

ZONING BY-LAW MARIX - RESIDENTIAL LOW (RL1-0)			TOTAL
SITE AREA: 0.22ha (.58ac)			
Description	Required	Retained Lands	Severed Lands
Minimum Lot Frontage	30.50 m	24.26 m	24.26 m
Minimum Interior Lot Area	0.13 ha (0.34 ac) 1,393.50 m <sup>2</sup>	0.11 ha (0.28 ac) 1,140.59 m <sup>2</sup>	0.11 ha (0.28 ac) 1,137.83 m <sup>2</sup>
Minimum Front Yard Depth	10.50 m	12.55 m	10.61m
Minimum Interior Side Yard Width	4.20 m	4.20m	4.20m
Minimum Rear Yard Depth	10.50 m	25.80m	18.95m
Maximum Lot Coverage	25%	15.38%	18.83%
Floor Ratio	30%	11.03%	18.83%

STATISTICS OVERVIEW

TOTAL LOT AREA:	0.22 ha (0.56 ac)
LANDS to be RETAINED:	0.11 ha (0.28 ac)
LANDS to be SEVERED:	0.11 ha (0.28 ac)

LEGEND

- PROPERTY BOUNDARY
- LANDS TO BE RETAINED
- LANDS TO BE SEVERED
- MAXIMUM BUILDING ENVELOPE
- MAXIMUM LOT COVERAGE

CONCEPTUAL SEVERANCE PLAN  
PROPOSED NEW LOT  
317 GLOUCESTER AVENUE  
TOWN of OAKVILLE

P.N.: 23.3338.00	Date: September 25, 2023
Scale: N.T.S	Revised:
Drawn By: H.S.	File No.: PN 3338 Severance Concept Plan





**AIR PHOTO - SUBJECT SITE**  
**317 GLOUCESTER AVENUE**  
**TOWN of OAKVILLE, REGION of HALTON**

**LEGEND**

 **PROPERTY BOUNDARY**

P.N.: 23.3338.00

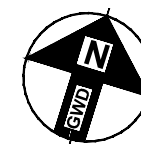
Date: October 16, 2023

Scale: N.T.S

Revised:

Drawn By: H.S.

File No.: PN 3338 Subject Site



**GWD**  
Gagnon Walker Domes  
PROFESSIONAL PLANNERS  
7685 Hurontario Street  
Suite 501  
Brampton, Ontario  
L6W 0B4  
p: (905) 796-5790  
t: 1 (855) 771-7266  
w: www.gwdplanners.com



**AIR PHOTO - CONTEXT MAP**  
**317 GLOUCESTER AVENUE**  
**TOWN of OAKVILLE, REGION of HALTON**

**LEGEND**

 **PROPERTY BOUNDARY**

P.N.: 23.3338.00

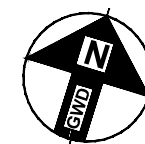
Date: October 16, 2023

Scale: N.T.S

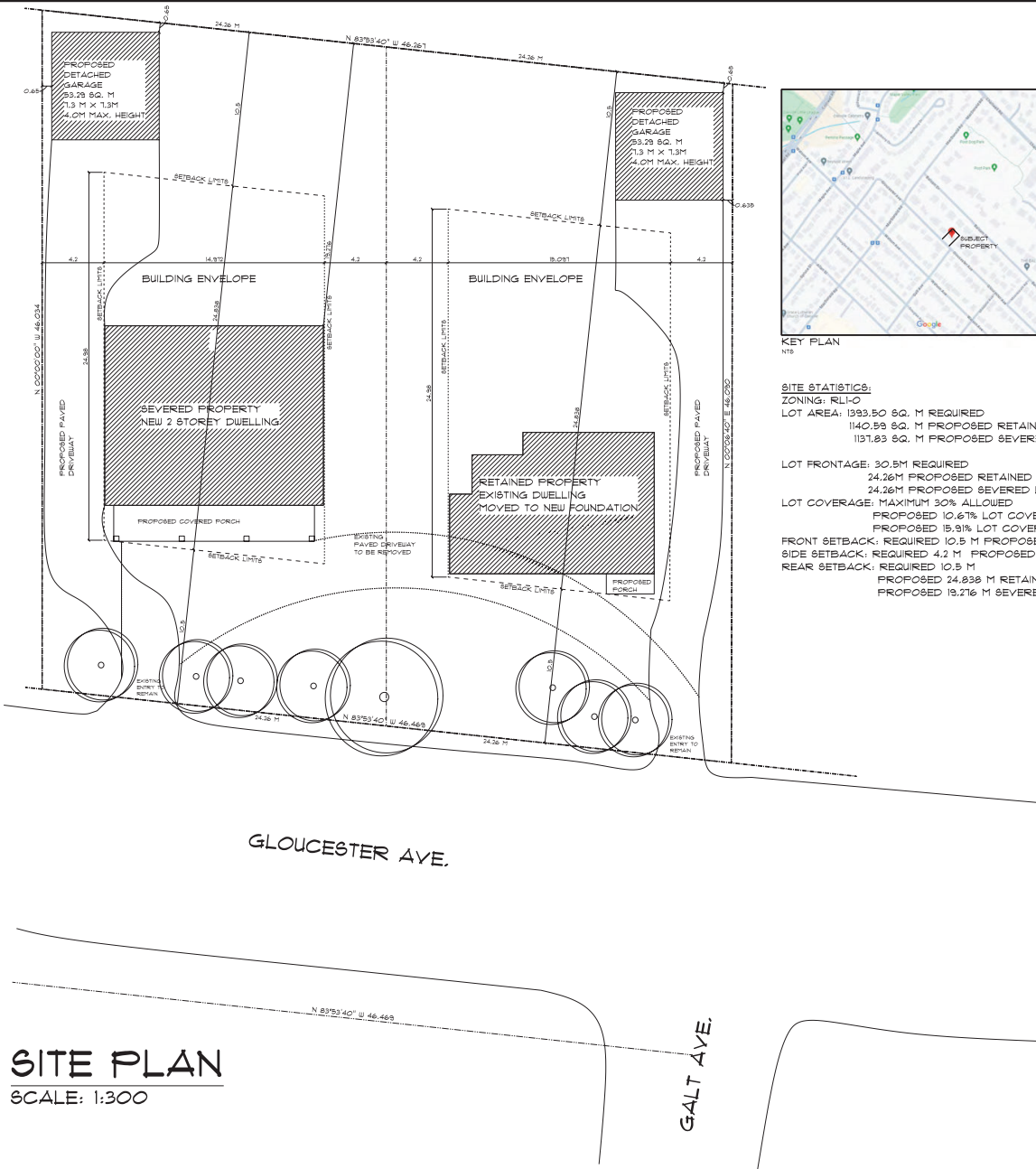
Revised:

Drawn By: H.S.

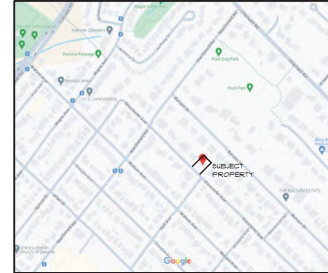
File No.: PN 3338 Context Map



**GWD**  
Gagnon Walker Domes  
PROFESSIONAL PLANNERS  
7685 Hurontario Street  
Suite 501  
Brampton, Ontario  
L6W 0B4  
p: (905) 796-5790  
t: 1 (855) 771-7266  
w: www.gwdplanners.com



**SITE PLAN**  
SCALE: 1:300



KEY PLAN

- LEGEND:**
- REQUIRED SETBACK
  - - - - - PROPERTY LINE
  - TREE TO REMAIN
  - ▨ STRUCTURES

**SITE STATISTICS:**  
ZONING: RL1-O  
LOT AREA: 1393.50 SQ. M REQUIRED  
1140.59 SQ. M PROPOSED RETAINED LOT  
137.83 SQ. M PROPOSED SEVERED LOT

LOT FRONTAGE: 30.5M REQUIRED  
24.26M PROPOSED RETAINED LOT  
24.26M PROPOSED SEVERED LOT

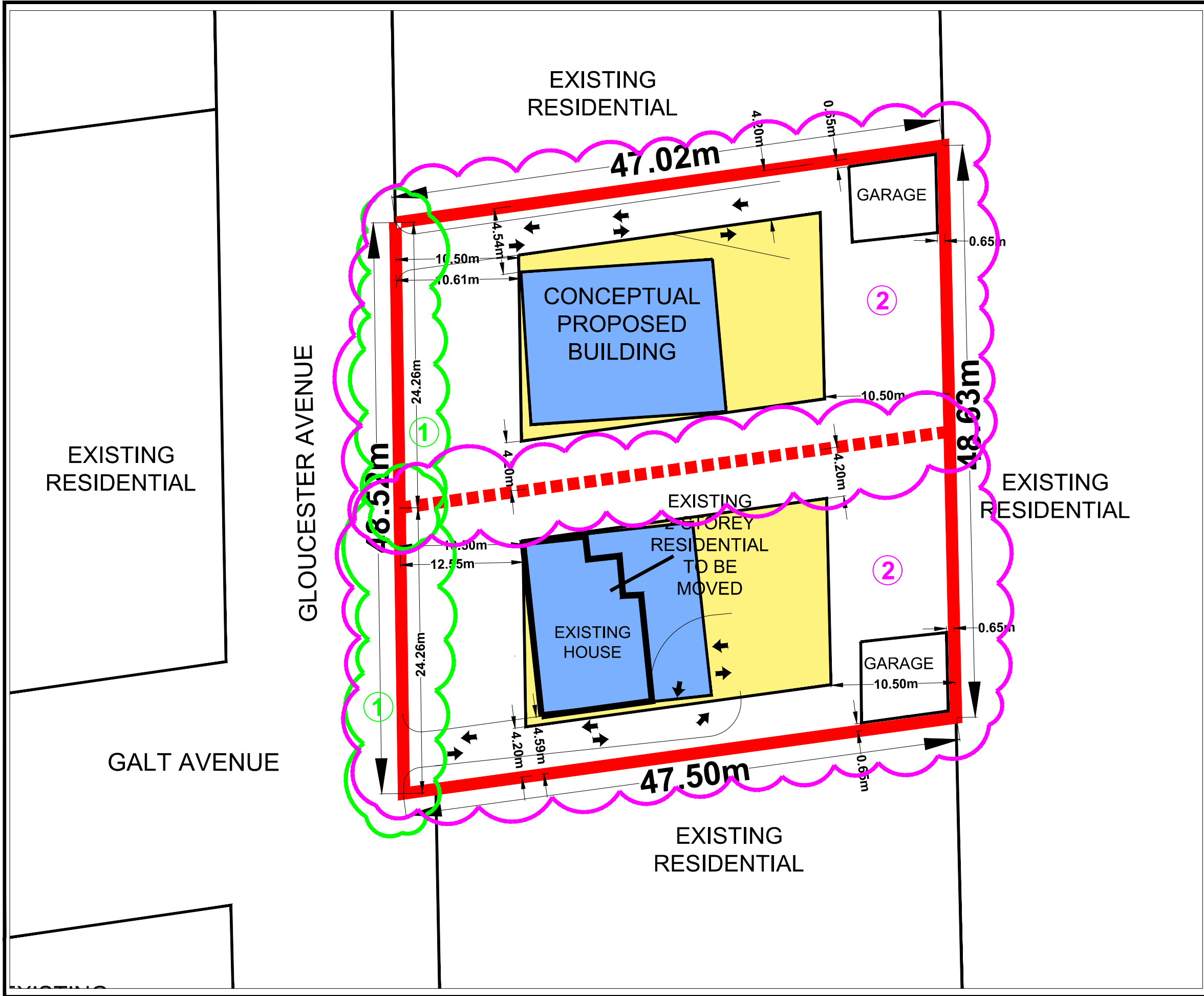
LOT COVERAGE: MAXIMUM 30% ALLOWED  
PROPOSED 10.6% LOT COVERAGE RETAINED LOT  
PROPOSED 15.9% LOT COVERAGE SEVERED LOT

FRONT SETBACK: REQUIRED 10.5 M PROPOSED 10.5 M  
SIDE SETBACK: REQUIRED 4.2 M PROPOSED 4.2 M MINIMUM  
REAR SETBACK: REQUIRED 10.5 M  
PROPOSED 24.838 M RETAINED LOT  
PROPOSED 13.216 M SEVERED LOT

DATE: **January 11, 2024**  
DRAWN BY:  
PAGE: **2**

**Kevin Webster Designs Inc.**  
68 North Valley Dr.  
Welland, Ont. L3C 7L6  
kevin@kwdesigns.ca 905-639-2009

**Project:**  
PROPOSED SEVERANCE  
FRANCIS RESIDENCE  
317 GLOUCESTER AVE  
OAKVILLE, ONT.



MINOR VARIANCE

Retained Lands

1. To permit a lot frontage of 24.26m whereas the Zoning By-law requires a minimum lot frontage of 30.50m.
2. To permit a lot area of 0.11 ha (0.28 ac) whereas the Zoning By-law requires a minimum lot area of 0.13 ha (0.34ac)

Severed Lands

1. To permit a lot frontage of 24.26m whereas the Zoning By-law requires a minimum lot frontage of 30.50m.
2. To permit a lot area of 0.11 ha (0.28 ac) whereas the Zoning By-law requires a minimum lot area of 0.13 ha (0.34ac)

STATISTICS OVERVIEW

TOTAL LOT AREA:	0.22 ha (0.56 ac)
LANDS to be RETAINED:	0.11 ha (0.28 ac)
LANDS to be SEVERED:	0.11 ha (0.28 ac)

LEGEND

- PROPERTY BOUNDARY
- MAXIMUM BUILDING ENVELOPE
- MAXIMUM LOT COVERAGE
- 1 MINOR VARIANCE
- 2 MINOR VARIANCE

MINOR VARIANCE PLAN  
317 GLOUCESTER AVENUE  
TOWN of OAKVILLE

P.N.: 23.3338.00	Date: September 25, 2023
Scale: N.T.S	Revised:
Drawn By: H.S.	File No.: PN 3338 Minor Variance Plan

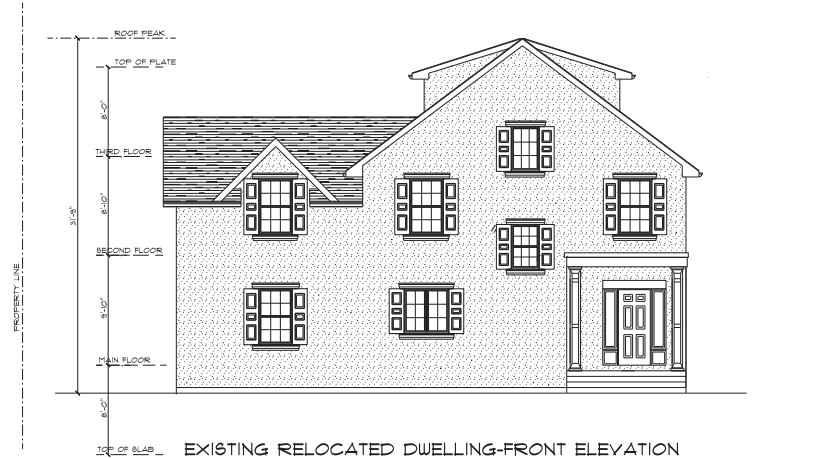




PROPOSED DWELLING-FRONT ELEVATION  
SEVERED PROPERTY



PROPOSED DWELLING-FRONT ELEVATION  
SEVERED PROPERTY  
3D RENDERING



EXISTING RELOCATED DWELLING-FRONT ELEVATION  
RETAINED PROPERTY



EXISTING DWELLING-FRONT ELEVATION

DATE: January 11, 2024  
DRAWN BY:  
PAGE: 1

Kevin Webster Designs Inc.

68 North Valley Dr.  
Welland, Ont. L3C 7L6  
kevin@kwdesigns.ca 905-639-2009

Project:  
PROPOSED SEVERANCE  
FRANCIS RESIDENCE  
317 GLOUCESTER AVE  
OAKVILLE, ONT.



Principals

Michael Gagnon  
Lena Gagnon  
Andrew Walker  
Richard Domes

February 12, 2024

Corporation of the Town of Oakville  
1225 Trafalgar Road  
Oakville, Ontario  
L6H 0H3

**Attn: Heather McCrae, Secretary Treasurer, Committee of Adjustment**

**Re: Committee of Adjustment  
Consent to Sever and Minor Variance Applications  
317 Gloucester Avenue,  
Town of Oakville, Ontario  
Ward 3  
(GWD File: 3338.00)**

**Dear Heather:**

Gagnon Walker Domes Ltd. (GWD) acts as Planning Consultant to Ms. Amelia Francis, the Registered Owner of 317 Gloucester Avenue, in the Town of Oakville (hereinafter referred to as the "subject site").

In support of the Committee of Adjustment – Consent to Sever and Minor Variance Applications, GWD is pleased to submit the following submission package:

- One (1) completed application form (Committee of Adjustment Consent);
- Two (2) completed application forms (Committee of Adjustment Minor Variance);
- One (1) Cover Letter, prepared by GWD dated February 12, 2024;
- One (1) copy of the Consent to Sever Plan and Minor Variance Plans, prepared by GWD dated September 25, 2023; and
- One (1) copy of the Site Plan and Elevation Drawings, prepared by Kevin Webster Designs Inc. dated January 11, 2024.

In addition, a Letter of Support and Petition signed by seven (7) neighbours within the surrounding neighbourhood is included with this submission to the Committee of Adjustment. As noted on the attached Letter of Support and Petition, the signatories thereto acknowledge that they are aware of the application and provide their support thereof.

---

**GAGNON WALKER DOMES LTD.**

7685 Hurontario Street, Suite 501 • Brampton ON Canada L6W 0B4 • P: 905-796-5790  
www.gwdplanners.com • Toll Free: 1-855-771-7266

**CONFIDENTIALITY  
CAUTION**

This document is Consultant-Client privileged and contains confidential information intended only for person(s) named above. Any distribution, copying or disclosure is strictly prohibited. If you have received this document in error, please notify us immediately by telephone and return the original to us by mail without making a copy.



## **1.0 Subject Property & Surrounding Area**

The subject site is an irregular shaped parcel, located on the east side of Gloucester Avenue, south of MacDonald Road and north of Sheddon Avenue/Moorecroft Road. In addition, the subject site is immediately opposite Galt Avenue. The subject site measures approximately 0.22ha (0.56ac) and is occupied by an existing two (2) storey single detached dwelling, serviced by a private driveway with (2) access points to Gloucester Avenue, as well as a detached garage.

Surrounding land uses generally include single detached residential and open space uses.

**TAB 1** includes Air Photos from Google Earth of the subject site and area context

## **2.0 Consent to Sever Application**

It is proposed that the subject site be severed into two (2) residential properties; Lot 1 being the retained lands and Lot 2 being the severed lands. Lot 1 measures approximately 0.11ha (0.28ac) with approximately 24.26m (79.59ft) of frontage on Gloucester Avenue. Lot 2 measures approximately 0.11ha (0.28ac) with approximately 24.26m (79.59ft) of frontage on Gloucester Avenue.

The purpose of the Consent to Sever Application is to create two (2) single-detached residential dwelling lots. The original portion of the existing dwelling is to be maintained (the more recent addition is not being kept) and relocated onto Lot 1, with a new dwelling to be constructed on Lot 2. A Pre-Consultation Application was submitted for the severance of the subject site on October 20, 2023. The Pre-Consultation Meeting was held on November 22, 2023 (under File # PCON 317 Gloucester Avenue) and the Consolidated Comments Report was issued on the same date.

Access to both lots shall continue to be provided from Gloucester Avenue via two (2) separate individual driveways. Due to the original dwelling having two (2) access points (north and south), the new lots will use the existing accesses and not create any new access points on Gloucester Avenue.

**TAB 2** includes the proposed Consent to Sever Plan prepared by Gagnon Walker Domes Ltd. dated September 25, 2023.

The following is a brief summary of the proposed Conceptual Severance Plan:

- Total Site Area: 0.22 hectares (0.56 acres)

### **Lot 1 – Retained Lands**

- Area: 0.11 hectares (0.28 acres)
- Width: 24.26 metres (79.59 feet)
- Depth: 47.28 metres (155.11 feet)



### **Lot 2 – Severed Lands**

- Area: 0.11 hectares (0.28 acres)
- Width: 24.26 metres (79.59 feet)
- Depth: 47.10 metres (154.52 feet)

## **3.0 Planning Analysis**

The proposed Consent to Sever Application has been analyzed in the context of governing planning documents. The following represents a summary of the highlights of the Planning Analysis.

### **Planning Act**

With regard to the Consent to Sever Application, our office has taken into consideration the provisions prescribed within Section 51(24) of the Planning Act (as summarized in the Chart below), and we are of the opinion that the proposed Consent to Sever Application represents good planning and should be supported from a land use perspective.

<b><u>Criteria To Be Considered</u></b>	<b><u>Analysis</u></b>
The effect of development of the proposed subdivision on matters of provincial interest;	The proposed severance has no significant effect on matters of provincial interest.
Whether the proposal is premature or in the public interest;	The proposed severance is neither premature nor contrary to any matters of public interest.
Whether the plan conforms to the official plan and adjacent plans of subdivision, if any;	The proposed severance conforms to the Official Plan, which designates the site Low Density Residential, which permits single-detached residential dwellings. The Official Plan also designates the site Special Policy Area, which further sets out the low density uses and character of the neighbourhood. The Retained lands are to maintain the original form of the existing dwelling (which will be relocated slightly), and the Severed Lands are intended to accommodate the proposed new single-detached residential dwelling. Lastly, the Official Plan identifies the site as a Residential Area, and the proposed uses of the Retained and Severed Lands are for residential purposes.



The suitability of the land for the purposes for which it is to be subdivided;	The subject site is suitable for the purposes of the severance. The subject site is designated for residential uses, and is in keeping with the character of the surrounding area, which consists of community and low-density residential uses. In addition, the proposal also meets the density provisions of the Official Plan Special Policy Area policies.
The number, width, location and proposed grades and elevations of highways, and the adequacy of them, and the highways linking the highways in the proposed subdivision with the established highway system in the vicinity and the adequacy of them;	The proposed severance does not present any concern with regard to the adequacy of the roadway network. The adjacent road network is suitable for residential purposes, including a residential dwelling, and the proposal serves to maintain the current use of the site for residential purposes.
The dimensions and shapes of the proposed lots;	The proposed lots to be created are appropriate in size and shape for the residential use. Two (2) associated Minor Variance Applications have been filed to address various performance related standards for the Severed and Retained lots; all of which are minor in nature. The variances related to performance standards include lot frontage and lot area for both the Severed and Retained lands. The proposed dimensions are in line with the surrounding neighbourhood which is located within the Special Policy Area.
The restrictions or proposed restrictions, if any, on the land proposed to be subdivided; or the buildings or structures proposed to be erected on it and the restrictions, if any, on adjoining land;	There are no known restrictions or proposed restrictions on the lands to be subdivided.
The conservation of natural resources and flood control;	The proposed severance presents no concerns with regard to flood control and the conservation of natural resources.
The adequacy of utilities and municipal services;	There are no concerns with regard to the adequacy of utilities and municipal services.
The adequacy of school sites;	The proposed severance presents no concerns with regard to the adequacy of school sites.



The area of land, if any, within the proposed subdivision that, exclusive of highways, is to be conveyed or dedicated for public purposes;	There are no concerns related to conveyances for public as part of the Consent Application.
The extent to which the plan's design optimizes the available supply, means of supplying, efficient use and conservation of energy;	The proposed severance has no impact on matters of energy conservation.
The interrelationship between the design of the proposal and site plan control matters relating to any development on the land, if the land is also located within a site plan control area designated under subsection 41(2) of this Act.	The existing single-detached residential building is being maintained and relocated, and will continue to operate as a single-detached residential dwelling. A new single-detached residential dwelling is proposed on the severed lot. Both lots will remain in the same Official Plan designations.

#### **4.0 Minor Variance Application**

Concurrent with the Consent to Sever Application for the subject site, two (2) associated Committee of Adjustment Minor Variance Applications are also being submitted to the Town of Oakville, seeking relief from the Zoning By-law in order to address various performance standards in relation to the newly created residential lot (Severed Lands) and the Retained lands.

The requested relief from the Zoning By-law for the Severed Lands is as follows:

1. To permit a lot frontage of 24.26m whereas the Zoning By-law requires a minimum lot frontage of 30.50m.
2. To permit a lot area of 0.11 ha (0.28 ac) whereas the Zoning By-law requires a minimum lot area of 0.13 ha (0.34ac).

The requested relief from the Zoning By-law for the Retained Lands is as follows:

1. To permit a lot frontage of 24.26m whereas the Zoning By-law requires a minimum lot frontage of 30.50m.
2. To permit a lot area of 0.11 ha (0.28 ac) whereas the Zoning By-law requires a minimum lot area of 0.13 ha (0.34ac).

The proposed Committee of Adjustment Minor Variance Applications have been analyzed in the context of the governing planning documents. The following represents a summary of the highlights of the planning analysis.

**TAB 3** includes the proposed Minor Variance Plan prepared by Gagnon Walker Domes Ltd. dated September 25, 2023.



## **Town of Oakville Official Plan, 2009 (Livable Oakville Plan)**

The Town of Oakville Official Plan (OOP) designates the subject site as '**Residential Areas**' and '**Low Density Residential**', as well as being located within a '**Special Policy Area**', as noted on Schedules A1 and G of the OOP. Uses permitted on lands designated **Low Density Residential** and **Residential Areas** are predominantly residential; including low, medium, and high density residential uses. Complimentary uses are permitted ranging from schools, places of worship, recreational facilities, and commercial uses (Policy 3.9).

In addition, Policy 3.9 notes that some growth and change may occur in the **Residential Area** provided the character of the area is preserved and the overall urban structure of the town is upheld. In this regard the proposed Severance and Minor Variance Applications seek to permit single-detached residential dwellings on both the Severed and Retained Lands. The resultant lot sizes, lot frontages, and uses are in keeping with the character of the existing surrounding neighbourhood.

It is the policy of the OOP that development and redevelopment to accommodate intensification will be located within areas identified as Growth Areas. It is noted that the subject site is located outside of the OOP identified Growth Areas. Policy 4.3 of the OOP provides policy direction on residential intensification outside of the Growth Areas. This policy notes that while the Plan encourages intensification generally throughout the built-up area, it also recognizes that some growth and change may occur in these areas provided the character of the areas is preserved and the overall urban structure of the town is upheld.

The proposed development maintains and preserves the overall urban structure of the town, as the proposal seeks to locate two (2) single-detached residential dwellings in an area of the town designated for such uses; the application does not seek to permit uses that are not permitted by the current planning designation.

In addition, while the variances for a minor reduction in lot area and frontage are being sought, the Severed and Retained lots are sufficiently and appropriately sized to accommodate the residential uses and is in keeping with the character of the existing surrounding neighbourhood. We have undertaken a review of the lot areas and frontages within the neighbourhood and note that there is a range of frontages and areas including a number of lots that have a lesser lot frontage and lot area than the proposed Severed and Retained lands. In this regard, we are of the opinion that the proposed Severed and Retained lands maintain the character of the existing neighbourhood and as such meets the intent and purpose of the Official Plan.

The OOP talks about the need to protect the existing trees in the Town. During the Pre-Consultation discussion, staff raised concerns about loss of tree canopy and maintaining the trees in the frontage. The proposed layout being advanced through this application has adjusted the proposed access driveways to each of the lots in order to avoid the existing frontage trees/natural features. In addition, the proposal serves to increase the landscaping/vegetation on the two (2) new parcels through additional planting (Policy 6.10.2).



## Residential

The residential policies of the Town of Oakville can be found in Section 11 of the Official Plan. In this regard, the Town of Oakville notes that residential areas represent the areas that provide for stable residential communities. Policy 11 of the OOP goes on to note that intensification outside of the Growth Areas within the stable residential communities will be subject to policies that are intended to maintain and protect the existing character of those communities.

As noted previously, the proposed Severance and associated Minor Variance Applications serve to locate two (2) single-detached residential dwellings on lots that are sized appropriately to accommodate the use. The size of the lots, their frontages, and the uses themselves are in keeping with the character of the existing surrounding neighbourhood and will not result in the destabilization of the existing community.

Policy 11 identifies a number of objectives that apply to all **Residential Areas**. We note the following as it relates to the proposed application:

- Maintain, protect, and enhance the character of the existing **Residential Areas** (Policy 11.a).
- Encourage an appropriate mix of housing types, densities, design and tenure throughout the town (Policy 11.b).

As previously noted, the proposed development and associated minor reduction in lot area and frontage serve to provide appropriately sized lots delivering single-detached dwellings that are in an area of the Town of Oakville that is designated for such use, and are in keeping with the character of the existing surrounding neighbourhood. The Severed and Retained lots are suitably sized to accommodate the single-detached dwelling while providing an appropriate level of circulation and openness within and around the subject site.

With regard to intensification within stable residential communities, the OOP states that on lands designated **Low Density Residential**, land division may be considered where it is compatible with the lot area and lot frontages of the surrounding neighbourhood (Policy 11.1.8.a).

In analyzing the lot frontages and lot areas within the surrounding neighbourhood, we note that there is a range of lot frontages from 15.00m to 52.05m, and a range of lot areas from 0.15ac to 0.58 ac. These surrounding properties have the same land use policy designations, including the **Special Policy Area** provisions. Both the Severed lot and the Retained lot have a lot frontage of 24.26m and a lot area of 0.23ac; all within the range of the existing surrounding neighbourhood. In this regard, the character of the existing neighbourhood is maintained by the proposed Severance and Minor Variances.

The OOP includes a number of development criteria to evaluate development within all stable residential communities in order to maintain and protect the existing



neighbourhood character (Policy 11.1.9). The following is a summary of how the proposed development meets relevant criteria:

- A) The built form of development, including scale, height, massing, architectural character and materials, is to be compatible with the surrounding neighbourhood. The scale and height of the proposed and existing dwelling is compatible with the surrounding neighbourhood. The buildings are proposed to be two (2) storeys in height which is consistent with all the other properties in the neighbourhood. The buildings will be designed with a sympathetic character and materials to those in the neighbourhood.
- B) Development should be compatible with the setbacks, orientation and separation distances within the surrounding neighbourhood. No variances for side yard setback are required for either the Severed lot or the Retained lot; the minimum 4.20m is being maintained for each. With regard to the compatibility test with regard to setbacks, orientation, and separation distances within the surrounding neighbourhood, we have analyzed the side yard width between all of the lots within the immediate surrounding neighbourhood. In this regard, we note that many of the lots within the surrounding neighbourhood are less than the required minimum, however the distances between the subject site and the surrounding lots is within the same range and context as with all of the other properties within the surrounding neighbourhood.
- D) Where applicable, the proposed lotting pattern of development shall be compatible with the predominant lotting pattern of the surrounding neighbourhood. The predominant lotting pattern of the surrounding neighbourhood is for single-detached residential dwellings on lots of various sizes. As noted previously, the proposed lot frontages and areas of the Retained and Severed lands is within the range of lot frontages and areas of the existing surrounding neighbourhood. The proposed Retained and Severed lands are appropriately sized to accommodate a single-detached dwelling which meets all minimum yard setbacks resulting in lots that are open and that have proper circulation around the dwelling.
- E) Roads and/or municipal infrastructure shall be adequate to provide water and wastewater service, waste management services and fire protection. The subject site is located on a public road, with full municipal services to which the dwellings that are to be located on the Severed and Retained lands can avail themselves of.
- H) Impacts on the adjacent properties shall be minimized in relation to grading, drainage, location of service areas, access and circulation, privacy, and microclimatic conditions such as shadowing. The Severed and Retained lands are appropriately sized to accommodate a single-detached residential dwelling, including the accommodation of grading, drainage, access and circulation, etc.

The **Low Density Residential** designation permits a range of low density housing types which include detached dwellings, semi-detached dwellings, and duplexes (Policy 11.2.1). The proposed development of the Severed and Retained lands through this



Consent to Sever and associated Minor Variance Applications is to permit single-detached dwellings which are a permitted use.

A density of up to 29 dwelling units per site hectare may be permitted in areas designated **Low Density Residential** (Policy 11.2.2). The density of the proposed development is 9.09 units per site hectare and as such is in conformity with this policy requirement. In this regard, we note that the **Special Policy Area** policies provide for an alternate density figure; see the discussion on Policy 26.2.1 below in this planning justification memo.

The **Special Policy Area** in Southeast, Central and Southwest Oakville that applies to the **Low Density Residential** designation is intended to protect the unique character of the area. Due to the characteristically large lots and homes located in this **Special Policy Area**, intensification shall be limited to development which maintains the large lots character of the neighbourhood. Densities in the **Special Policy Area** shall not exceed 10 units per site hectare notwithstanding the **Low Density Residential** designation (Policy 26.2.1).

The subject site is located within the Southeast Special Policy Area as noted on Schedule G, Southeast Land Use. As noted previously, the proposed lot frontages and lot areas as noted in the Minor Variance Applications is within the range of lot frontages and areas within the existing surrounding neighbourhood. As such, the proposed development maintains the character of the neighbourhood. Further, the side yard setbacks meet the requirements of the RL1-0 Zoning designation which applies to the subject site and surrounding neighbourhood; no variances are required. Lastly, a single-detached residential dwelling is proposed for both the Severed Lands and the Retained Lands, which is the building typology of all the surrounding properties.

A density of 9.09 units per site hectare is proposed which complies with the policy (not to exceed 10 units per site hectare). In this regard, the subject site maintains the character of the surrounding neighbourhood as the proposed density is in line with, but not exceeding, the density provisions of the Official Plan in Policy 26.2.1. The intent of this policy of the OOP is to maintain the large lots character of the neighbourhood through the implementation of the density provision to not exceed 10 units per site hectare. As noted, the density of the proposed development approaches but does not exceed the density requirements of the Official Plan, thereby maintaining the character of the area.

It is our opinion that the proposed Consent to Sever and associated Minor Variances conforms to the general intent and purpose of the Official Plan.

### **Zoning By-law 2014-014**

The subject site is zoned '**Residential Low (RL1-0)**'.

The '**Residential Low (RL1-0)**' Zoning only permits the following uses:

- Accessory Dwelling Unit;
- Bed and Breakfast Establishment;
- Conservation Use;



- Day Care;
- **Detached Dwelling;**
- Emergency Service Facility;
- Home Occupation;
- Lodging House;
- Public Park;
- Private Home Day Care;
- Short-Term Accommodation; and
- Stormwater Management Facility.

The proposed Consent to Sever application does not change the land use of the subject site. The subject site is designated **Low Density Residential** in the OOP and **Residential Low (RL1-0)**, both of which permit single-detached residential dwellings. Single-detached residential dwellings are proposed for both the Severed and Retained lots. The residential function of the subject site will remain; no new uses are proposed.

The requested variances will facilitate the advancement of a proposal for two (2) single-detached residential dwellings which maintain the character of the existing surrounding neighbourhood. The variance for the lot area reflects the total area of the Severed and Retained lands following the splitting of the original subject site into two (2) separate parcels, and reflects a modest reduction in minimum lot area. The variance for lot frontage reflects the total frontage of the Severed and Retained lands following the splitting of the original subject site into two (2) separate parcels, and reflects a modest reduction in minimum lot frontage.

It is our opinion that the proposed Severance and Minor Variances conform to the general intent of the Zoning By-law.

### **Desirable and Appropriate Development of the Land**

The submitted Minor Variance and Consent Applications will facilitate the creation of two (2) new lots (the severed and retained lands) for single detached residential uses, which is in keeping with the general intent of the Official Plan and Zoning By-law. The new lots are of a size, shape, and land use which is compatible, respects the current neighbouring parcel fabric, and efficiently utilizes existing and planned infrastructure.

The subject site is located in an area that is designated for residential purposes, including single-detached residential dwellings. In this regard, we are of the opinion that the proposed variances are considered desirable and appropriate for the development of the land.

### **Minor in Nature**

In determining whether the variances are minor, it is imperative that it not become an exercise of arithmetic but a contextual analysis. The proposed variances are not expected to have an adverse impact on the adjacent properties or the neighbourhood in general. They will serve to maintain the character of the existing surrounding neighbourhood.



The variances are modest deviations from the Zoning By-law standards. In this regard, we are of the opinion that the proposed variances are considered minor in nature and should be supported.

Should you require additional information or have any questions, please do not hesitate to contact the undersigned.

Yours truly,

Harjap Singh, B.U.R.P.I.  
Planning Associate  
[hsingh@gwdplanners.com](mailto:hsingh@gwdplanners.com)

Andrew Walker, B.E.S., M.C.I.P., R.P.P.  
Partner, Principal Planner  
[awalker@gwdplanners.com](mailto:awalker@gwdplanners.com)

C.c.: Ms. Amelia Francis  
M. Gagnon, Gagnon Walker Domes Ltd.  
A. Sirianni, Gagnon Walker Domes Ltd.

**Contact Information**

**1. Owner:**

**Name:** Ms. Amelia Francis  
**Address:** 317 Gloucester Avenue, Oakville, Ontario, L6J 3W8

**2. Planner:**

**Name:** Gagnon Walker Domes Ltd.  
**Address:** 7685 Hurontario Street, Suite 501, Brampton, Ontario, L6W 0B4  
**Ph.No.:** (905) 796-5790 x235  
**Email:** [hsingh@gwdplanners.com](mailto:hsingh@gwdplanners.com)

[illegible]

We the undersigned, being residents of the neighbourhood have met personally with Ms. Amelia Frances, the registered owner and occupant of 317 Gloucester Avenue to review the attached plans (Air Photo, Site Plan and Elevations) which illustrate her intentions to create a 'new' lot by severing her property in half. We support her plans to divide the property, relocate a portion of her 'existing' dwelling onto a 'new' foundation to be located on the south half of the property (the Retained Lands), and build herself a 'new' home on the north half of the property (the Severed Lands). We also support the Minor Variances being sought in connection with relief from the Town of Oakville Zoning By-law governing 'minimum' Lot Frontage (approximately 24.26 m versus 30.5m) and Lot Area (approximately 1,137.8m<sup>2</sup> versus 1,393.5m<sup>2</sup>).

[illegible]

We the undersigned, being residents of the neighbourhood have met personally with Ms. Amelia Frances, the registered owner and occupant of 317 Gloucester Avenue to review the attached plans (Air Photo, Site Plan and Elevations) which illustrate her intentions to create a 'new' lot by severing her property in half. We support her plans to divide the property, relocate a portion of her 'existing' dwelling onto a 'new' foundation to be located on the south half of the property (the Retained Lands), and build herself a 'new' home on the north half of the property (the Severed Lands). We also support the Minor Variances being sought in connection with relief from the Town of Oakville Zoning By-law governing 'minimum' Lot Frontage (approximately 24.26 m versus 30.5m) and Lot Area (approximately 1,137.8m<sup>2</sup> versus 1,393.5m<sup>2</sup>).

[illegible]

We the undersigned, being residents of the neighbourhood have met personally with Ms. Amelia Frances, the registered owner and occupant of 317 Gloucester Avenue to review the attached plans (Air Photo, Site Plan and Elevations) which illustrate her intentions to create a 'new' lot by severing her property in half. We support her plans to divide the property, relocate a portion of her 'existing' dwelling onto a 'new' foundation to be located on the south half of the property (the Retained Lands), and build herself a 'new' home on the north half of the property (the Severed Lands). We also support the Minor Variances being sought in connection with relief from the Town of Oakville Zoning By-law governing 'minimum' Lot Frontage (approximately 24.26 m versus 30.5m) and Lot Area (approximately 1,137.8m<sup>2</sup> versus 1,393.5m<sup>2</sup>).

[illegible]

**PETITION**

**LETTER of SUPPORT**  
**Consent to Sever Application**  
**Committee of Adjustment Applications**

We the undersigned, being residents of the neighbourhood have met personally with Ms. Amelia Frances, the registered owner and occupant of 317 Gloucester Avenue to review the attached plans (Air Photo, Site Plan and Elevations) which illustrate her intentions to create a 'new' lot by severing her property in half. We support her plans to divide the property, relocate a portion of her 'existing' dwelling onto a 'new' foundation to be located on the south half of the property (the Retained Lands), and build herself a 'new' home on the north half of the property (the Severed Lands). We also support the Minor Variances being sought in connection with relief from the Town of Oakville Zoning By-law governing 'minimum' Lot Frontage (approximately 24.26 m versus 30.5m) and Lot Area (approximately 1,137.8m<sup>2</sup> versus 1,393.5m<sup>2</sup>).

Name	Property Address	Phone Number/Email	Signature	Date
ELLIOTT BEN JULIE PEREIRA PAT CAMILLERI	296 GLOUCESTER AVE	[REDACTED]	[Signature]	Jan 21/24
PAT CAMILLERI	511 MACDONALD RD	[REDACTED]	P. Camilleri	Jan 22/24

**LETTER of SUPPORT**  
**Consent to Sever Application**  
**Committee of Adjustment Applications**

[illegible][illegible]