

I CERTIFY THAT THIS PLAN IS REGISTERED IN THE LAND REGISTRY OFFICE FOR THE LAND TITLES DIVISION OF HALTON AT 12:03 O'CLOCK ON THE 10th DAY OF NOV, 2023 AND ENTERED IN THE PARCEL REGISTER(S) FOR PROPERTY IDENTIFIER(S) 24930-1936 AND THE REQUIRED CONSENTS ARE REGISTERED AS PLAN DOCUMENT NO. HL 2000267 "M. PICKARD" REPRESENTATIVE FOR LAND REGISTRAR

THIS PLAN COMPRISES ALL OF P.I.N. 24930-1936

PLAN OF SUBDIVISION OF PART OF LOT 9 CONCESSION 1, NORTH OF DUNDAS STREET (GEOGRAPHIC TOWNSHIP OF TRAFALGAR) TOWN OF OAKVILLE REGIONAL MUNICIPALITY OF HALTON

SCALE 1:1000  
 0m 10m 20m 30m 40m 50m 60m 70m 80m 90m 100m metres

R-PE SURVEYING LTD., O.L.S.  
 METRIC  
 DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

NOTES

- DENOTES MONUMENT SET
- DENOTES MONUMENT FOUND
- SSIB DENOTES SHORT STANDARD IRON BAR
- SIB DENOTES STANDARD IRON BAR
- IB DENOTES IRON BAR
- PB DENOTES PLASTIC BAR
- (NI) DENOTES NOT IDENTIFIED
- (WT) DENOTES WITNESS
- (731) DENOTES J. R. DUNNING O.L.S.
- P.I.N. DENOTES PROPERTY IDENTIFIER NUMBER
- SCP DENOTES SPECIFIED CONTROL POINT

ALL FOUND MONUMENTS ARE SHORT STANDARD IRON BARS BY R-PE SURVEYING LTD., O.L.S. UNLESS NOTED OTHERWISE  
 ALL SET MONUMENTS ARE PLASTIC BARS  
 PLASTIC BARS ARE SET DUE TO CONSTRUCTION ACTIVITY

BEARING NOTE

BEARINGS ARE GRID, UTM ZONE 17, NAD83 (ORIGINAL), DERIVED FROM:  
 SCP 10719990027 NORTH 4819957.108 EAST 602863.022  
 SCP 00119633660 NORTH 4818445.739 EAST 600361.085

COORDINATES ARE UTM ZONE 17, NAD83 (ORIGINAL), TO URBAN ACCURACY PER SEC. 14 (2) OF O.REG. 216/10, AND CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999707.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 3<sup>rd</sup> DAY OF FEBRUARY 2023.

DATE FEBRUARY 13 2023

*R. Denbroeder*  
 R. DENBROEDER  
 ONTARIO LAND SURVEYOR  
 THIS PLAN OF SURVEY RELATES TO AOLS  
 PLAN OF SUBMISSION FORM NUMBER 2206641

OWNER'S CERTIFICATE

THIS IS TO CERTIFY THAT:

1. LOTS 1 TO 24, BOTH INCLUSIVE AND BLOCKS 25 TO 53, BOTH INCLUSIVE, BLOCK 54, 0.30 RESERVE, STREETS, NAMELY, GRANARY STREET COURTLEIGH TRAIL, POPPY GARDENS, MERRICK ROAD, BRAMMALL GARDENS, LANGDON ROAD AND LANE 186, HAVE BEEN LAID OUT IN ACCORDANCE WITH OUR INSTRUCTIONS.
2. THE STREETS ARE HEREBY DEDICATED AS PUBLIC HIGHWAYS TO THE CORPORATION OF THE TOWN OF OAKVILLE.

MATTAMY (JOSHUA CREEK) LIMITED

DATE Mar 17, 2023

*J. Sudderwaard*  
 JASON SUDDERWAARD, A.S.S.  
 I HAVE THE AUTHORITY TO BIND THE CORPORATION

MUNICIPAL APPROVAL

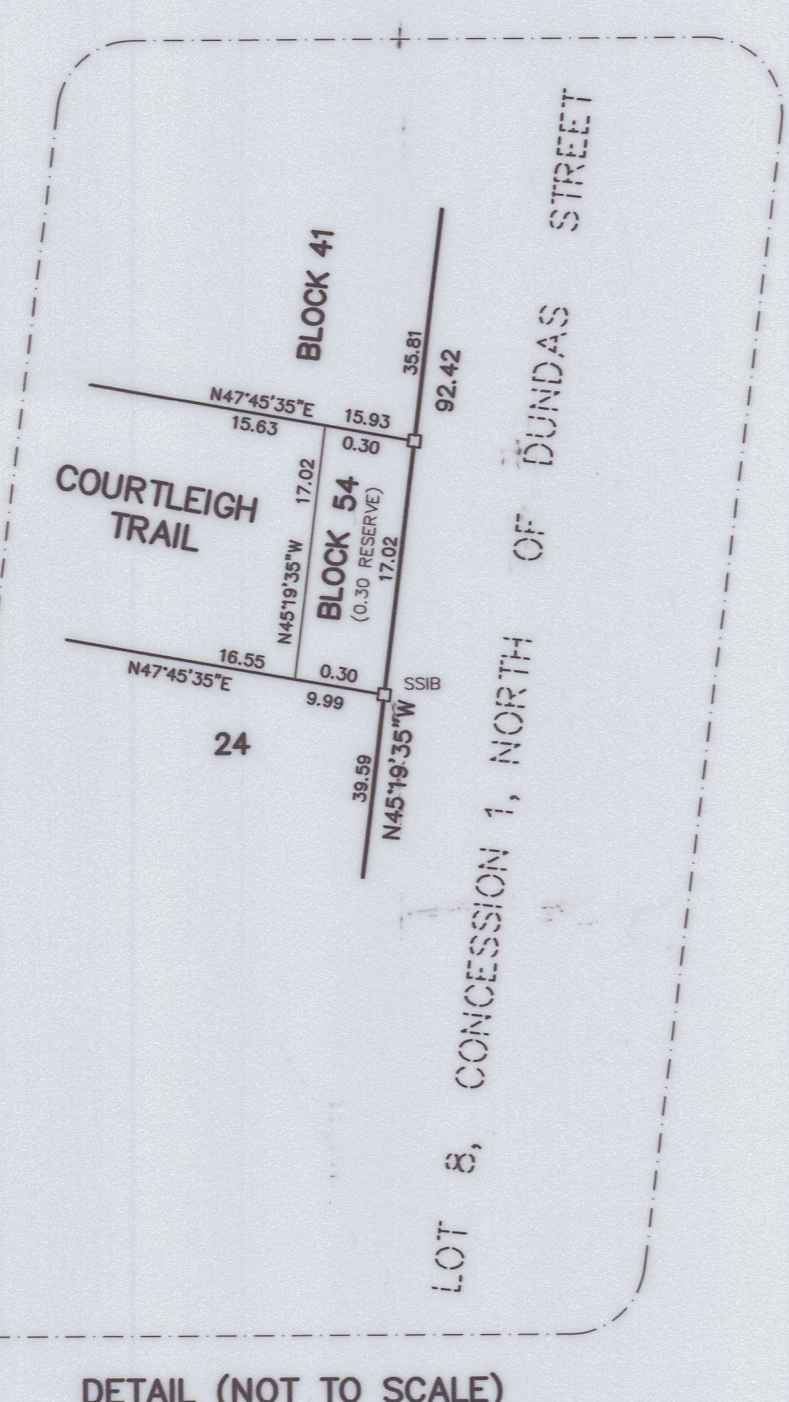
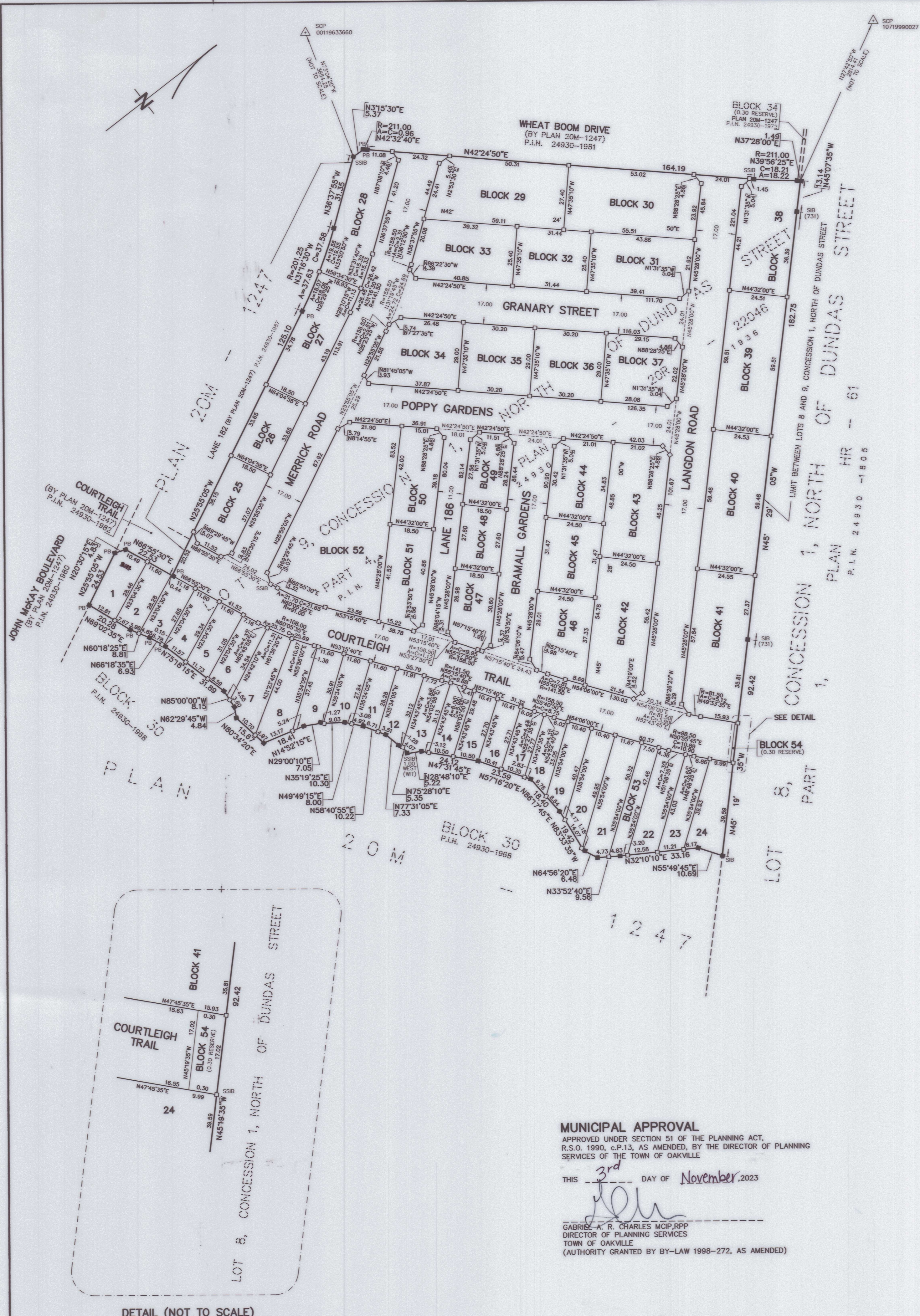
APPROVED UNDER SECTION 51 OF THE PLANNING ACT, R.S.O. 1990, c.P.13, AS AMENDED, BY THE DIRECTOR OF PLANNING SERVICES OF THE TOWN OF OAKVILLE

THIS 3<sup>rd</sup> DAY OF November, 2023

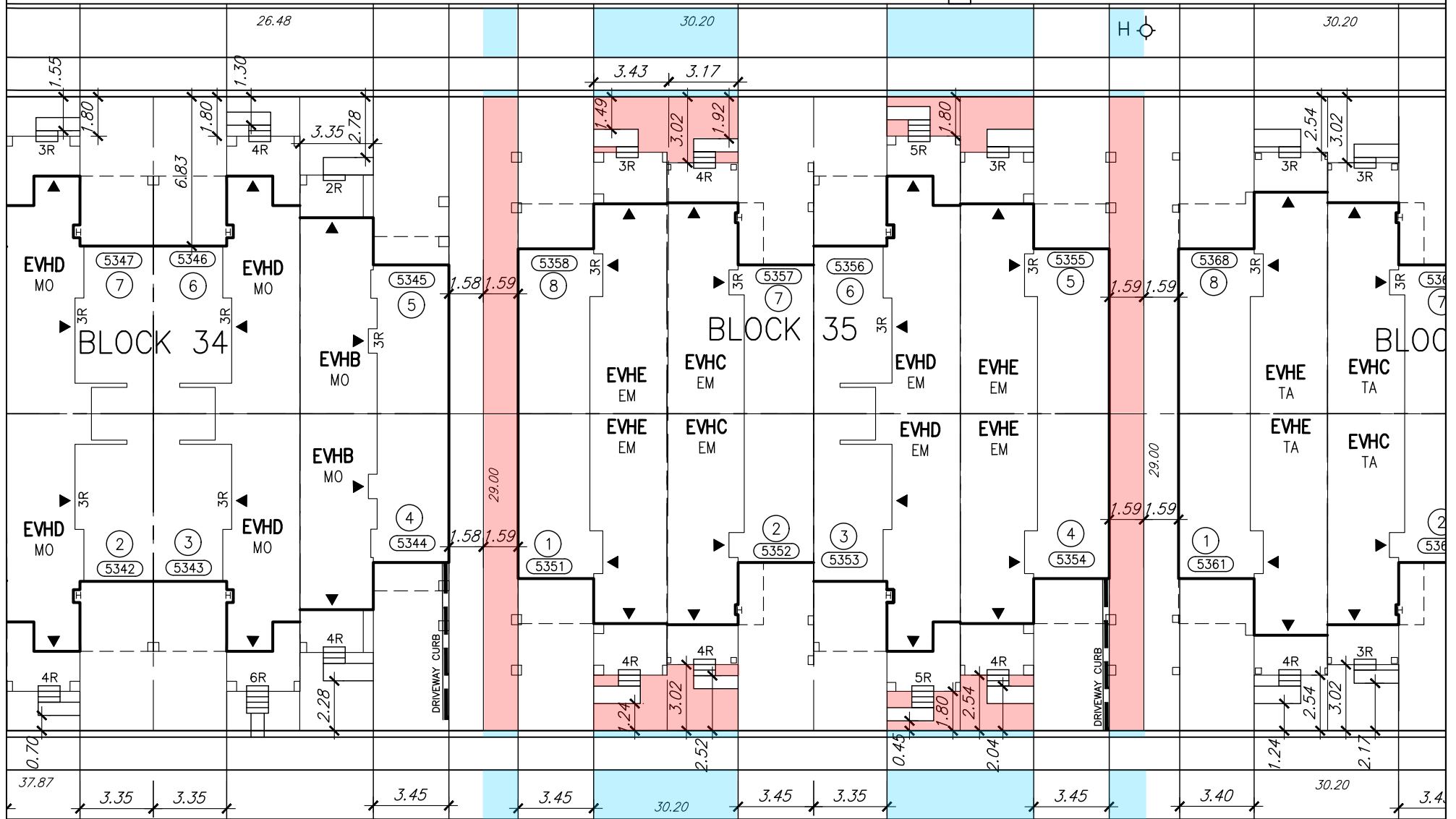
*G. Charles*  
 GABRIEL A. R. CHARLES MCIP, RPP  
 DIRECTOR OF PLANNING SERVICES  
 TOWN OF OAKVILLE  
 (AUTHORITY GRANTED BY BY-LAW 1998-272, AS AMENDED)

TOTAL AREA OF SUBDIVISION = 5.828 Ha.

**rpe** R-PE SURVEYING LTD.  
 ONTARIO LAND SURVEYORS  
 643 Chrislea Road, Suite 7  
 Woodbridge, Ontario L4L 8A3  
 Tel. (416) 635-5000 Fax (416) 635-5001  
 Tel. (905) 264-0881 Fax (905) 264-2099  
 Website: www.r-pe.ca  
 DRAWN: D.F./C.D.S./K.M. CHECKED: R.D.  
 JOB No. 21-066 CAD FILE No. 21066sf



# GRANARY STREET



# POPPY GARDENS

BLOCK 35 - LANDSCAPING AREAS LEGEND				
Area Type		Area (m <sup>2</sup> )		
Block Area		875.78		
Block + Boulevard Area		1120.43		
		Landscape %		
Legend	Landscaping Type	Area (m <sup>2</sup> )	of Block	Of Block+Blvd.
	2.4m x 2.4m Landscaping Areas	0.00	0.00%	N/A
	Non 2.4m x 2.4m Landscaping Areas	141.90	16.20%	N/A
	Total Landscaping within Block	141.90	16.20%	N/A
	Additional Boulevard Landscaping Areas	85.51		
Total Landscaping Areas		227.41	N/A	20.30%

**LOT GRADING REVIEW**

WE CERTIFY THAT THE PROPOSED GRADES AT THE LOT CORNERS ARE CORRECT, AND THAT THE LOT GRADING OF THE SUBJECT LOT IS IN CONFORMITY TO THE APPROVED SUBDIVISION GRADING PLANS AND TOWN STANDARDS. THE UNDERSIGNED ASSUMES NO RESPONSIBILITY FOR THE CORRECTNESS OF THE BUILDING DIMENSIONS AND/OR CONFORMITY TO ANY APPLICABLE ZONING BY-LAWS.

Registered Plan No. \_\_\_\_\_

Lot No(s)..... \_\_\_\_\_

Date..... \_\_\_\_\_

<ul style="list-style-type: none"> <li>● LP LIGHT POLE</li> <li>◇ H HYDRANT</li> <li>◻ TRANSFORMER</li> <li>◻ WATER SERVICE</li> <li>-SAN- DOUBLE SAN. CONNECTION</li> <li>-SAN- SINGLE SAN. CONNECTION</li> <li>CB□ CATCH BASIN</li> <li>△ EXTERIOR DOOR LOCATION</li> <li>○ SIDE WINDOW LOCATION</li> <li>→ SWALE DIRECTION</li> <li>⊠ CABLE TELEVISION PEDESTAL</li> <li>● BELL PEDESTAL</li> <li>○ SUMP PUMP DISCHARGE</li> </ul>	<ul style="list-style-type: none"> <li>FF FINISHED FLOOR ELEVATION</li> <li>UF UNDERSIDE FOOTING ELEVATION</li> <li>BF FIN. BASEMENT FLOOR SLAB</li> <li>TFW TOP OF FOUNDATION WALL</li> <li>UFR UNDERSIDE FOOTING AT REAR</li> <li>UFF UNDERSIDE FOOTING AT FRONT</li> <li>W.O.B. WALK OUT BASEMENT</li> <li>□ AIR CONDITIONER</li> <li>▨ EMBANKMENT 3:1 SLOPE</li> <li>⊗ PROPOSED VALVE</li> <li>⊠ SUPER MAIL BOX</li> <li>⊙ HYDRO METER</li> <li>—H— HYDRO SERVICE LATERAL</li> </ul>	<ul style="list-style-type: none"> <li>REV REVERSE PLAN</li> <li>○ RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD)</li> <li>▬ RETAINING WALL</li> <li>▬ ACoustical FENCE (SEE LANDSCAPE PLAN)</li> <li>▬ PRIVACY FENCE (SEE LANDSCAPE PLAN)</li> <li>▬ CHAIN LINK FENCE (SEE LANDSCAPE PLAN)</li> <li>▬ METAL FENCE (SEE LANDSCAPE PLAN)</li> <li>FENCING TYPE AND LOCATION FOR REFERENCE ONLY. APPROVED LANDSCAPE PLANS SHALL GOVERN.</li> <li>THIS LOT CONTAINS ENGINEERED FILL</li> <li>NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED, BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.</li> </ul>
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Client: <b>MATTAMY HOMES</b> GTW DIVISION	Sheet Title <b>BLOCK: 35</b> <b>LOT #'s: 1-8</b>	<b>Q4 Architects Inc.</b> 4110 Yonge Street, Suite 602 Toronto, Ontario M2P 2B7 TEL: (416) 322-6334 FAX: (416) 322-7294 EMAIL: info@q4architects.com
Project Name: <b>UPPER JOSHUA CREEK PH.5</b> <b>OAKVILLE, ONT.</b>	Scale: 1:300	Drawn by: BY / DA
Date: 23.12.11	Checked by: DA	Project No. 17039-5 File: JC5-SPI Drawing No. 1 OF 1



ANY ENGINEERED FILL LOTS NOTED ARE ESTIMATED AND FOR REFERENCE ONLY AND THE ENGINEERED FILL CERTIFICATE PROVIDED BY THE PROJECT GEOTECHNICAL CONSULTANT WILL GOVERN.

THE BUILDER MUST MEASURE THE INVERT ELEVATIONS AND VERIFY THAT ADEQUATE FALL IS AVAILABLE FOR THE STORM AND SANITARY SEWER PIPES PRIOR TO THE POURING OF FOOTINGS. (AS CONSTRUCTED INVERTS MAY NOT BE AVAILABLE AT TIME OF APPROVAL.)

BUILDER TO VERIFY ADEQUACY OF FOUNDING SOILS WITH PROJECT GEOTECHNICAL CONSULTANT ADJACENT TO REAR LOT CATCHBASIN AND LEAD PRIOR TO POURING FOOTINGS.

EXTENDED FOOTINGS FOR RAISED UNITS: UNDERSIDE OF FOOTING TO BE EXTENDED TO ENGINEER FILL OR SUITABLE NATIVE MATERIAL TO BE APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.

January 3, 2024

Town of Oakville  
Building Services Department  
1225 Trafalgar Road  
Oakville, ON L6H 0H3

Attention: Jasmina Radomirovic  
Secretary-Treasurer, Committee of Adjustment

Re: **Application for Minor Variance**  
**Blocks 34-37 and Block 50 - Lot 3**  
**Plan 20M-1268**  
**Town of Oakville**

We are pleased to submit four minor variance applications on behalf of Dunoak Developments Inc. (Mattamy Homes) for the above noted properties. The minor variances are requested to permit the zoned back-to-back townhouses (Blocks 34 – 37) and lane-based townhouse (Block 50 - Lot 3) with amended minimum landscape area requirements. The requested variances to By-law 2009-189 are as follows:

1. For Blocks 34 - 37, landscaped area may be calculated for a development block, whereas Section 4.10 requires compliance with the standards of the By-law to be achieved within the lot of which the building is constructed; and
2. For Blocks 35, 36 and 50 - Lot 3, the required minimum landscaped area may be satisfied by areas measuring 3 meters by 1.5 meters, whereas Section 4.25.2.1 requires minimum landscape requirements to be satisfied by areas measured as at least 2.4 by 2.4 meters.

As per By-law 2009-189, Section 7.6.8, minimum landscaped area is required at 10%. As per Section 4.10, this landscaped area must be achieved within the lot on which the building is constructed. As four of the requested variances are for back-to-back units (Blocks 34 – 37), where no rear yards are included, landscape areas must be accommodated in the front yard for all interior units. For Block 50 - Lot 3, a lane-based unit, the landscape area must also be accommodated in the front yard as the rear yard provides vehicular access. Section 4.25.2.1 requires that minimum landscape requirements may only be satisfied by one or more landscaped areas with dimensions of at least 2.4 by 2.4 meters. However, as encroachments are permitted for porches and other structures, there is insufficient space to provide the necessary 10% landscaped area per lot in an aggregated 2.4 by 2.4 meters area.

In order to provide the required 10% landscaped area, relief from Section 4.10 is requested for Blocks 34 to 37 to allow for the 10% to be measured across the block as a whole, instead of per lot. In addition to this relief, for interior blocks (Blocks 35 and 36) and Block 50 - Lot 3, relief is also requested from Section 4.25.2.1 to allow for the required measurements to be 3 meters by 1.5 meters. This will allow for the following landscape areas per block:

Block #	Total Landscape Area Coverage %
Block 34	27.58%
Block 35	16.20%
Block 36	17.32%
Block 37	20.19%
Block 50, Lot 3	11.18%

As exhibited above, all blocks are capable of providing a minimum of 10% of landscaped area, each in excess of the minimum. However, in order to facilitate this, variances are required to (1) measure the landscape area across the block as whole, alternatively from lot by lot, and (2) measure the minimum landscape area as 3 meters by 1.5 meters, alternatively from 2.4 by 2.4 meters. Of note, back-to-back and lane-based townhouses in the Neighborhood Centre (NC) Zone are not subject to this landscape requirement, only back-to-back and lane-based townhouses in the General Urban (GU) Zone. In addition, Blocks 34 – 37 feature additional landscape area within the boulevard, bringing the total minimum of landscaped area to between 20 to 30%.

These requested variances meet the general intent of the Official Plan and Zoning By-law. These variances are minor in nature and will provide in excess of the 10% landscape area for each block. These variances are appropriate because all corner blocks (34 and 37) still provide greater than 10% landscape area when measurement is across the entire block. All interior blocks (35, 36 and Block 50 – Lot 3) also provide greater than 10% landscape area across the entire block (lot for Block 50 – Lot 3), when measured at a minimum of 3 meters by 1.5 meters.

As Blocks 34 - 37 are back-to-back and no rear yards are provided, the minimum landscaped area would need to be provided in the front yard. However, due to permitted encroachments and the layout of the units, it is not possible to provide a 2.4 by 2.4 meter landscaped area on each lot. For Block 50 – Lot 3, greater than 10% landscape area is provided on the lot, when measured at a minimum of 3 meters by 1.5 meters. As this unit has a porch covering the full front wall of the home, it is not possible to achieve a 2.4 by 2.4-meter measurement area. These variances are desirable as the design of the units efficiently use land and contribute to a strong streetscape. Therefore, the requested variances are appropriate and satisfy the four tests under the Planning Act.

In support of the application, we are pleased to enclose the following items:

- Minor Variance Application Forms (per Block/Lot);
- Sitings/Architectural Plans (per Block/Lot), prepared by Q4 Architects;
- Landscape Area Diagram (per Block/Lot), prepared by Q4 Architects; and
- M-Plan 20M-1268, prepared by R-PE Surveying, dated 2023-02-15.

Upon confirmation of receipt and fee payment instructions, fees will be paid as instructed. Please feel free to contact me should you have any questions or require any further information.

Sincerely yours,

**KORSIAK URBAN PLANNING**

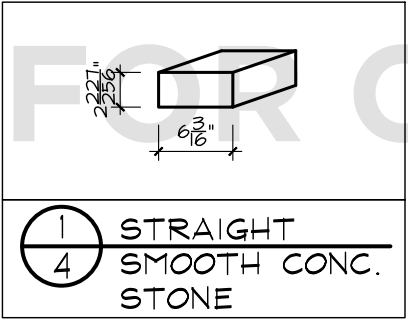


Catherine McEwan  
Encl.

Copy: Mike Dickie, Dunoak Developments Inc (Mattamy Homes)

CPALUMBO - P:\2017\17039-5\_Joshua\_Creek\_Phase 5\DRAMA\WINGS-CAD\03-VILLAGE HOMES\CD\17039-5-EVHD\_EG04.dwg - May 30, 2023 3:26:24 PM

ENERGY STAR CALCULATION ELEV. 'TA'			
ELEVATION	WALL AREA sq.ft.	WINDOW RSO AREA sq.ft.	WINDOW %
FRONT	669.87	156.04	
LEFT SIDE	1049.00	11.23	
RIGHT SIDE	1049.00	0.00	
REAR	661.87	0.00	
TOTAL	3429.74	167.27	4.88 %

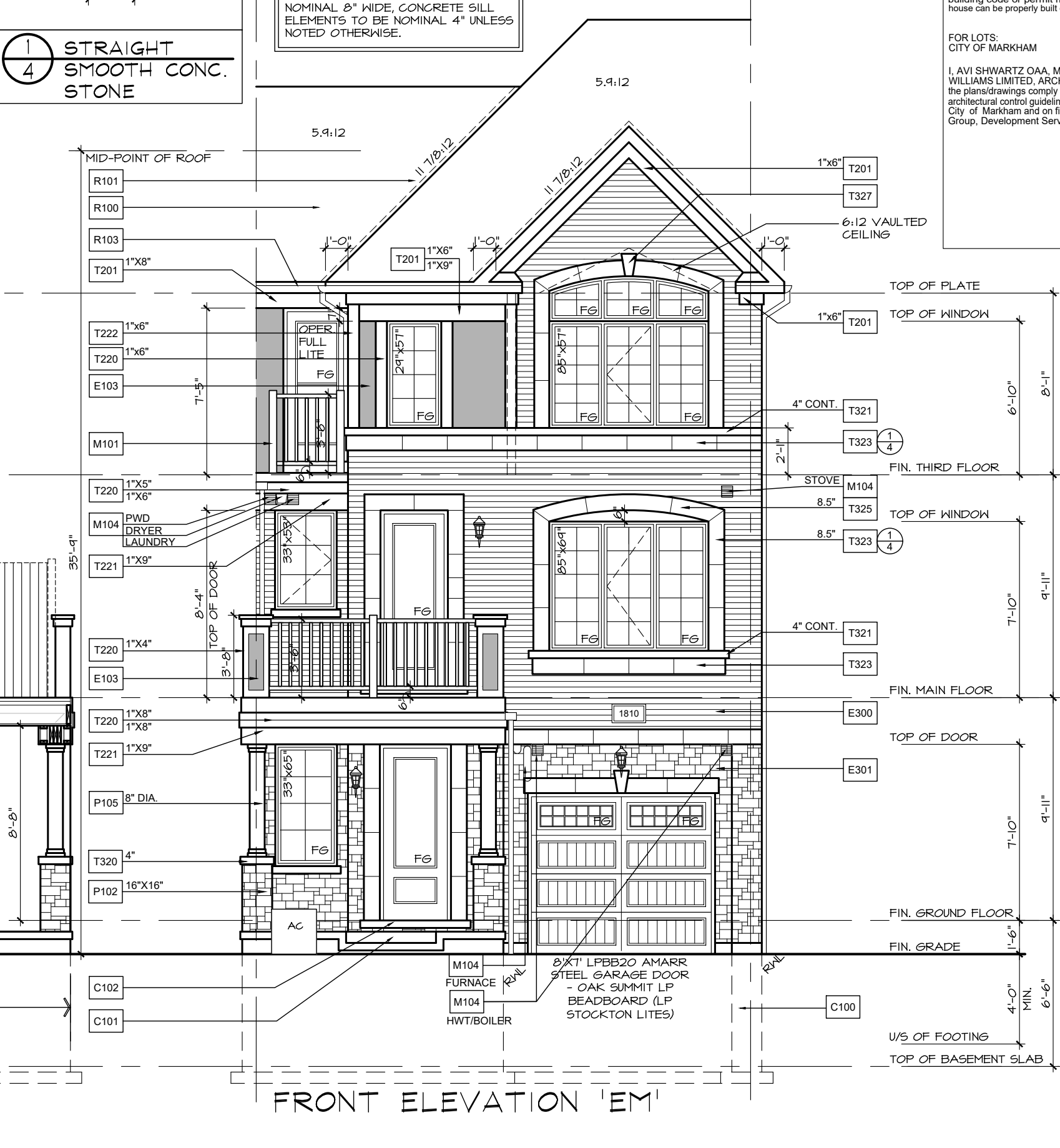
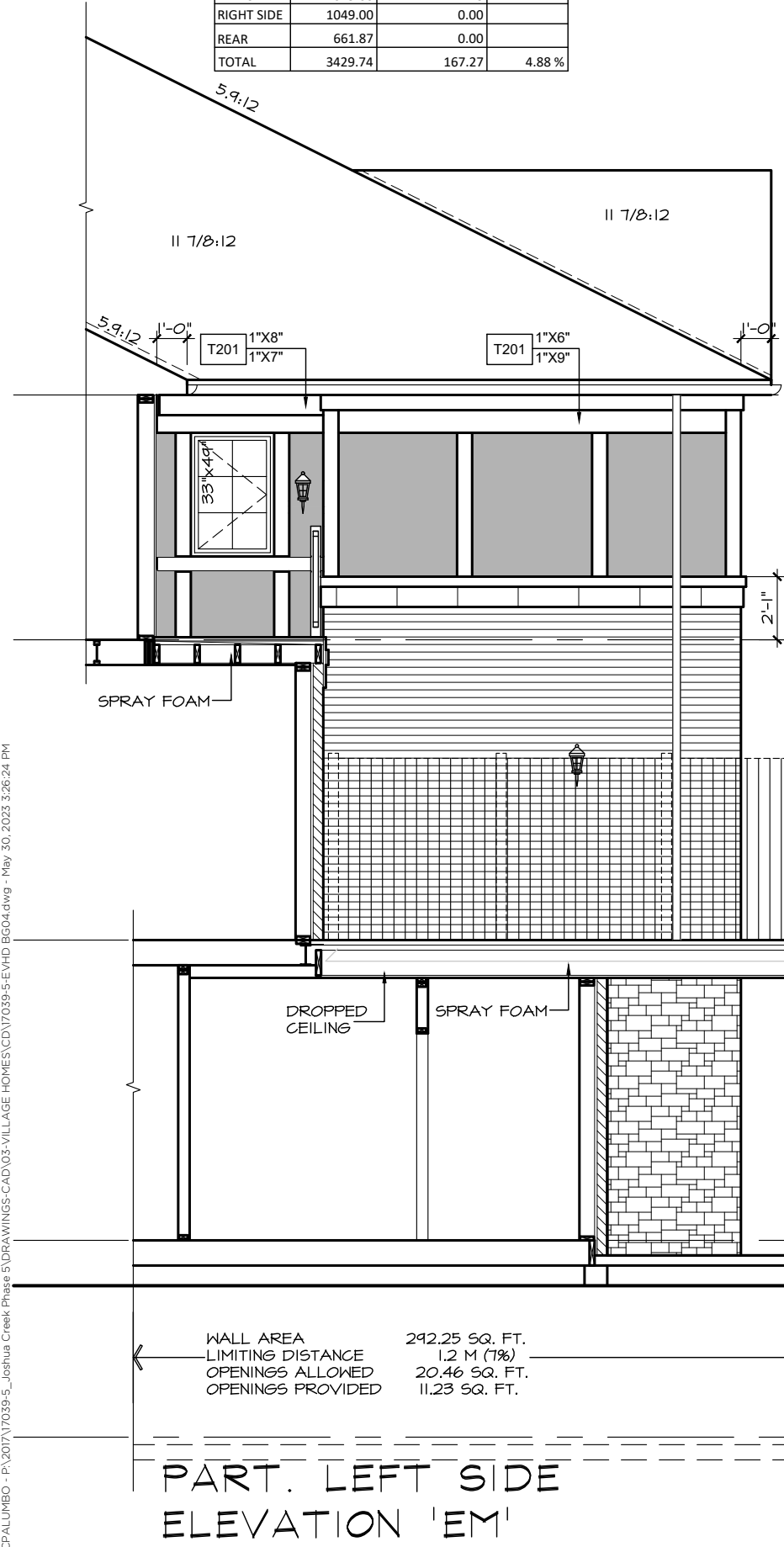


SMOOTH PRECAST ELEMENTS TO BE NOMINAL 8" WIDE, CONCRETE SILL ELEMENTS TO BE NOMINAL 4" UNLESS NOTED OTHERWISE.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

FOR LOTS:  
CITY OF MARKHAM

I, AVI SHWARTZ OAA, MRAIC OF JOHN G. WILLIAMS LIMITED, ARCHITECT certify that the plans/drawings comply with the applicable architectural control guidelines approved by the City of Markham and on file with the Design Group, Development Services Commission.



These drawings must be read in conjunction with Q4 standard construction details: **D1 to D13**

**EVHD**  
THE HONEY  
ELEVATION 'EM'

Project No. 17039-5  
Scale 3/16" = 1'-0"  
Drawn By KR  
Checked By SW

**7 OF 10**

**ELEVATIONS**

OAKVILLE  
OAKVILLE, ONTARIO  
MATTAMY HOMES

Issued / Revision Chart	CP
4 ISSUED FOR CLIENT REVIEW	23.07.10
3 MOVE HWY LOCATION	23.05.01
2 ISSUED FOR CLIENT REVIEW	23.04.10
1 INTRODUCED FROM 1905-2	23.04.10

PROFESSIONAL STAMP

**Q4 ARCHITECTS INC.**  
2171 Avenue Road  
Suite 302, Toronto ON,  
M5M 4B4  
T. 416.322.6334  
F. 416.322.7294  
E. info@q4architects.com

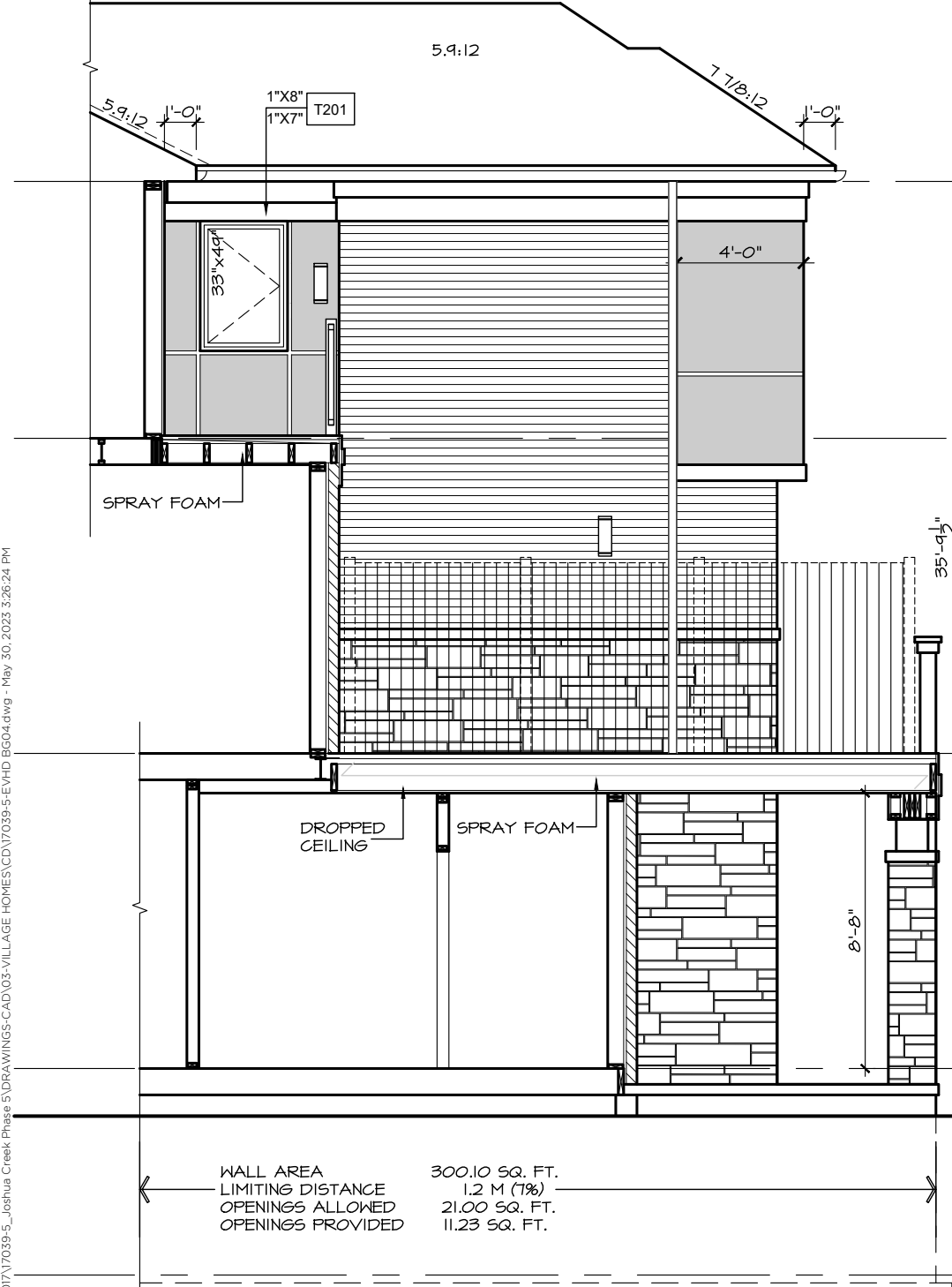
**Q4A**  
ARCHITECTS

Q4 Architects Inc. retains the copyright in all drawings, plans, sketches, and all digital information. They may not be copied or used for any other projects or purposes or distributed without the written consent of Q4 Architects Inc. The contractor / builder must verify all dimensions on the job and report any discrepancy to the designer before proceeding with the work. Drawings are NOT to be scaled. All drawings and specifications are instruments of service and the copyright property of the designer and must be returned upon request.

# NOT FOR CONSTRUCTION

ENERGY STAR CALCULATION ELEV. 'TA'			
ELEVATION	WALL AREA sq.ft.	WINDOW RSO AREA sq.ft.	WINDOW %
FRONT	661.87	130.53	
LEFT SIDE	1049.00	11.23	
RIGHT SIDE	1049.00	0.00	
REAR	661.87	0.00	
TOTAL	3421.74	141.76	4.14 %

SMOOTH PRECAST ELEMENTS TO BE NOMINAL 8" WIDE, CONCRETE SILL ELEMENTS TO BE NOMINAL 4" UNLESS NOTED OTHERWISE.



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**EVHD**  
THE HONEY  
ELEVATION 'MO'

Project No. 17039-5  
Scale 3/16" = 1'-0"  
Drawn By KR  
Checked By SW

**ELEVATIONS**

OAKVILLE  
OAKVILLE, ONTARIO  
MATTAMY HOMES

Issued / Revision Chart	CP
4 ISSUED FOR CLIENT REVIEW	23.07.10
3 MOVE HW LOCATION	23.05.01
2 ISSUED FOR CLIENT REVIEW	23.04.10
1 INTRODUCED FROM 190512	23.04.10

These drawings must be read in conjunction with  
Q4 standard construction details: **D1 to D13**

PROFESSIONAL  
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PART. LEFT SIDE  
ELEVATION 'MO'

FRONT ELEVATION 'MO'

WALL AREA LIMITING DISTANCE OPENINGS ALLOWED OPENINGS PROVIDED

300.10 SQ. FT.  
1.2 M (7%)  
21.00 SQ. FT.  
11.23 SQ. FT.

NOT FOR CONSTRUCTION

ENERGY STAR CALCULATION ELEV. 'TA'			
ELEVATION	WALL AREA sq.ft.	WINDOW RSO AREA sq.ft.	WINDOW %
FRONT	678.46	141.46	
LEFT SIDE	1049.00	11.23	
RIGHT SIDE	1049.00	0.00	
REAR	661.87	0.00	
TOTAL	3438.33	152.69	4.44 %

1  
4  
STRAIGHT  
SMOOTH CONC.  
STONE

SMOOTH PRECAST ELEMENTS TO BE NOMINAL 8" WIDE, CONCRETE SILL ELEMENTS TO BE NOMINAL 4" UNLESS NOTED OTHERWISE.

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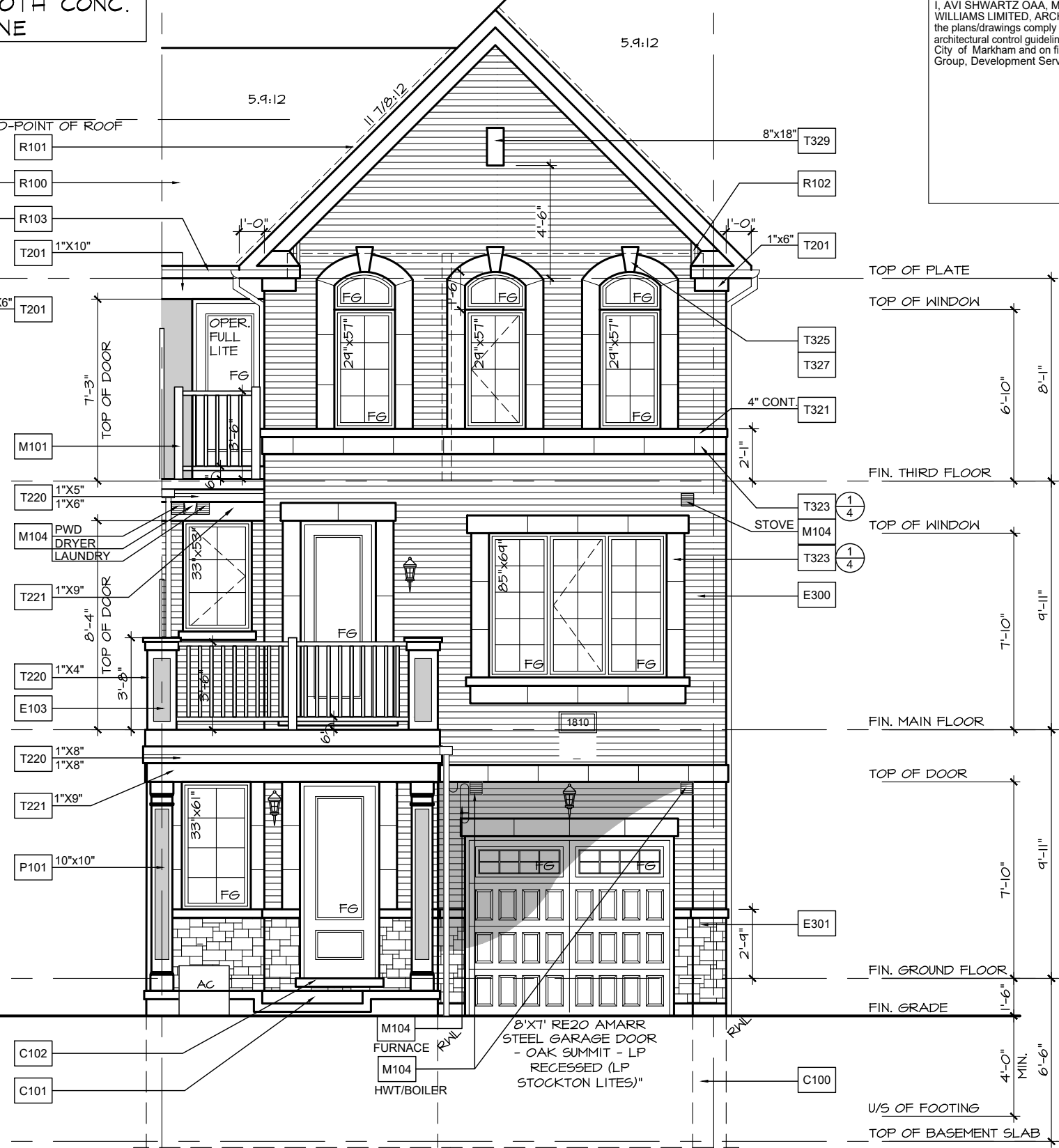
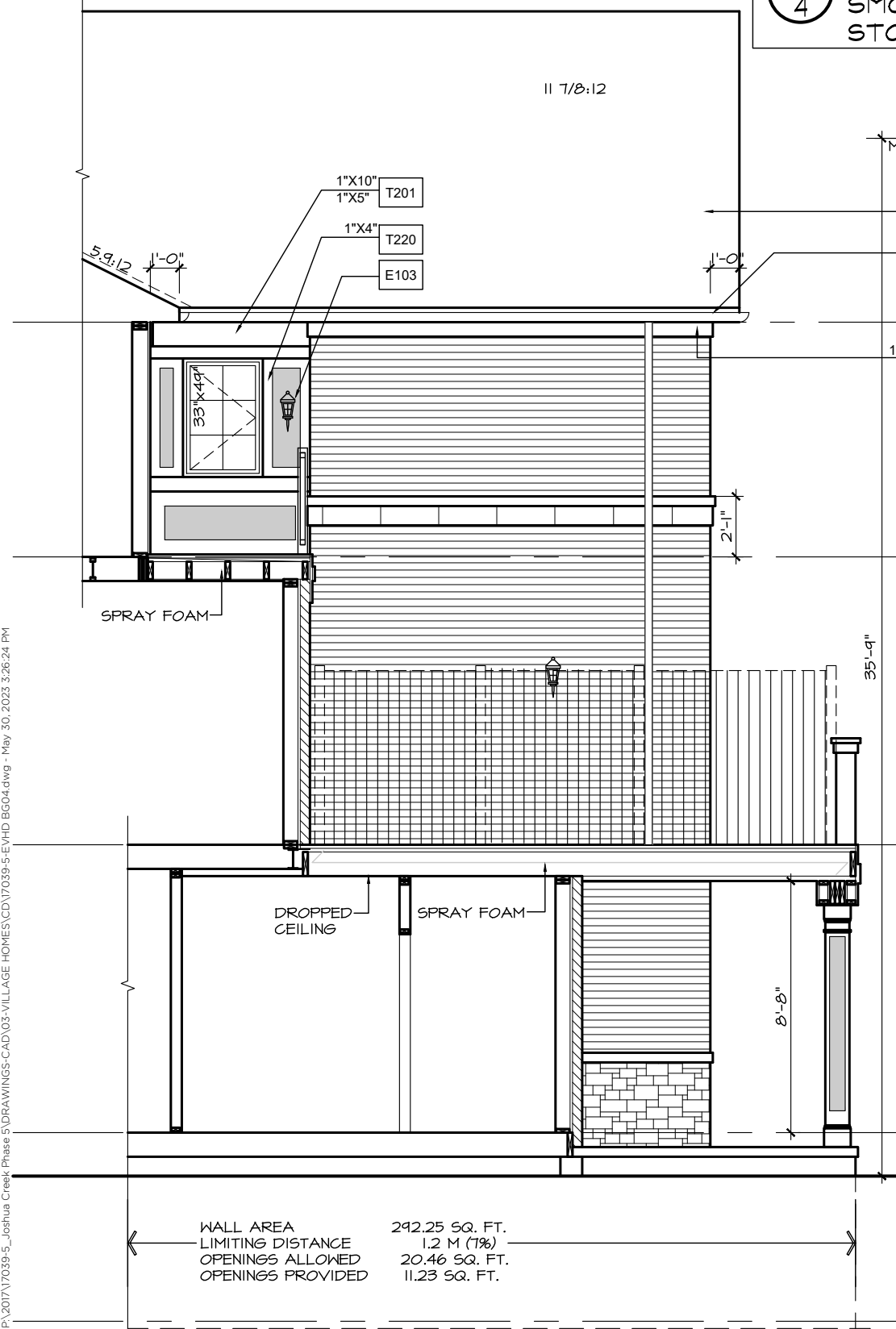
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**EVHD**  
THE HONEY  
ELEVATION 'TA'

Project No. 17039-5  
Scale 3/16" = 1'-0"  
Drawn By KR  
Checked By SW

**7 OF 10**



These drawings must be read in conjunction with Q4 standard construction details: **D1 to D13**

**ELEVATIONS**

OAKVILLE  
OAKVILLE, ONTARIO  
MATTAMY HOMES

Issued / Revision Chart	
NO.	DESCRIPTION
4	ISSUED FOR CLIENT REVIEW 23.07.10 CP
3	ISSUED FOR CLIENT REVIEW 23.05.01 CP
2	ISSUED FOR CLIENT REVIEW 23.04.10 CP
1	INTRODUCED FROM 19015-2 23.04.10 CP

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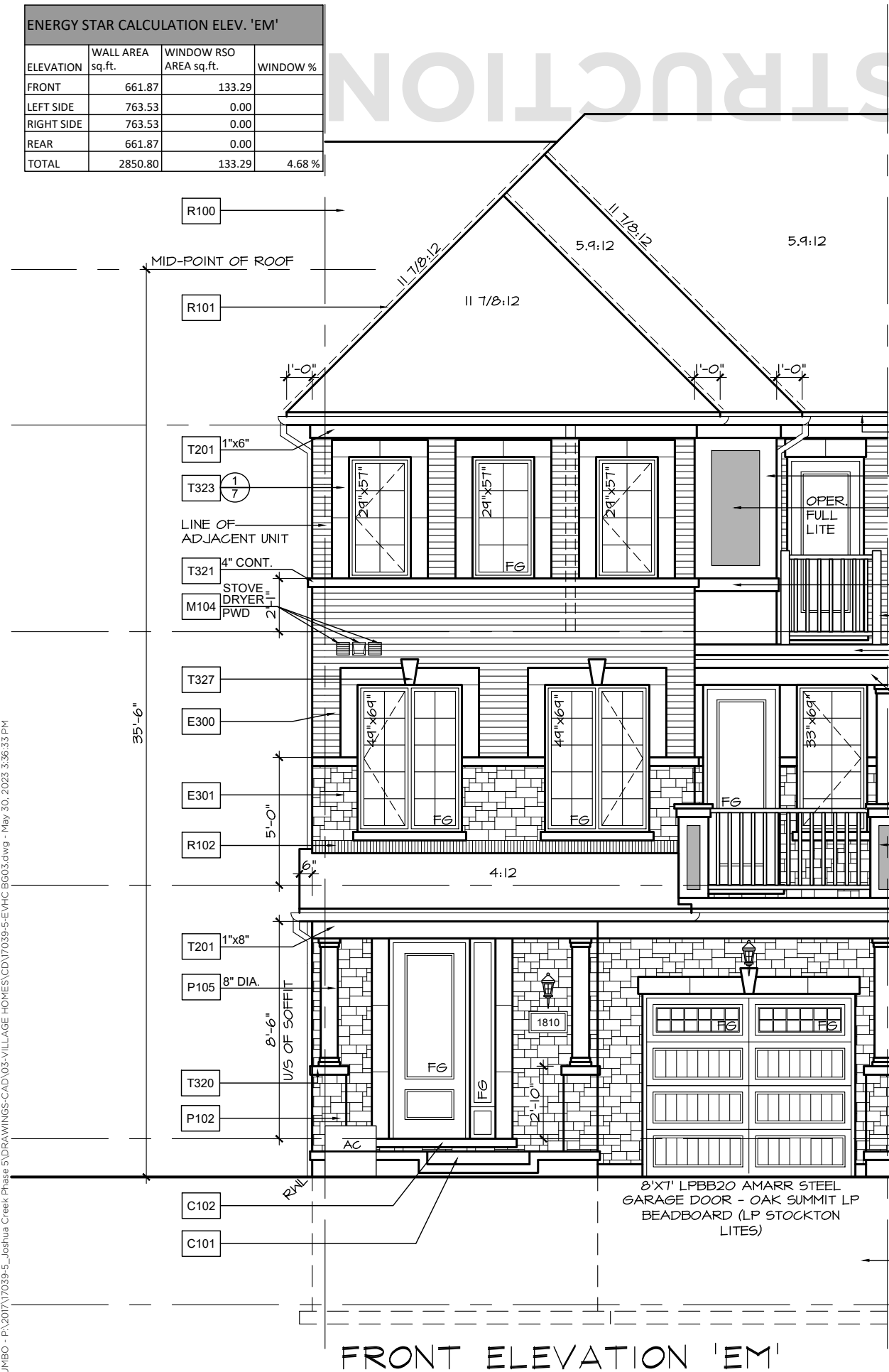
CPALUMBO - P:\2017\17039-5\_Joshua Creek Phase 5\DRAWINGS-CAD\03-VILLAGE HOMES\CD\17039-5-EVHD\_EG04.dwg - May 30, 2023 3:26:24 PM

WALL AREA LIMITING DISTANCE OPENINGS ALLOWED OPENINGS PROVIDED 292.25 SQ. FT. 1.2 M (7%) 20.46 SQ. FT. 11.23 SQ. FT.

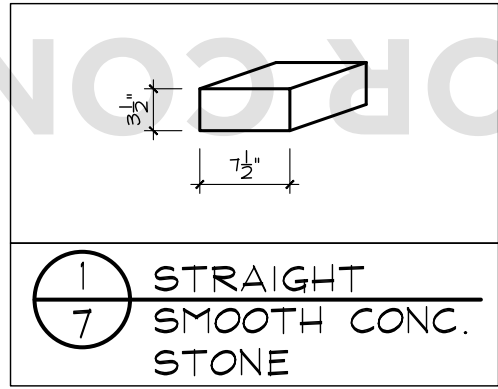
8'X12' RE20 AMARR STEEL GARAGE DOOR - OAK SUMMIT - LP RECESSED (LP STOCKTON LITES)"



ENERGY STAR CALCULATION ELEV. 'EM'			
ELEVATION	WALL AREA sq.ft.	WINDOW RSO AREA sq.ft.	WINDOW %
FRONT	661.87	133.29	
LEFT SIDE	763.53	0.00	
RIGHT SIDE	763.53	0.00	
REAR	661.87	0.00	
TOTAL	2850.80	133.29	4.68 %



FRONT ELEVATION 'EM'

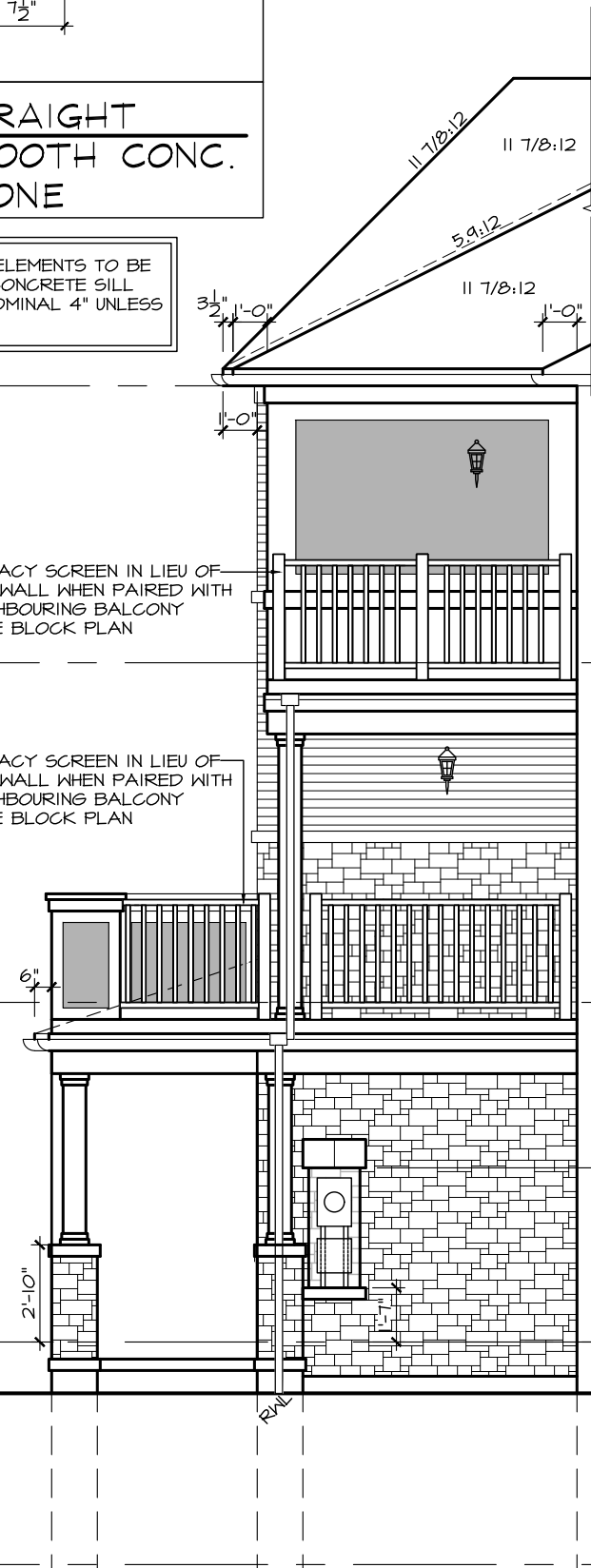


SMOOTH PRECAST ELEMENTS TO BE NOMINAL 8" WIDE, CONCRETE SILL ELEMENTS TO BE NOMINAL 4" UNLESS NOTED OTHERWISE.

1 STRAIGHT SMOOTH CONC. STONE

PRIVACY SCREEN IN LIEU OF KNEEWALL WHEN PAIRED WITH NEIGHBOURING BALCONY - SEE BLOCK PLAN

PRIVACY SCREEN IN LIEU OF KNEEWALL WHEN PAIRED WITH NEIGHBOURING BALCONY - SEE BLOCK PLAN



PART. RIGHT SIDE ELEVATION 'EM'

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FOR LOTS:  
CITY OF MARKHAM

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These drawings must be read in conjunction with Q4 standard construction details: **D1 to D13**

ELEVATIONS

EVHC  
THE GOLD  
ELEVATION 'EM'

Project No. 17039-5  
Scale 3/16" = 1'-0"  
Drawn By HP  
Checked By SW

OAKVILLE

OAKVILLE, ONTARIO

MATTAMY HOMES

Issued / Revision Chart	
NO.	DESCRIPTION
1	INTRODUCED FROM 19015-2
2	ISSUED FOR CLIENT REVIEW 23.04.10 CP
3	MOVE HVAC LOCATION 23.05.01 CP
4	ISSUED FOR CLIENT REVIEW 23.07.10 CP

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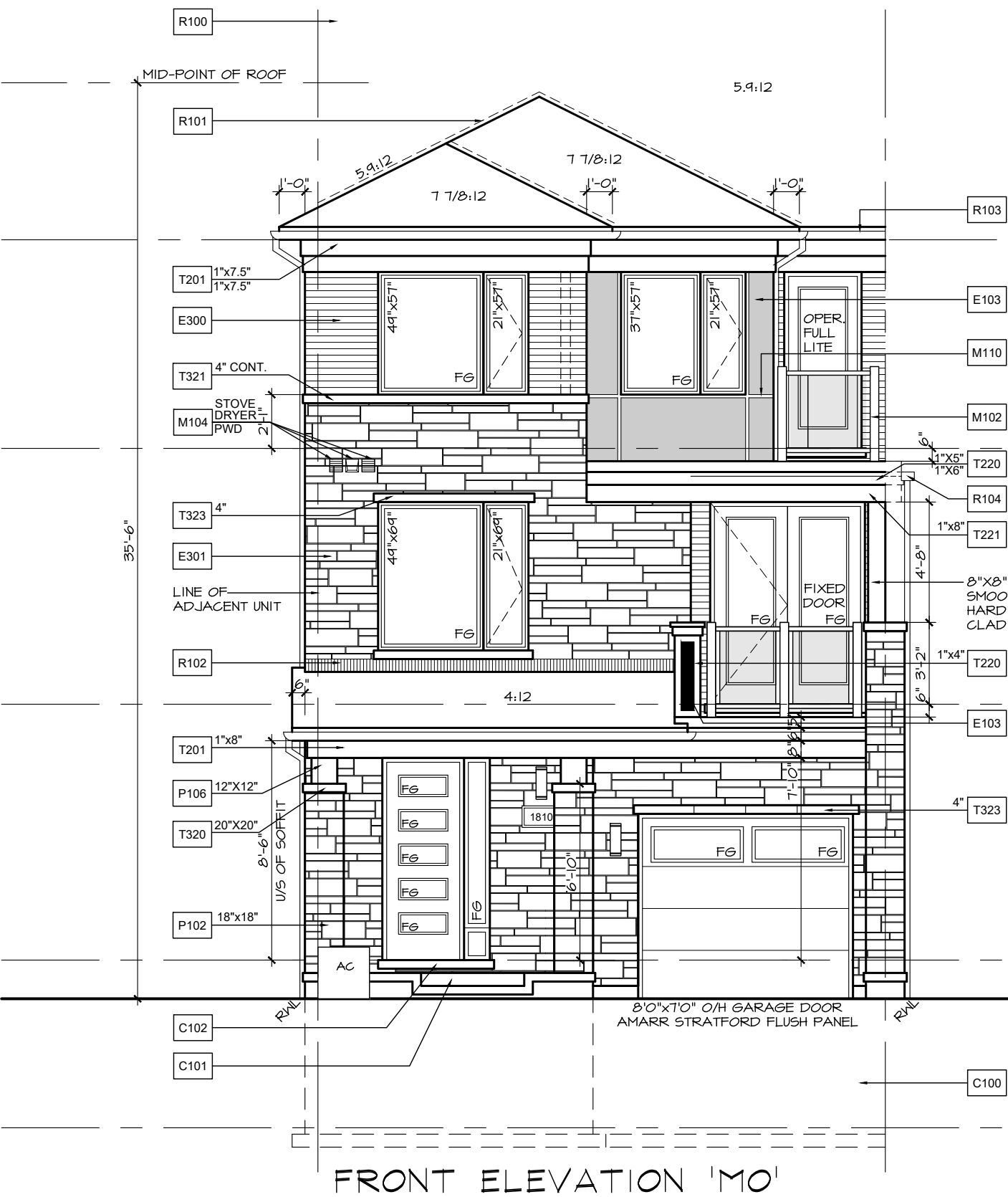
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ENERGY STAR CALCULATION ELEV. 'MO'			
ELEVATION	WALL AREA sq.ft.	WINDOW RSO AREA sq.ft.	WINDOW %
FRONT	661.87	129.41	
LEFT SIDE	763.53	0.00	
RIGHT SIDE	763.53	0.00	
REAR	661.87	0.00	
TOTAL	2850.80	129.41	4.54 %

NOT FOR CONSTRUCTION

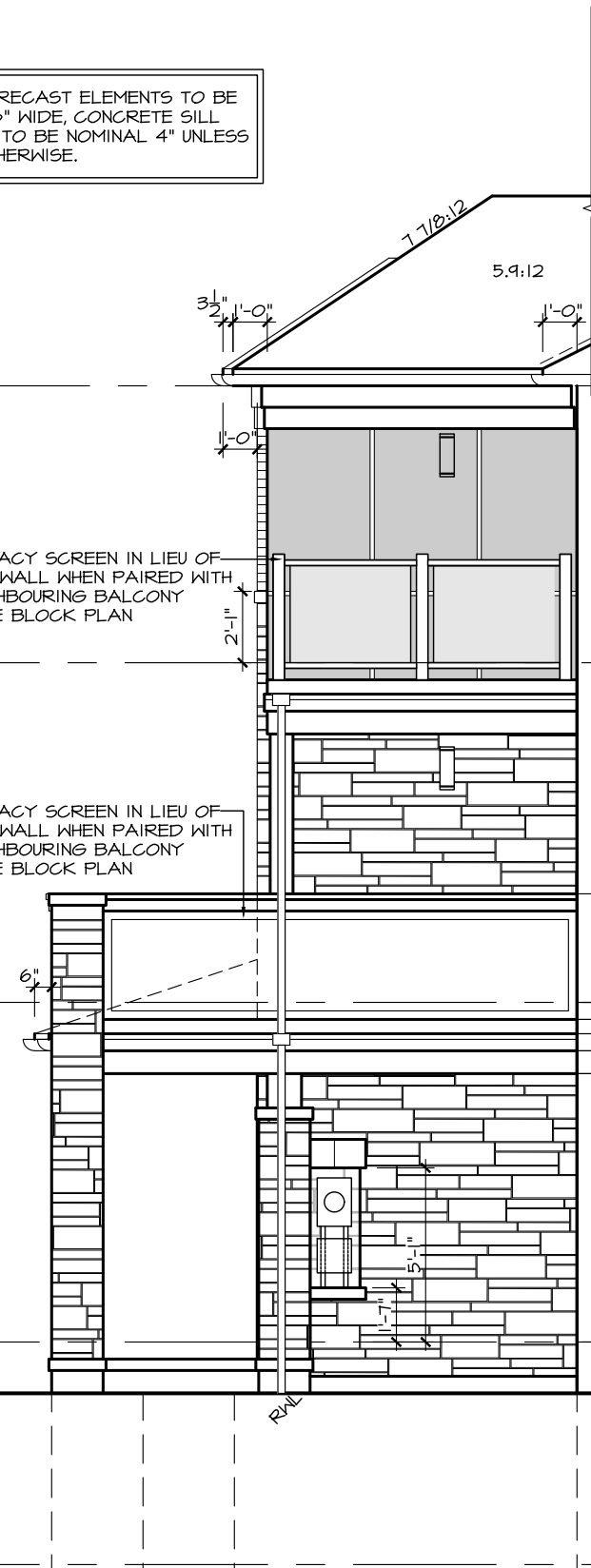


FRONT ELEVATION 'MO'

SMOOTH PRECAST ELEMENTS TO BE NOMINAL 8" WIDE, CONCRETE SILL ELEMENTS TO BE NOMINAL 4" UNLESS NOTED OTHERWISE.

PRIVACY SCREEN IN LIEU OF KNEEWALL WHEN PAIRED WITH NEIGHBOURING BALCONY - SEE BLOCK PLAN

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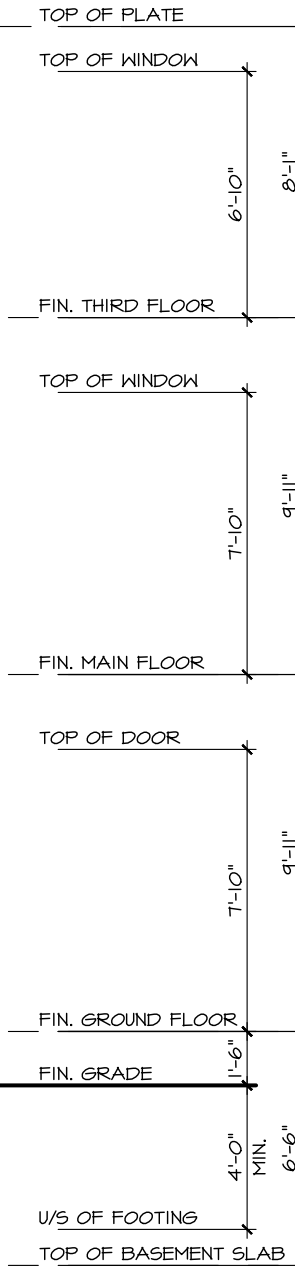


PART. RIGHT SIDE ELEVATION 'MO'

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These drawings must be read in conjunction with Q4 standard construction details: **D1 to D13**

**ELEVATIONS**

**EVHC**  
THE GOLD  
ELEVATION 'MO'

Project No. 17039-5  
Scale 3/16" = 1'-0"  
Drawn By HP  
Checked By SW

OAKVILLE

OAKVILLE, ONTARIO

**MATTAMY HOMES**

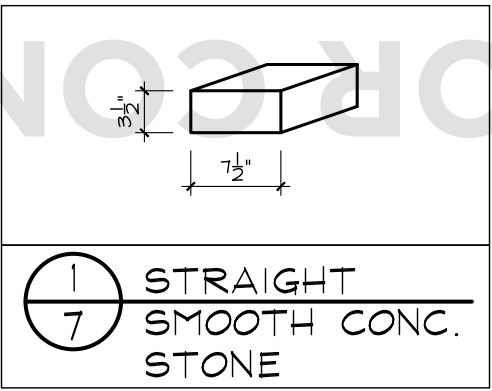
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No.	Description
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1	INTRODUCED FROM 19015-2 23.04.10 CP

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ENERGY STAR CALCULATION ELEV. 'TA'			
ELEVATION	WALL AREA sq.ft.	WINDOW RSO AREA sq.ft.	WINDOW %
FRONT	698.21	137.69	
LEFT SIDE	763.53	0.00	
RIGHT SIDE	763.53	0.00	
REAR	661.87	0.00	
TOTAL	2887.14	137.69	4.77 %



SMOOTH PRECAST ELEMENTS TO BE NOMINAL 8" WIDE, CONCRETE SILL ELEMENTS TO BE NOMINAL 4" UNLESS NOTED OTHERWISE.

PRIVACY SCREEN IN LIEU OF KNEEWALL WHEN PAIRED WITH NEIGHBOURING BALCONY - SEE BLOCK PLAN

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**EVHC**  
THE GOLD  
ELEVATION 'TA'

Project No. 17039-5  
Scale 3/16" = 1'-0"  
Drawn By HP  
Checked By SW

**ELEVATIONS**

OAKVILLE  
OAKVILLE, ONTARIO  
MATTAMY HOMES

Issued / Revision Chart	CP	CP	CP
4 ISSUED FOR CLIENT REVIEW	23.07.10	23.07.10	CP
3 MOVE HVAC LOCATION	23.05.01	23.05.01	CP
2 ISSUED FOR CLIENT REVIEW	23.04.10	23.04.10	CP
1 INTRODUCED FROM 19015-2	23.04.10	23.04.10	CP

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FRONT ELEVATION 'EM'

RIGHT SIDE ELEVATION 'EM'

WALL AREA 962.23 SQ. FT.  
LIMITING DISTANCE 1.2 M (7%)  
OPENINGS ALLOWED 67.36 SQ. FT.  
OPENINGS PROVIDED 39.39 SQ. FT.

ELEVATIONS

Issued / Revision Chart	
4	ISSUED FOR CLIENT REVIEW 23.07.10 CP
3	RELOCATE HWY 23.05.01 CP
2	ISSUED FOR CLIENT REVIEW 23.04.10 CP
1	INTRODUCED FROM 19.05.12 23.04.10 CP

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EVHE  
THE LAGUNA END  
ELEVATION 'EM'

Project No. 17039-5  
Scale 3/16" = 1'-0"  
Drawn By KL  
Checked By SW

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FRONT ELEVATION 'MO'

RIGHT SIDE ELEVATION 'MO'

WALL AREA 943.10 SQ. FT.  
LIMITING DISTANCE 1.2 M (7%)  
OPENINGS ALLOWED 66.02 SQ. FT.  
OPENINGS PROVIDED 39.39 SQ. FT.

ELEVATIONS

**EVHE**  
THE LAGUNA END  
ELEVATION 'MO'

Project No. 17039-5  
Scale 3/16" = 1'-0"  
Drawn By KL  
Checked By SW

Issued / Revision Chart	CP	CP	CP
4 ISSUED FOR CLIENT REVIEW	23.07.10	23.05.01	23.04.10
3 RELOCATE HWY	23.05.01	23.04.10	23.04.10
2 ISSUED FOR CLIENT REVIEW	23.04.10	23.04.10	23.04.10
1 INTRODUCED FROM 19015-2	23.04.10		

OAKVILLE, ONTARIO

**MATTAMY HOMES**

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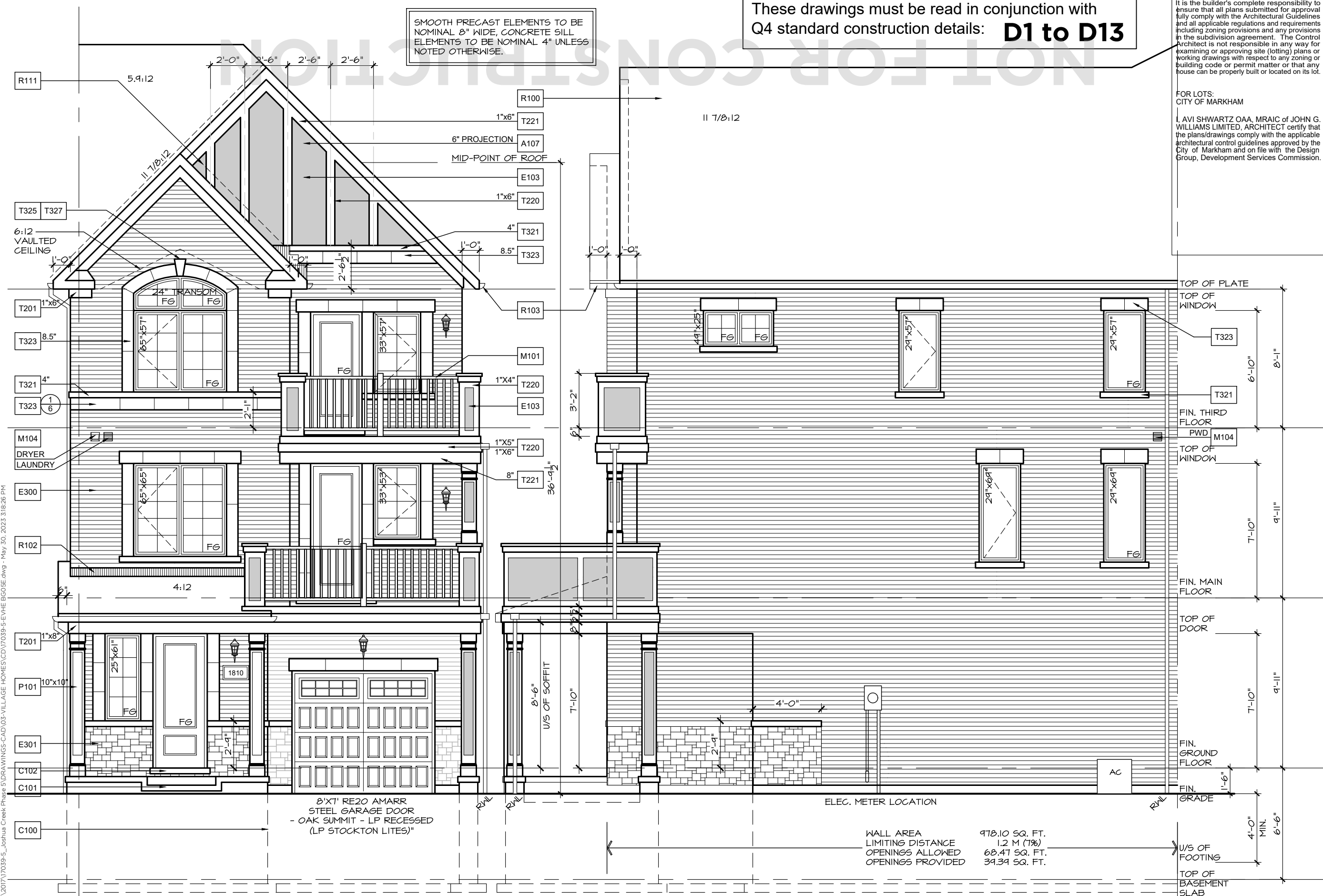
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**EVHE**  
THE LAGUNA END  
ELEVATION 'TA'

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Scale 3/16" = 1'-0"  
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**ELEVATIONS**  
OAKVILLE  
OAKVILLE, ONTARIO  
MATTAMY HOMES

Issued / Revision Chart	
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