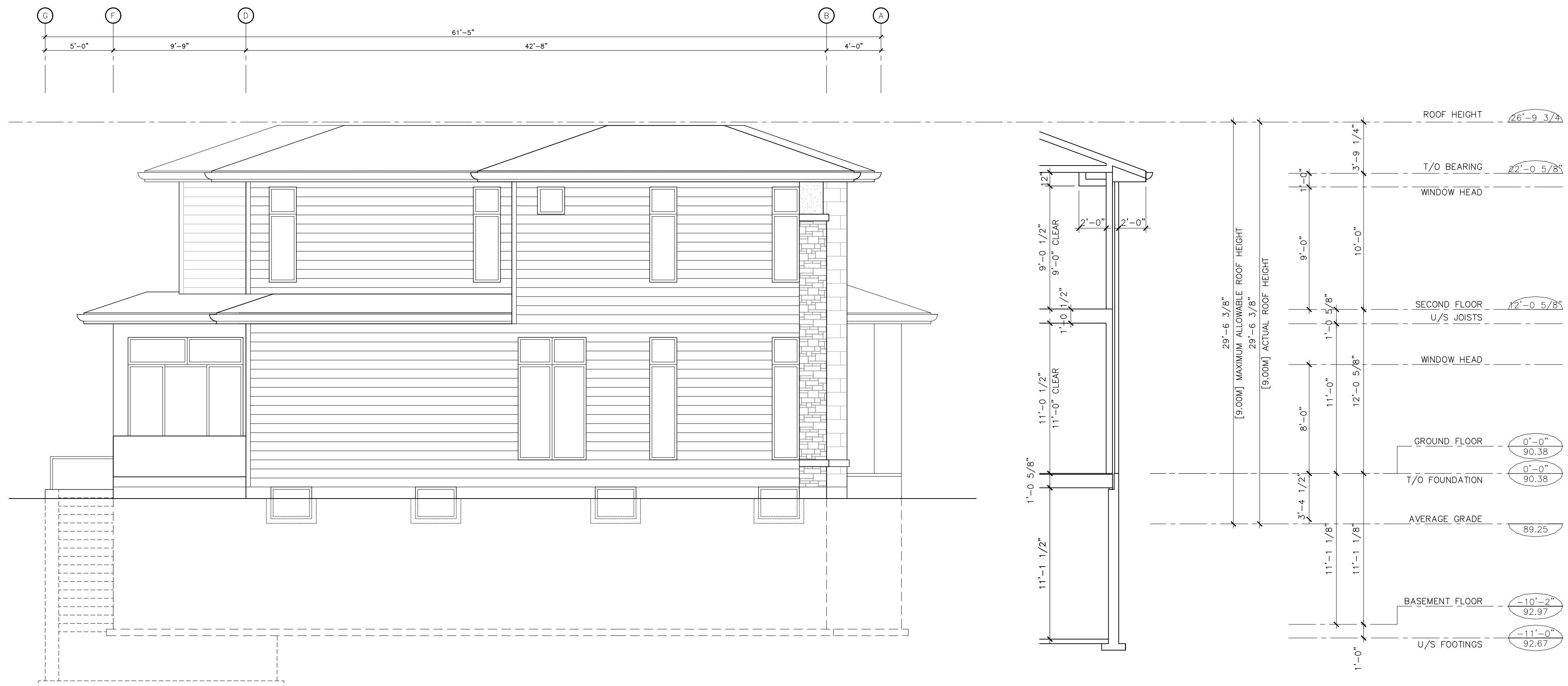
Exterior Elevations

Drawing title

A3.1



1 SOUTH ELEVATION
A3.1 3/16" = 1'-0"



1 WEST ELEVATION
A3.1 3/16" = 1'-0"



ОСБА

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ONTARIO ASSOCIATION
OF
ARCHITECTS
[Signature]
TOMASZ KOLBASZENKO
LICENCE
6102

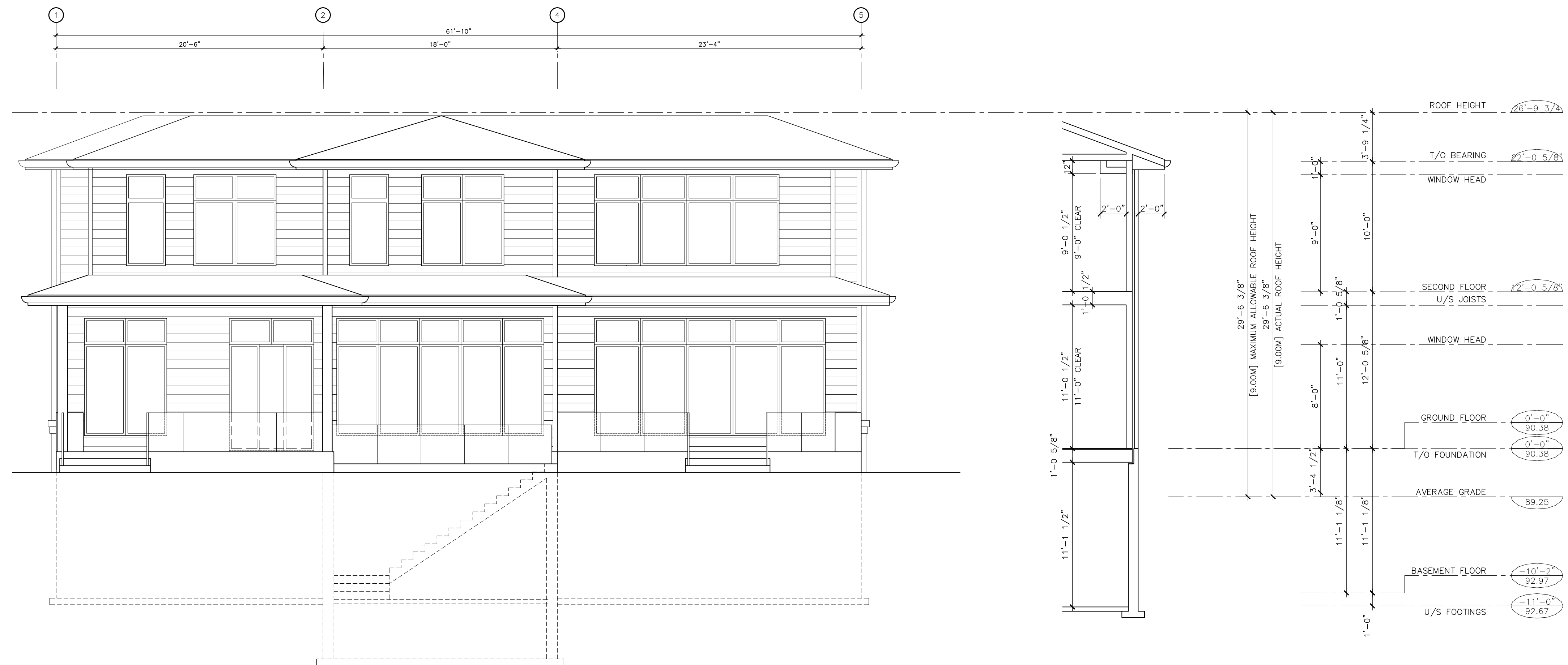
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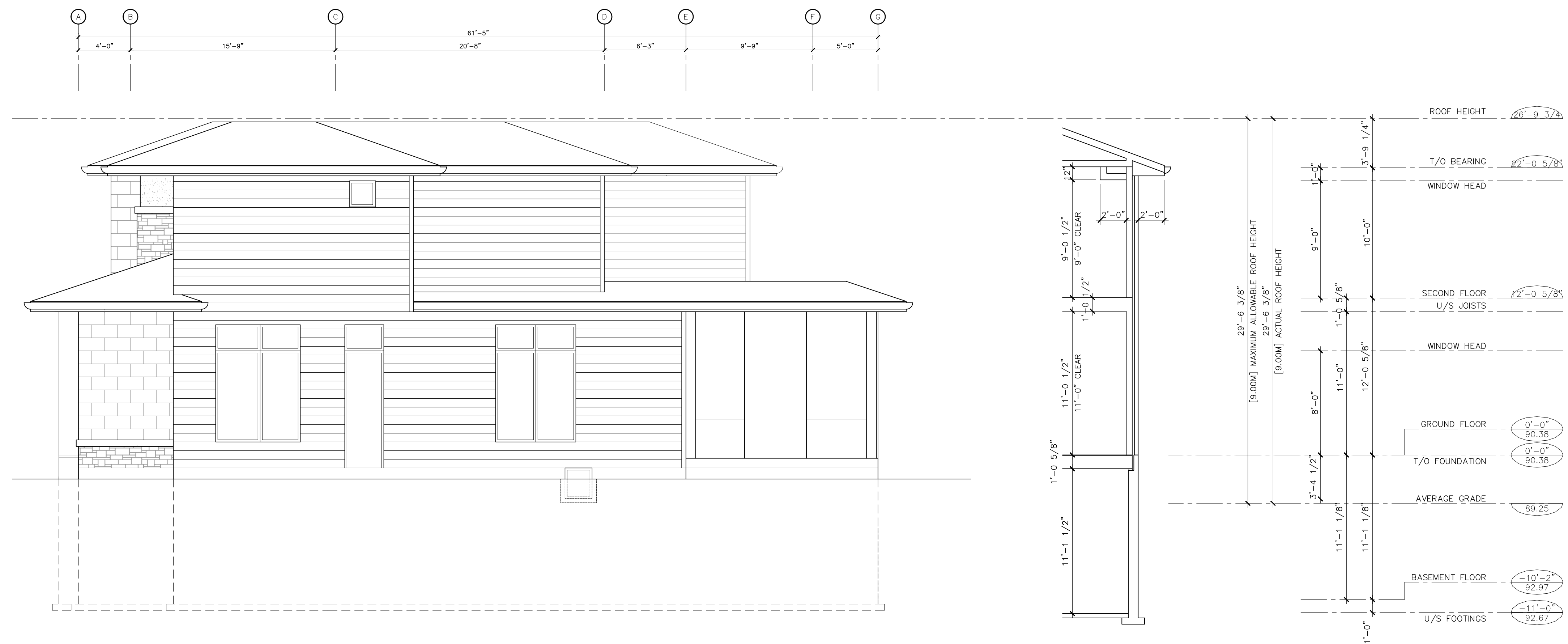
Exterior Elevations

Drawing title

A3.2



1 NORTH ELEVATION
A3.2 3/16" = 1'-0"



$$\frac{2}{A3.2} \quad \text{EAST ELEVATION} \quad \frac{3}{16}'' = 1'-0''$$