

TREE PROTECTION NOTE

1. ALL EXISTING TREES WHICH ARE TO REMAIN SHALL BE FULLY PROTECTED WITH HOARDING, ERECTED BEYOND THEIR DRIP LINE PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT. GROUPS OF TREES AND OTHER EXISTING PLANTINGS TO BE PROTECTED, SHALL BE TREATED IN A LIKE MANNER, WITH THE HOARDING AROUND THE ENTIRE CLUMP(S). AREAS WITHIN THE PROTECTIVE FENCING SHALL REMAIN UNDISTURBED AND SHALL NOT BE USED FOR THE STORAGE OF THE BUILDING MATERIAL AND EQUIPMENT.
2. NO RIGGING CABLES SHALL BE WRAPPED AROUND OR INSTALLED IN TREES AND SURPLUS SOIL, EQUIPMENT, DEBRIS OR MATERIALS SHALL NOT BE PLACED OVER ROOT SYSTEMS OF THE TREES WITHIN THE PROTECTIVE FENCING. NO CONTAMINANTS WILL BE DUMPED OR FLUSHED WHERE FEEDER ROOTS OF TREES EXIST.
3. THE DEVELOPER OR HIS/HER/ITS AGENTS SHALL TAKE EVERY PRECAUTION NECESSARY TO PREVENT DAMAGE TO TREES OR SHRUBS TO BE RETAINED.
4. WHERE LIMBS OR PORTIONS OF TREES ARE REMOVED TO ACCOMMODATE CONSTRUCTION WORK, THEY WILL BE REMOVED CAREFULLY IN ACCORDANCE WITH ACCEPTED ARBORICULTURAL PRACTICE.
5. WHERE ROOT SYSTEMS OF PROTECTED TREES ARE EXPOSED DIRECTLY TO, OR DAMAGED BY CONSTRUCTION WORK, THEY SHALL BE TRIMMED NEATLY AND THE AREA BACKFILLED WITH APPROPRIATE MATERIAL TO PREVENT DESICCATION.
6. WHERE NECESSARY, THE TREES WILL BE GIVEN AN OVERALL PRUNING TO RESTORE THE BALANCE BETWEEN THE ROOTS AND TOP GROWTH OR TO RESTORE THE APPEARANCE OF THE TREES.
7. IF GRADES AROUND TREES TO BE PROTECTED ARE LIKELY TO CHANGE, THE OWNER SHALL BE REQUIRED TO TAKE SUCH PRECAUTIONS AS DRY WELLING, RETAINING WALLS TO ROOT FEEDING TO THE SATISFACTION OF THE PLANNING AND BUILDING DEPARTMENT OF THE TOWN OF OAKVILLE.
8. GRADE CHANGES WILL NOT OCCUR WITHIN THE TREE PROTECTION ZONE (TPZ).
9. UTILITY ACCESS CORRIDOR MUST BE OUTSIDE THE TPZ.
10. AND/OR NO OPEN TRENCH METHOD OF CONSTRUCTION BELOW-GROUND AS WELL AS NO ABOVE-GROUND LINES WITHIN THE TPZ.

STANDARD DEVELOPMENT NOTES:

(A) TRANSPORTATION AND WORKS DEPARTMENT

1. MUNICIPAL BOULEVARD TO BE RESTORED TO THE SATISFACTION OF ENGINEERING CONSTRUCTION STAFF.
2. RESTORE THE PUBLIC ROADWAY TO TOWN STANDARDS AND CLEARLY INDICATE ON THE ENGINEERING DRAWINGS ALL RESTORATION, TO THE SATISFACTION OF THE ENGINEERING & CONSTRUCTION DEPARTMENT.
3. DRIVEWAYS ON THE MUNICIPAL RIGHT-OF-WAY SHALL BE PAVED BY THE APPLICANT.
4. AT THE ENTRANCES TO THE SITE, THE MUNICIPAL CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY AND A CURB DEPRESSION WILL BE PROVIDED FOR THE ENTRANCE.
5. THE TOPS OF ANY CURBS BORDERING THE DRIVEWAYS WITHIN THE MUNICIPAL BOULEVARD WILL BE FLUSH WITH THE MUNICIPAL SIDEWALK AND ROAD CURB.

(B) GENERAL NOTES

1. THE EXISTING GRADES SHOWN ON THIS DRAWING ARE TO REMAIN UNCHANGED.
2. THERE IS NO EASEMENTS REGISTERED ON TITLE AND AFFECTING THE SUBJECT LANDS.
3. THE STOCKPILING OF CONSTRUCTION MATERIAL TO BE DONE AT THE FRONT OF THE PROPOSED DWELLING ON THE EXISTING DRIVEWAY.
4. ALL ROOF DOWNSPOUTS FROM EAVESTROUGH TO DISCHARGE ONTO SURFACE AND THE RUNOFF DIRECTED TOWARDS THE REAR WHERE POSSIBLE AND TO THE ROAD.
5. ROOF DOWNSPOUT IS LOCATED IN SUCH MANNER AS TO DIRECT DRAINAGE AWAY FROM WALKWAYS, DRIVEWAYS OR PATIO AREAS.
6. MAINTAIN EXISTING GRADES IN AREA AROUND TREES TO BE PRESERVED.
7. PRIOR TO CONSTRUCTION, CONTRACTOR TO VERIFY IN FIELD THE EXACT SIZE AND INVERTS OF THE EXISTING WATER SERVICE CONNECTION AND SEWER CONNECTIONS AND REPORT IT TO THE ENGINEER.
8. ALL SURPLUS/EXCAVATED MATERIAL TO BE REMOVED FROM THE SITE.
9. CONTRACTOR TO MATCH EXISTING GRADES ALONG PROPERTY LINES.
10. ALL DISTURBED AREAS WITHIN EXISTING ROAD ALLOWANCE TO BE REINSTATED WITH TOPSOIL AND SOD TO THE SATISFACTION OF THE TOWN OF OAKVILLE.
11. THE CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS, IF ANY DISCREPANCIES, THEY MUST BE REPORTED TO THE ENGINEER IMMEDIATELY PRIOR TO CONSTRUCTION.
12. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES DURING CONSTRUCTION, GAS, HYDRO, TELEPHONE OR ANY OTHER UTILITIES THAT MAY EXIST ON THE SITE OR WITHIN THE STREETLINE MUST BE LOCATED BY ITS OWN UTILITIES AND VERIFIED PRIOR TO CONSTRUCTION.
13. ALL CONNECTIONS SHALL BE INSTALLED AS PER REGION OF HALTON STANDARDS AND SPECIFICATIONS.
14. BUILDER IS TO VERIFY TO THE ENGINEER THAT THE FINAL FOOTING ELEVATION AND TOP OF FOUNDATION WALL ELEVATION ARE IN CONFORMITY WITH THE BUILDING CODE AND THE CERTIFIED GRADING PLAN PRIOR TO PROCEEDING.
15. OUTSIDE FINISHED GRADE TO BE A MINIMUM OF 150 mm BELOW BRICK/STONE VENEER ELEVATION.
16. PRIOR TO ANY SODDING, THE BUILDER IS TO ENSURE TO THE SOIL CONSULTANT AND/OR THE ENGINEER THAT THE LOT HAS BEEN GRADED AND TOPSOILED AND SODDED COMPLETELY WITH A MINIMUM DEPTH OF 200 mm OF TOPSOIL AND N° 1 NURSERY SOD AND A MINIMUM DEPTH OF 150 mm CRUSHED STONE TO BE PROVIDED ON THE ENTIRE LENGTH OF EACH DRIVEWAY ON A FIRM SUBGRADE AND THE DRIVEWAY TO BE PAVED WITH A MINIMUM COMPACTED DEPTH OF 75 mm OF ASPHALT BETWEEN THE CURB AND THE GARAGE.
17. NO SODDING ON ANY LOT IS PERMITTED UNTIL PRELIMINARY INSPECTION IS DONE BY THE ENGINEER AND THE BUILDER.
18. DRIVEWAY GRADES SHOULD BE NOT LESS THAN 1.0% AND NOT GREATER THAN 7.0%.
19. LAWN AND SWALES SHALL HAVE MINIMUM SLOPE OF 2.0% AND A MAXIMUM SLOPE OF 5.0% AND HAVE A MINIMUM DEPTH OF 150mm.
20. WHERE GRADES IN EXCESS OF 5.0% ARE REQUIRED, THE MAXIMUM SLOPE SHALL BE 3:1. GRADE CHANGES IN EXCESS OF 1.0 m ARE TO BE ACCOMPLISHED BY USE OF A RETAINING WALL. RETAINING WALLS HIGHER THAN 0.6 m SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE.
21. THE SERVICE CONNECTION TRENCH THROUGH THE TRAVELLED PORTION OF THE ROAD ALLOWANCE SHALL BE BACKFILLED WITH UNSHRINKABLE BACKFILL MATERIAL AS PER TOWN OF OAKVILLE STANDARDS UNLESS OTHERWISE SPECIFIED PRIOR APPROVAL FOR OTHER BACKFILL MATERIAL HAS BEEN OBTAIN.
22. ALL WATERMANS AND WATER SERVICE MATERIALS AND CONSTRUCTION METHODS MUST CORRESPOND TO CURRENT REGION OF HALTON STANDARDS AND SPECIFICATIONS.
23. WATERMANS AND/OR WATER SERVICES ARE TO HAVE A MINIMUM DEPTH OF 1.7 m WITH A MINIMUM HORIZONTAL SPACING OF 2.5 m FROM THEMSELVES AND OTHER SERVICES.
24. SEDIMENT CONTROL FENCE TO BE INSTALLED AS PER THE TOWN OF OAKVILLE STANDARDS.
25. ALL DAMAGED AND DISTURBED AREAS TO BE REINSTATED WITH TOPSOIL AND SOD.

EROSION AND SILTATION NOTES

1. ALL EROSION AND SEDIMENT CONTROLS ARE TO BE INSTALLED ACCORDING TO APPROVED PLANS TO COMMENCEMENT OF ANY EARTH MOVING WORK ON THE SITE AND SHALL REMAIN IN PLACE UNTIL A DISTURBED AREAS ARE STABILIZED WITH THE INTENDED FINAL GROUND COVER.
2. EROSION AND SEDIMENT CONTROLS SHALL BE INSPECTED BY THE BUILDER/DEVELOPER.
 - A. WEEKLY
 - B. BEFORE AND AFTER ANY PREDICTED RAINFALL EVENT
 - C. FOLLOWING AN UNPREDICTED RAINFALL EVENT
 - D. DAILY, DURING EXTENDED DURATION RAINFALL EVENTS
 - E. AFTER SIGNIFICANT SNOW MELT EVENTS
3. EROSION AND SEDIMENT CONTROLS SHALL BE MAINTAINED IN PROPER WORKING ORDER AT ALL TIMES. DAMAGED OR CLOGGED DEVICES SHALL BE REPAIRED WITH 48 HOURS.
4. WHERE A SITE REQUIRES DEWATERING AND WHERE THE EXPELLED WATER CAN BE FREELY RELEASED TO A SUITABLE RECEIVER, THE EXPELLED WATER SHALL BE TREATED TO CAPTURE SUSPENDED PARTICLES GREATER THAN 40 MICRON IN SIZE. THE CAPTURED SEDIMENT SHALL BE DISPOSED OF PROPERLY PER MOECC GUIDELINES. THE CLEAN EXPELLED WATER SHALL BE FREELY RELEASED TO A SUITABLE RECEIVER IN MANNER THAT DOES NOT CREATE DOWNSTREAM ISSUES INCLUDING BUT NOT LIMITED TO EROSION, FLOODING-NUISANCE OR OTHERWISE, INTERFERENCE ISSUES, ETC.
5. EXISTING STORM SEWERS AND DRAINAGE DITCHES ADJACENT TO THE WORKS SHALL BE PROTECTED AT ALL TIMES FROM THE ENTRY OF SEDIMENT/SILT THAT MAY MIGRATE FROM THE SITE. FOR STORM SEWERS: ALL INLETS/REAR LOT CATCHBASINS, ROAD CATCHBASINS, PIPE INLETS, ETC.) MUST BE SECURED/FITTED WITH SILTATION CONTROL MEASURES. FOR DRAINAGE DITCHES: THE INSTALLATION OF ROCK CHECK DAMS, SILTATION FENCING, SEDIMENT CONTAINMENT DEVICES MUST BE INSTALLED TO TRAP AND CONTAIN SEDIMENT. THESE SILTATION CONTROL DEVICES SHALL BE INSPECTED AND MAINTAINED PER ITEMS 2 AND 3 ABOVE.
6. IN THE EVENT OF A SPILL/RELEASE OF DELETERIOUS MATERIAL ON OR EMANATING FROM THE SITE, THE OWNER AGENT SHALL IMMEDIATELY NOTIFY THE MOECC AND FOLLOW ANY PRESCRIBED CLEAN UP PROCEDURE. THE OWNER OR OWNERS AGENT WILL ADDITIONALLY IMMEDIATELY NOTIFY THE TOWN.

(C) UTILITIES CONNECTION

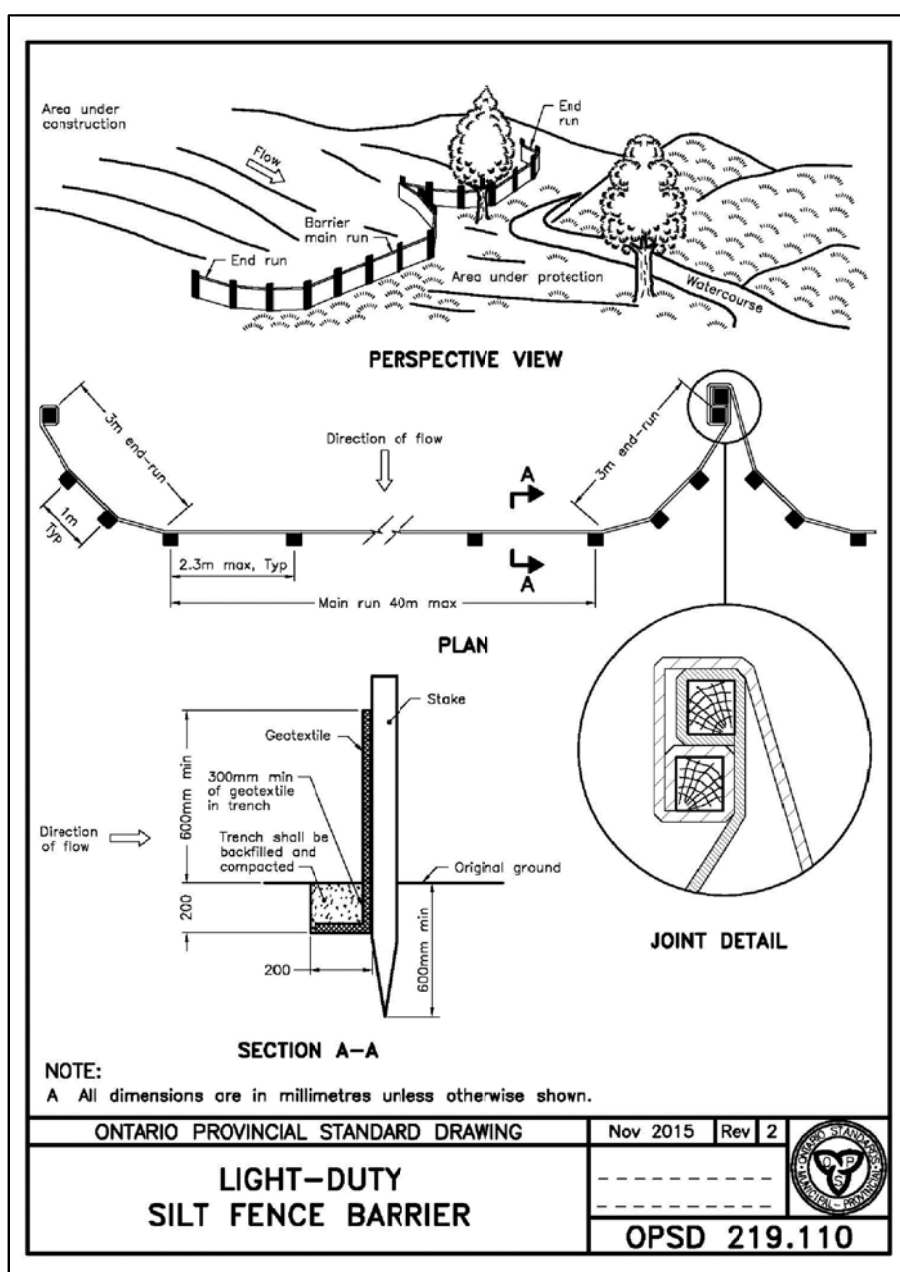
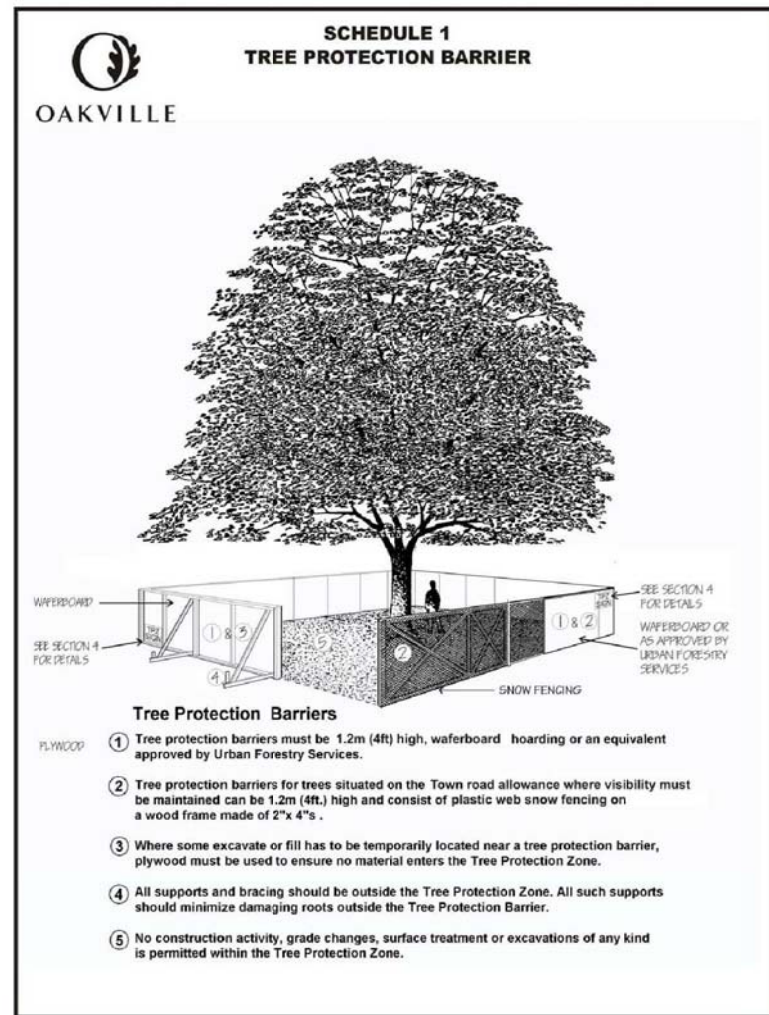
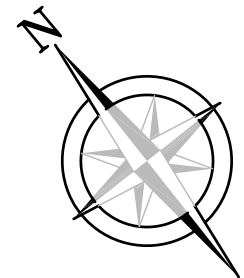
1. SANITARY: (A) MUNICIPAL SANITARY SEWER AVAILABLE ON THE SITE.
2. WATER: (A) SERVICE CONNECTIONS TO BE 25mm DIA. TYPE "K" SOFT COPPER TUBING UNLESS OTHERWISE NOTED AS PER REGION OF HALTON STANDARDS.
3. STORM: (A) A SUMP PUMP WILL BE REQUIRED TO DRAIN THE BASEMENT FACILITIES.

REGIONAL APPROVAL

REGION DESIGN OF WATER &/OR WASTEWATER SERVICES
APPROVED SUBJECT TO DETAIL CONSTRUCTION CONFORMING TO HALTON REGION STANDARDS & SPECIFICATIONS & LOCATION APPROVAL FROM AREA MUNICIPALITY.

SIGNED: _____
INFRASTRUCTURE PLANNING & POLICY

The Applicant should be aware that the approval of the water system on private property is the responsibility of the Local Municipality. Regardless, the Applicant must ensure that the Region of Halton's standards and specifications are met. The Water and Wastewater Linear Design Manual may be obtained from the Utility Management Group at 905-825-6032. Furthermore, all water quality tests must be completed to the Region of Halton's satisfaction, before the water supply can be turned on.



NOTE
EAVES DO NOT PROJECT MORE THAN 0.60M INTO PROPOSED SETBACKS.

All NEW water and sanitary main taps are to be performed by Region of Halton forces only

NOTE
DOWN SPOUT DISCHARGE LOCATIONS ARE TO BE DISCHARGED ONTO SPLASH PADS.

ANY WATER OR SANITARY SERVICE THAT DOES NOT MEET CURRENT REGIONAL STANDARDS MUST BE DISCONNECTED AT THE MAIN, AND A NEW SERVICE CONSTRUCTED AT THE SITE DEVELOPERS EXPENSE

NOTE
Sewer contractor to verify in the field and provide 2.5m (MIN.) separation between the Water and Sanitary Lines.

Contractor to use existing services.

NOTE
If the existing sanitary service lateral is used, it must be inspected at the property line by the Regional Inspector, and televised by Regional forces PRIOR to connection

NOTE
THIS LOT REQUIRES A SUMP PUMP FOR THE FOUNDATION DRAINS AND SHALL DISCHARGE TO THE DITCH. COMPLETE WITH BACKFLOW PREVENTER.

NOTE
Service sizes, inverts and types are derived from the Region of Halton Engineering Department Dwg. No. 0-11984
The contractor must verify inverts.

J. H. Gelbloom Surveying Limited
Ontario Land Surveyor
476 Morden Road, Unit 102, Oakville, Ont. L6K 3W4
office@jhgsurveying.ca
Phone:(905) 338-8210

Project: 21-121
Checked By: A.M.
Drawn By: M.K.
Party Chief: _____

KEY PLAN (NOT TO SCALE)

SITE, GRADING & SERVICING PLAN
LOT 53
REGISTERED PLAN 1060
TOWN OF OAKVILLE
REGIONAL MUNICIPALITY OF HALTON

SCALE 1 : 150
J.H. Gelbloom Surveying Limited
Ontario Land Surveyor
2023

METRIC
Distances shown on this plan are in metres and can be converted to feet dividing by 0.3048

ITEM DESCRIPTION	PERMITTED (METRES)	ACTUAL OR PROPOSED (METRES)
OAKVILLE BY-LAW	2014-014	
ZONING DESIGNATION	RL-2-0	
LOT AREA (MINIMUM)	836.50 SQ.M.	1045.16 SQ.M.
LOT FRONTAGE (MINIMUM)	22.50	22.86
LOT COVERAGE (MAXIMUM)	26.29 SQ.M.	280.87 SQ.M.
LOT COVERAGE % (MAXIMUM)	25.0%	26.87%
RFA (MAXIMUM)	386.71 SQ.M.	417.80 SQ.M.
RFA/LOT RATIO (MAXIMUM)	37.0%	39.97%
FRONT YARD SETBACK (MINIMUM)	9.97	10.00
SIDE YARD SETBACK (MINIMUM)	1.20 & 2.40	1.75 & 1.76*
REAR YARD SETBACK (MINIMUM)	7.50	4.66
OVERALL HEIGHT	9.00	9.56*

CLF	Chain Link Fence	INV.	Invert Elevation
BF	Board Fence	EG	Established Grade
TFW	Top of Foundation Wall	92.50	Proposed Elevation
MH	Maintenance Hole		
FF	Finished Floor		
UP	Utility Pole	T.B.R.	To Be Removed
DEC.	Deciduous Tree	TOS	Top of Slope
CON.	Coniferous Tree	BOS	Bottom of Slope
Ø	Diameter	CSP	Corrugated Steel Pipe
TC	Top of Curb	WV	Water Valve
BOC	Bottom of Curb	HO	Hoarding
ENT	Entrance	WV	Existing Elevation
HP	High Point	RL	Rain Water Leader
TRW	Top of Retaining Wall	EMB	Embankment
BRW	Bottom of Retaining Wall		
③	Arborist's Tree Number	X	Tree to be Removed

SITE ADDRESS
326 SANDLEWOOD ROAD
OAKVILLE, ONTARIO

ZANA YASSEN
350 SPEERS ROAD
OAKVILLE, ONTARIO

No.	Date	Description	By
1	AUG. 25, 2023	SITE & GRADING	M.K.
2			
3			
REVISIONS			

INFORMATION TAKEN FROM A SURVEY PREPARED BY J.H. GELBLOOM SURVEYING LTD., O.L.S.
DATED : JUNE 23, 2021

BENCHMARK
Elevations are Referred to the Town of Oakville Benchmark No. 36 having an Elevation of 90.284 m.

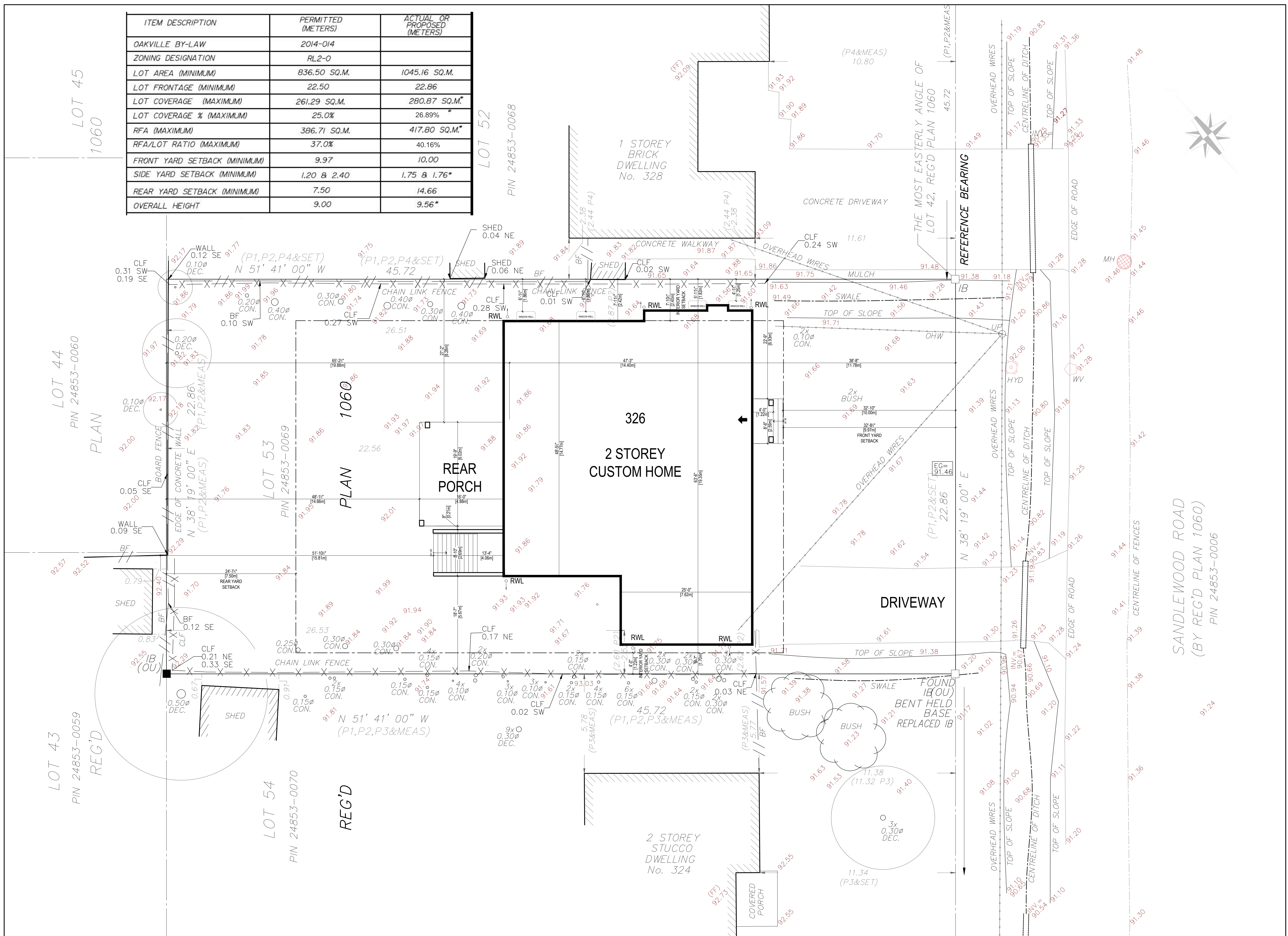
SURVEYOR'S CERTIFICATE
I HAVE REVIEWED THE PLANS FOR THE CONSTRUCTION OF A TWO STOREY DWELLING LOCATED AT 326 SANDLEWOOD RD AND HAVE PREPARED THIS PLAN TO INDICATE THE COMPATIBILITY OF THE PROPOSAL WITH ALL ADJACENT PROPERTIES AND EXISTING MUNICIPAL SERVICES. IT IS MY BELIEF THAT ADHERENCE TO THE PROPOSED ELEVATIONS AND GRADIENTS SHOWN WILL PRODUCE ADEQUATE SURFACE DRAINAGE AND PROPER FACILITY OF THE MUNICIPAL SERVICES WITHOUT DETRIMENTAL EFFECT TO THE EXISTING DRAINAGE PATTERNS OR ADJACENT PROPERTIES.

I HEREBY CERTIFY THAT THE DIMENSIONS AND SET-BACKS ARE CORRECTLY SHOWN.

AS PER OBC 9.14.6.1(1) I CERTIFY THAT THE BUILDING WILL BE LOCATED AND THE SITE GRADING HAS BEEN DESIGNED SO THAT IT WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES.

August 25, 2023
DATE
Andrew Muskh, O.L.S.

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RFA/LOT RATIO (MAXIMUM)	37.0%	40.16%
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REAR YARD SETBACK (MINIMUM)	7.50	14.66
OVERALL HEIGHT	9.00	9.56*



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[illegible]

MAR.10.2023	2	ISSUED FOR BUILDING PERMIT	DO
FEB.18.2022	1	ISSUED FOR CUENT REVIEW	LM
DATE	NO.	DESCRIPTION	BY

FINAL DATE ABOVE SUPERSEDES
ALL PREVIOUS ISSUES

REVISIONS

KEY TO DETAIL LOCATION

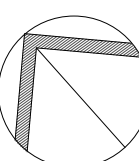
○ DETAIL NOTATION
DRAWING NUMBER

CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB AND REPORT ANY DISCREPANCIES TO THE ARCHITECTS BEFORE PROCEEDING WITH THE WORK

DRAWINGS ARE NOT TO BE SCALED.



193 ROE AVENUE
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Tel: (416) 781-6125
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326 SANDLEWOOD RD
OAKVILLE, ON

CUSTOM HOME

SITE PLAN

SCALE 1/8" = 1'-0"

DRAWN RS/DO

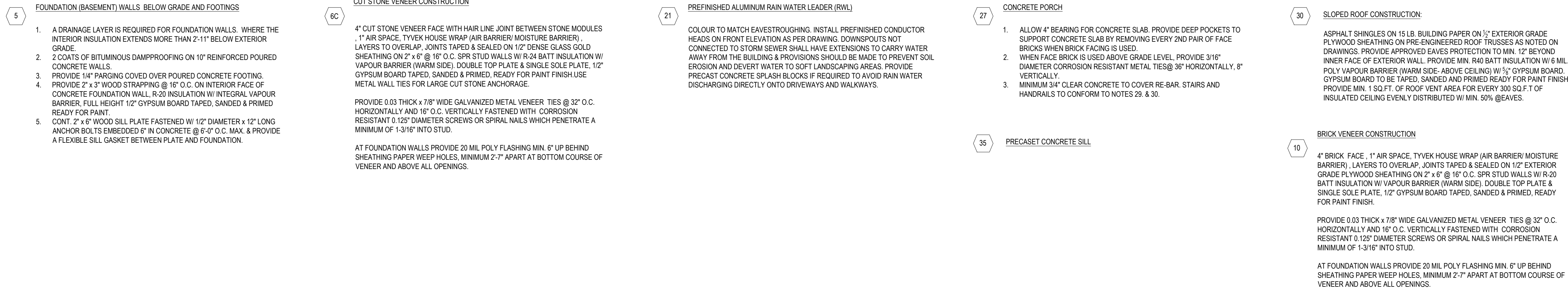
CHECKED LM

DATE FEB.18.2022

PROJ. NO. 2021-49

DRAWING NO. A1-1

A1-1



A3-4



5 FOUNDATION (BASEMENT) WALLS, BELOW GRADE AND FOOTINGS

1. A DRAINAGE LAYER IS REQUIRED FOR FOUNDATION WALLS. WHERE THE INTERIOR INSULATION EXTENDS MORE THAN 2'-11" BELOW EXTERIOR GRADE.
2. 2 COATS OF BITUMINOUS DAMPPROOFING ON 10" REINFORCED POURED CONCRETE WALLS.
3. PROVIDE 1/4" PARGING COVERED OVER POURED CONCRETE FOOTING.
4. PROVIDE 2" x 3" WOOD STRAPPING @ 16" O.C. ON INTERIOR FACE OF CONCRETE FOUNDATION WALL. R-20 INSULATION W/ INTEGRAL VAPOUR BARRIER. FULL HEIGHT 1/2" GYPSUM BOARD TAPED, SANDED & PRIMED READY FOR PAINT.
5. CONT. 2" x 6" WOOD SILL PLATE FASTENED W/ 1/2" DIAMETER x 12" LONG ANCHOR BOLTS EMBEDDED 6" IN CONCRETE @ 6'-0" O.C. MAX. & PROVIDE A FLEXIBLE SILL GASKET BETWEEN PLATE AND FOUNDATION.

21 PREFINISHED ALUMINUM RAIN WATER LEADER (RWL)

COLOR TO MATCH EAVESTROUGHING. INSTALL PREFINISHED CONDUCTOR HEADS ON FRONT ELEVATION AS PER DRAWING. DOWNSPOUTS NOT CONNECTED TO STORM SEWER SHALL HAVE EXTENSIONS TO CARRY WATER AWAY FROM THE BUILDING & PROVISIONS SHOULD BE MADE TO PREVENT SOIL EROSION AND DEVERT WATER TO SOFT LANDSCAPING AREAS. PROVIDE PRECAST CONCRETE SPLASH BLOCKS IF REQUIRED TO AVOID RAIN WATER DISCHARGING DIRECTLY ONTO DRIVEWAYS AND WALKWAYS.

32 ROOF SADDLE

PROVIDE STICK FRAME ROOF SADDLE CONSTRUCTION OVER PRE-FABRICATED ROOF TRUSS SYSTEM TO ENSURE POSITIVE DRAINAGE TO PERIMETER EAVES DRAINAGE

30 SLOPED ROOF CONSTRUCTION:

ASPHALT SHINGLES ON 15 LB. BUILDING PAPER ON 1/2" EXTERIOR GRADE PLYWOOD SHEATHING ON PRE-ENGINEERED ROOF TRUSSES AS NOTED ON DRAWINGS. PROVIDE APPROVED EAVES PROTECTION TO MIN. 12" BEYOND INNER FACE OF EXTERIOR WALL. PROVIDE MIN. R40 BATT INSULATION W/ 6 MIL. POLY VAPOUR BARRIER (WARM SIDE- ABOVE CEILING) W/ 5/8" GYPSUM BOARD. GYPSUM BOARD TO BE TAPED, SANDED AND PRIMED READY FOR PAINT FINISH. PROVIDE MIN. 1 SQ.FT. OF ROOF VENT AREA FOR EVERY 300 SQ.F.T OF INSULATED CEILING EVENLY DISTRIBUTED W/ MIN. 50% @EAVES.

BRICK VENEER CONSTRUCTION

4" BRICK FACE , 1" AIR SPACE, TYVEK HOUSE WRAP (AIR BARRIER/ MOISTURE BARRIER) , LAYERS TO OVERLAP. JOINTS TAPED & SEALED ON 1/2" EXTERIOR GRADE PLYWOOD SHEATHING ON 2" x 6" @ 16" O.C. SPR STUD WALLS W/ R-20 BATT INSULATION W/ VAPOUR BARRIER (WARM SIDE). DOUBLE TOP PLATE & SINGLE SOLE PLATE. 1/2" GYPSUM BOARD TAPED, SANDED & PRIMED, READY FOR PAINT FINISH.

PROVIDE 0.03 THICK x 7/8" WIDE GALVANIZED METAL VENEER. TIES @ 32" O.C. HORIZONTALLY AND 16" O.C. VERTICALLY FASTENED WITH CORROSION RESISTANT 0.125" DIAMETER SCREWS OR SPIRAL NAILS WHICH PENETRATE A MINIMUM OF 1-3/16" INTO STUD.

AT FOUNDATION WALLS PROVIDE 20 MIL. POLY FLASHING MIN. 6" UP BEHIND SHEATHING PAPER WEEP HOLES, MINIMUM 2'-7" APART AT BOTTOM COURSE OF VENEER AND ABOVE ALL OPENINGS.

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**SG
&M**
Architects

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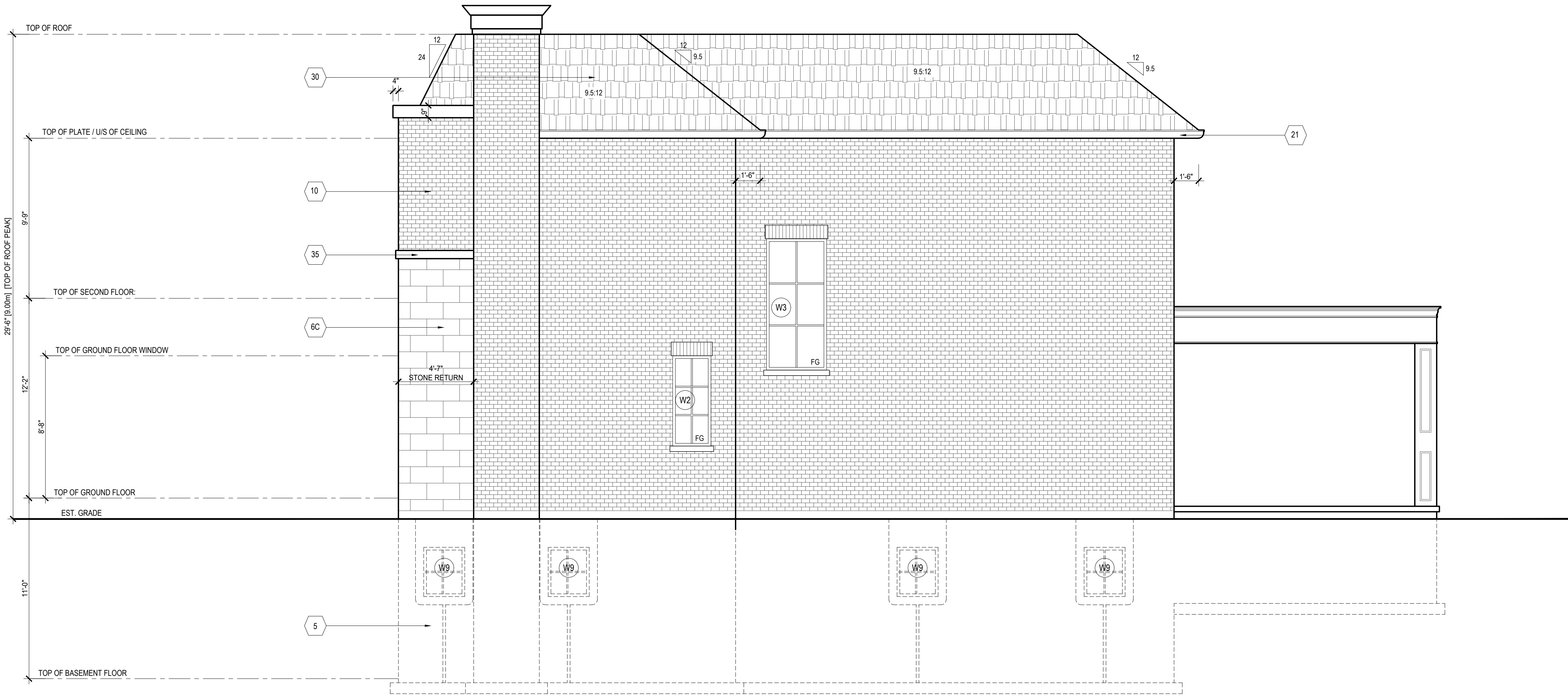
326 SANDLEWOOD RD
OAKVILLE, ON

CUSTOM HOME

REAR ELEVATION

SCALE 1/4" = 1'-0"
DRAWN RS/DO
CHECKED LM
DATE FEB.18.2022
PROJ. NO. 2021-49 DRAWING NO.

A3-3



5 FOUNDATION (BASEMENT) WALLS BELOW GRADE AND FOOTINGS

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2. 2 COATS OF BITUMINOUS DAMPPROOFING ON 10" REINFORCED POURED CONCRETE WALLS.
3. PROVIDE 1/4" PARGING COVERED OVER POURED CONCRETE FOOTING.
4. PROVIDE 2" x 3" WOOD STRAPPING @ 16" O.C. ON INTERIOR FACE OF CONCRETE FOUNDATION WALL, R-20 INSULATION W/ INTEGRAL VAPOUR BARRIER, FULL HEIGHT 1/2" GYPSUM BOARD TAPED, SANDED & PRIMED READY FOR PAINT.
5. CONT. 2" x 6" WOOD SILL PLATE FASTENED W/ 1/2" DIAMETER x 12" LONG ANCHOR BOLTS EMBEDDED 6" IN CONCRETE @ 6'-0" O.C. MAX. & PROVIDE A FLEXIBLE SILL GASKET BETWEEN PLATE AND FOUNDATION.

6C CUT STONE VENEER CONSTRUCTION

4" CUT STONE VENEER FACE WITH HAIR LINE JOINT BETWEEN STONE MODULES
1" AIR SPACE, TYVEK HOUSE WRAP (AIR BARRIER/ MOISTURE BARRIER),
LAYERS TO OVERLAP, JOINTS TAPED & SEALED ON 1/2" DENSE GLASS GOLD
SHEATHING ON 2" x 6" @ 16" O.C. SPR STUD WALLS W/ R-24 BATT INSULATION W/
VAPOUR BARRIER (WARM SIDE), DOUBLE TOP PLATE & SINGLE SOLE PLATE, 1/2"
GYPSUM BOARD TAPED, SANDED & PRIMED, READY FOR PAINT FINISH USE
METAL WALL TIES FOR LARGE CUT STONE ANCHORAGE.

PROVIDE 0.03 THICK x 7/8" WIDE GALVANIZED METAL VENEER TIES @ 32" O.C.
HORIZONTALLY AND 16" O.C. VERTICALLY FASTENED WITH CORROSION
RESISTANT 0.125" DIAMETER SCREWS OR SPIRAL NAILS WHICH PENETRATE A
MINIMUM OF 1-3/16" INTO STUD.

AT FOUNDATION WALLS PROVIDE 20 MIL POLY FLASHING MIN. 6" UP BEHIND
SHEATHING PAPER WEEP HOLES, MINIMUM 2'-7" APART AT BOTTOM COURSE OF
VENEER AND ABOVE ALL OPENINGS.

21 PREFINISHED ALUMINUM RAIN WATER LEADER (RWL)

COLOR TO MATCH EAVESTROUGHING. INSTALL PREFINISHED CONDUCTOR
HEADS ON FRONT ELEVATION AS PER DRAWING. DOWNSPOUTS NOT
CONNECTED TO STORM SEWER SHALL HAVE EXTENSIONS TO CARRY WATER
AWAY FROM THE BUILDING & PROVISIONS SHOULD BE MADE TO PREVENT SOIL
EROSION AND DEVERT WATER TO SOFT LANDSCAPING AREAS. PROVIDE
PRECAST CONCRETE SPLASH BLOCKS IF REQUIRED TO AVOID RAIN WATER
DISCHARGING DIRECTLY ONTO DRIVEWAYS AND WALKWAYS.

32 ROOF SADDLE

PROVIDE STICK FRAME ROOF SADDLE CONSTRUCTION OVER PRE-FABRICATED
ROOF TRUSS SYSTEM TO ENSURE POSITIVE DRAINAGE TO PERIMETER EAVES
DRAINAGE

27 CONCRETE PORCH

1. ALLOW 4" BEARING FOR CONCRETE SLAB. PROVIDE DEEP POCKETS TO
SUPPORT CONCRETE SLAB BY REMOVING EVERY 2ND PAIR OF FACE
BRICKS WHEN BRICK FACING IS USED.
2. WHEN FACE BRICK IS USED ABOVE GRADE LEVEL, PROVIDE 3/16"
DIAMETER CORROSION RESISTANT METAL TIES @ 36" HORIZONTALLY, 8"
VERTICALLY.
3. MINIMUM 3/4" CLEAR CONCRETE TO COVER RE-BAR. STAIRS AND
HANDRAILS TO CONFORM TO NOTES 29, & 30.

35 PRECAST CONCRETE SILL

30 SLOPED ROOF CONSTRUCTION:

ASPHALT SHINGLES ON 15 LB. BUILDING PAPER ON 1/2" EXTERIOR GRADE
PLYWOOD SHEATHING ON PRE-ENGINEERED ROOF TRUSSES AS NOTED ON
DRAWINGS. PROVIDE APPROVED EAVES PROTECTION TO MIN. 12" BEYOND
INNER FACE OF EXTERIOR WALL. PROVIDE MIN. R40 BATT INSULATION W/ 6 MIL
POLY VAPOUR BARRIER (WARM SIDE, ABOVE CEILING) W/ 3/2" GYPSUM BOARD.
GYPSUM BOARD TO BE TAPED, SANDED AND PRIMED READY FOR PAINT FINISH.
PROVIDE MIN. 1 SQ.FT. OF ROOF VENT AREA FOR EVERY 300 SQ.F.T OF
INSULATED CEILING EVENLY DISTRIBUTED W/ MIN. 50% @ EAVES.

10 BRICK VENEER CONSTRUCTION

4" BRICK FACE, 1" AIR SPACE, TYVEK HOUSE WRAP (AIR BARRIER/ MOISTURE
BARRIER), LAYERS TO OVERLAP, JOINTS TAPED & SEALED ON 1/2" EXTERIOR
GRADE PLYWOOD SHEATHING ON 2" x 6" @ 16" O.C. SPR STUD WALLS W/ R-20
BATT INSULATION W/ VAPOUR BARRIER (WARM SIDE), DOUBLE TOP PLATE &
SINGLE SOLE PLATE, 1/2" GYPSUM BOARD TAPED, SANDED & PRIMED, READY
FOR PAINT FINISH.

PROVIDE 0.03 THICK x 7/8" WIDE GALVANIZED METAL VENEER TIES @ 32" O.C.
HORIZONTALLY AND 16" O.C. VERTICALLY FASTENED WITH CORROSION
RESISTANT 0.125" DIAMETER SCREWS OR SPIRAL NAILS WHICH PENETRATE A
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AT FOUNDATION WALLS PROVIDE 20 MIL POLY FLASHING MIN. 6" UP BEHIND
SHEATHING PAPER WEEP HOLES, MINIMUM 2'-7" APART AT BOTTOM COURSE OF
VENEER AND ABOVE ALL OPENINGS.

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FEB.18.2022	1	ISSUED FOR CLIENT REVIEW	LM

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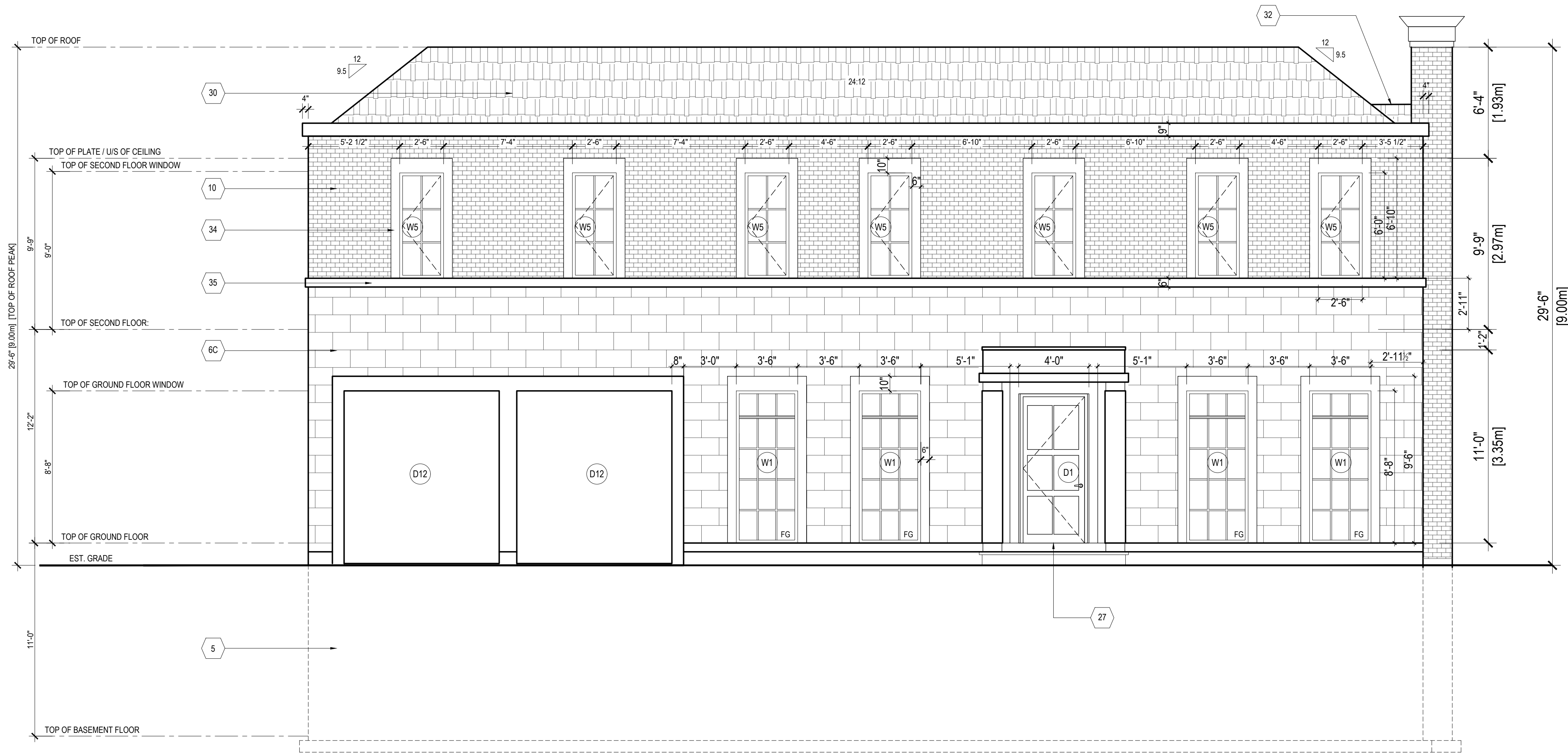
326 SANDLEWOOD RD
OAKVILLE, ON

CUSTOM HOME

RIGHT SIDE ELEVATION

SCALE	1/4" = 1'-0"
DRAWN	RS/DO
CHECKED	LM
DATE	FEB.18.2022
PROJ. NO.	2021-49
DRAWING NO.	

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- 5 FOUNDATION (BASEMENT) WALLS BELOW GRADE AND FOOTINGS
1. A DRAINAGE LAYER IS REQUIRED FOR FOUNDATION WALLS. WHERE THE INTERIOR INSULATION EXTENDS MORE THAN 2'-11" BELOW EXTERIOR GRADE.
 2. 2 COATS OF BITUMINOUS DAMPPROOFING ON 10" REINFORCED POURED CONCRETE WALLS.
 3. PROVIDE 1/4" PARGING COVERED OVER POURED CONCRETE FOOTING.
 4. PROVIDE 2" x 3" WOOD STRAPPING @ 16" O.C. ON INTERIOR FACE OF CONCRETE FOUNDATION WALL. R-20 INSULATION W/ INTEGRAL VAPOUR BARRIER. FULL HEIGHT 1/2" GYPSUM BOARD TAPED, SANDED & PRIMED READY FOR PAINT.
 5. CONT. 2" x 6" WOOD SILL PLATE FASTENED W/ 1/2" DIAMETER x 12" LONG ANCHOR BOLTS EMBEDDED 6" IN CONCRETE @ 6'-0" O.C. MAX. & PROVIDE A FLEXIBLE SILL GASKET BETWEEN PLATE AND FOUNDATION.

- 6C CUT STONE VENEER CONSTRUCTION
- 4" CUT STONE VENEER FACE WITH HAIR LINE JOINT BETWEEN STONE MODULES. 1" AIR SPACE. TYVEK HOUSE WRAP (AIR BARRIER/ MOISTURE BARRIER). LAYERS TO OVERLAP. JOINTS TAPED & SEALED ON 1/2" DENSE GLASS GOLD SHEATHING ON 2" x 6" @ 16" O.C. SPR STUD WALLS W/ R-24 BATT INSULATION W/ VAPOUR BARRIER (WARM SIDE). DOUBLE TOP PLATE & SINGLE SOLE PLATE. 1/2" GYPSUM BOARD TAPED, SANDED & PRIMED, READY FOR PAINT FINISH. USE METAL WALL TIES FOR LARGE CUT STONE ANCHORAGE.
- PROVIDE 0.03 THICK x 7/8" WIDE GALVANIZED METAL VENEER TIES @ 32" O.C. HORIZONTALLY AND 16" O.C. VERTICALLY FASTENED WITH CORROSION RESISTANT 0.125" DIAMETER SCREWS OR SPIRAL NAILS WHICH PENETRATE A MINIMUM OF 1-3/16" INTO STUD.
- AT FOUNDATION WALLS PROVIDE 20 MIL POLY FLASHING MIN. 6" UP BEHIND SHEATHING PAPER WEEP HOLES. MINIMUM 2'-7" APART AT BOTTOM COURSE OF VENEER AND ABOVE ALL OPENINGS.

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- 4" BRICK FACE. 1" AIR SPACE. TYVEK HOUSE WRAP (AIR BARRIER/ MOISTURE BARRIER). LAYERS TO OVERLAP. JOINTS TAPED & SEALED ON 1/2" EXTERIOR GRADE PLYWOOD SHEATHING ON 2" x 6" @ 16" O.C. SPR STUD WALLS W/ R-20 BATT INSULATION W/ VAPOUR BARRIER (WARM SIDE). DOUBLE TOP PLATE & SINGLE SOLE PLATE. 1/2" GYPSUM BOARD TAPED, SANDED & PRIMED, READY FOR PAINT FINISH.
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- PROVIDE STICK FRAME ROOF SADDLE CONSTRUCTION OVER PRE-FABRICATED ROOF TRUSS SYSTEM TO ENSURE POSITIVE DRAINAGE TO PERIMETER EAVES DRAINAGE

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1. ALLOW 4" BEARING FOR CONCRETE SLAB. PROVIDE DEEP POCKETS TO SUPPORT CONCRETE SLAB BY REMOVING EVERY 2ND PAIR OF FACE BRICKS WHEN BRICK FACING IS USED.
 2. WHEN FACE BRICK IS USED ABOVE GRADE LEVEL, PROVIDE 3/16" DIAMETER CORROSION RESISTANT METAL TIES @ 36" HORIZONTALLY, 8" VERTICALLY.
 3. MINIMUM 3/4" CLEAR CONCRETE TO COVER RE-BAR. STAIRS AND HANDRAILS TO CONFORM TO NOTES 29. & 30.
- 34 PRECAST STONE SURROUND
- 35 PRECAST CONCRETE SILL

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- ASPHALT SHINGLES ON 15 LB. BUILDING PAPER ON 1/2" EXTERIOR GRADE PLYWOOD SHEATHING ON PRE-ENGINEERED ROOF TRUSSES AS NOTED ON DRAWINGS. PROVIDE APPROVED EAVES PROTECTION TO MIN. 12" BEYOND INNER FACE OF EXTERIOR WALL. PROVIDE MIN. R40 BATT INSULATION W/ 6 MIL. POLY VAPOUR BARRIER (WARM SIDE. ABOVE CEILING) W/ 5/8" GYPSUM BOARD. GYPSUM BOARD TO BE TAPED, SANDED AND PRIMED READY FOR PAINT FINISH. PROVIDE MIN. 1 SQ.FT. OF ROOF VENT AREA FOR EVERY 300 SQ.F.T OF INSULATED CEILING EVENLY DISTRIBUTED W/ MIN. 50% @EAVES.

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326 SANDLEWOOD RD
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CUSTOM HOME

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A3-1