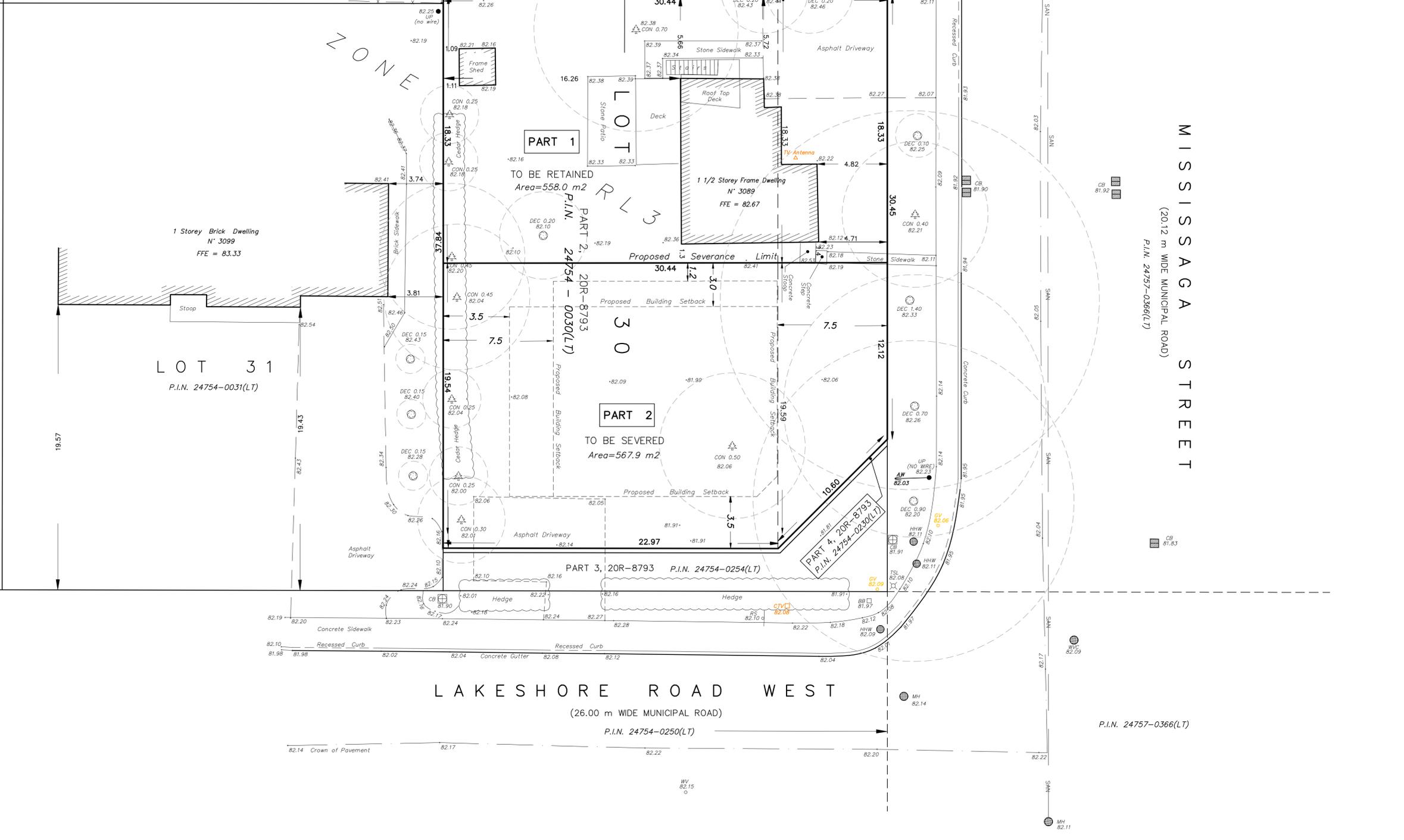
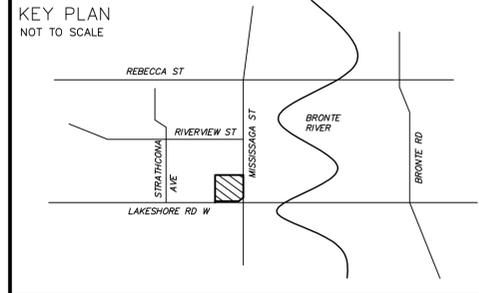


REGISTERED  
LOT 28  
P.I.N. 24754-0027(LT)



MISSISSAUGA STREET  
(20.12 m WIDE MUNICIPAL ROAD)  
P.I.N. 24757-0366(LT)

LAKESHORE ROAD WEST  
(26.00 m WIDE MUNICIPAL ROAD)  
P.I.N. 24754-0250(LT)

**TOPOGRAPHIC SKETCH OF**  
PART OF LOT 30  
REGISTERED PLAN M-10  
TOWN OF OAKVILLE  
REGIONAL MUNICIPALITY OF HALTON

GRAPHIC SCALE - METRES  
SCALE 1 : 150

**BOUNDARY NOTE**  
ALL BOUNDARY DATA SHOWN HEREON WAS COMPILED FROM THE REGISTRY OFFICE RECORDS AND WAS VERIFIED IN THE FIELD.

**ELEVATION NOTE**  
ALL ELEVATIONS SHOWN HEREON ARE GEODETIC AND WERE DERIVED FROM THE TOWN OF OAKVILLE CONTROL STATION 045910036 HAVING AN ELEVATION OF 81.650m (CGVD-1975).

**TREE NOTE**  
ONLY TREES OF A DIAMETER GREATER THAN 0.15 m WERE LOCATED FOR THIS PLAN.

**METRIC NOTE**  
ALL DISTANCES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED INTO FEET BY DIVIDING BY 0.3048.

**LEGEND**

- AW DENOTES ANCHOR WIRE(S)
- BB / CTV DENOTES BELL / CABLE TV BOX
- B- DENOTES U/G BELL CABLE
- CON-0.20 DENOTES CONIFEROUS TREE 0.20 DIA
- DEC-0.20 DENOTES DECIDUOUS TREE 0.20 DIA
- FH DENOTES FIRE HYDRANT
- GV DENOTES GAS VALVE
- G- DENOTES U/G GAS MAIN
- H- DENOTES U/G HYDRO CABLE
- HHW DENOTES HYDRO HAND WELL
- LS DENOTES LIGHT STANDARD (LAMP)
- MH DENOTES MANHOLE
- OW- DENOTES OVER HEAD WIRE(S)
- RS DENOTES ROAD SIGN
- SAN- DENOTES SANITARY SEWER
- STM- DENOTES STORM SEWER
- TSL DENOTES TRAFFIC SIGNAL LIGHT
- UP(LS) DENOTES UTILITY POLE(LIGHT STANDARD)
- WV (C) DENOTES WATER VALVE (CHAMBER)
- W- DENOTES U/G WATER MAIN

**UNDERGROUND SERVICES NOTE**  
ONLY UNDERGROUND SERVICES VISIBLE ON THE GROUND WERE LOCATED FOR THIS PLAN.  
THE USER OF THIS PLAN SHALL CONTACT THE LOCAL UTILITY COMPANIES FOR LOCATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION WORKS.

**SURVEYOR'S NOTE**  
1. CERTIFY THAT:  
1. THIS PLAN WAS PREPARED FOR DESIGN PURPOSES ONLY AND IS NOT SUITABLE FOR ANY LEGAL TRANSACTIONS.  
2. THE TOPOGRAPHIC DETAIL SHOWN HEREON WAS ACQUIRED ON MAY 4, 2016.  
DATE: JUNE 7, 2016.

ROBERT D. MCCONNELL  
ONTARIO LAND SURVEYOR

**CUNNINGHAM McCONNELL LIMITED**  
ONTARIO LAND SURVEYORS

1200 SPEERS ROAD, UNIT 38  
OAKVILLE, ONTARIO L6L 2X4  
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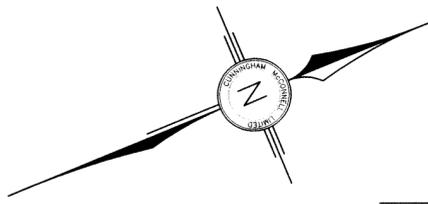
PLAN N° 24-16-1

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SPECIFIED CONTROL POINTS (SCP's): UTM ZONE 17, NAD83 (ORIGINAL).  
COORDINATES TO URBAN ACCURACY PER SEC. 14(2) OF O.REG. 216/10

POINT ID	NORTHING	EASTING
045910036	4 805 167.676	604 142.402
008830482	4 806 645.204	602 490.164

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.



PARTS SCHEDULE				
PART	LOT	REGISTERED PLAN	P.I.N.	AREA (m2)
1	PART OF 30	M-10	ALL OF 24754-0030(LT)	558
2				567.9

I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.

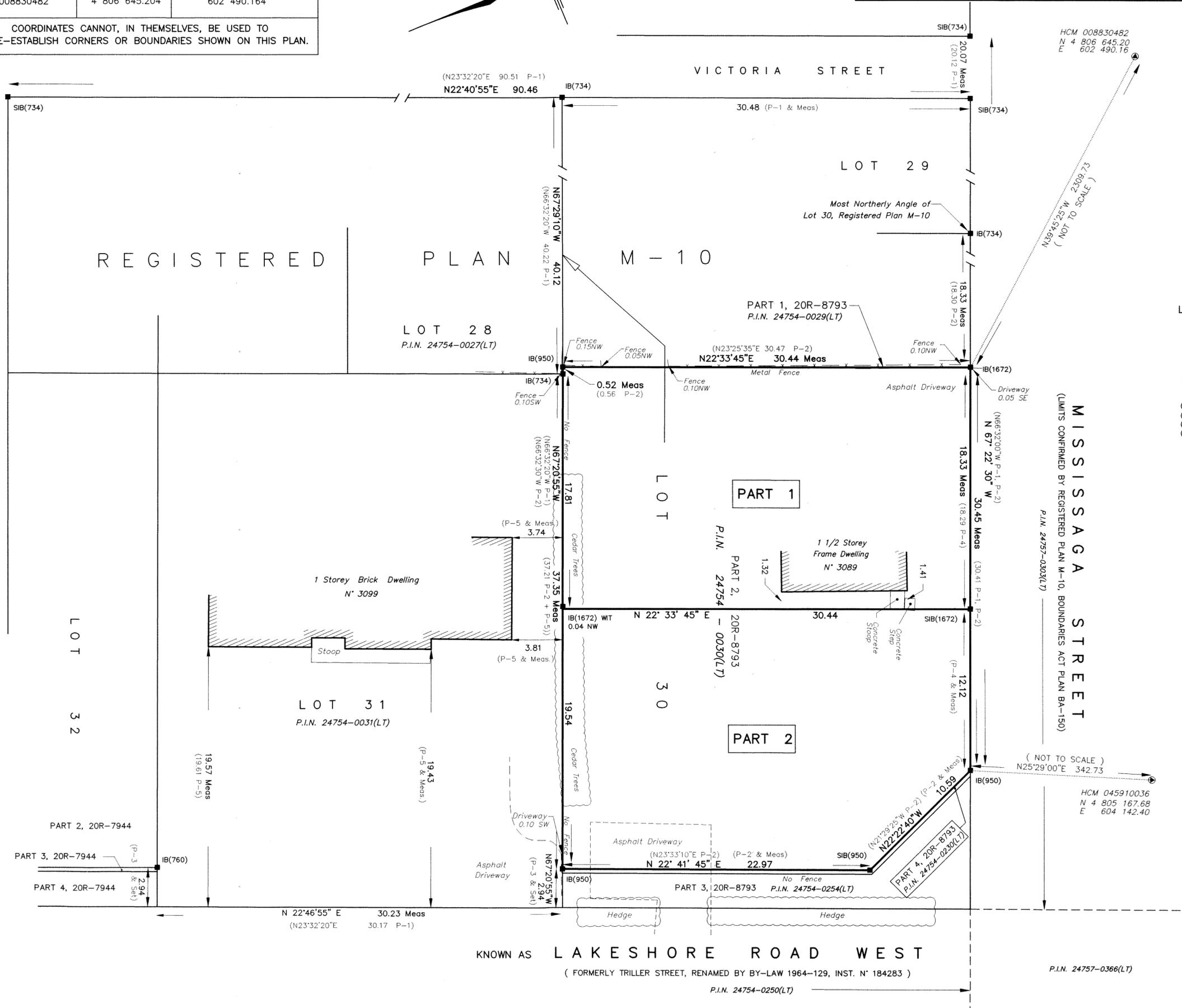
PLAN 20R-21103  
RECEIVED AND DEPOSITED

DATE: MAY 9, 2018

*Robert D. McConnell*  
ROBERT D. MCCONNELL  
ONTARIO LAND SURVEYOR

DATE: May 10, 2018  
"Cheyle Stenhouse"  
REPRESENTATIVE FOR LAND REGISTRAR  
FOR THE LAND TITLES DIVISION OF HALTON (N° 20)

STRATHCONA AVENUE



PLAN OF SURVEY OF  
PART OF LOT 30  
REGISTERED PLAN M-10  
(BOUNDARIES CONFIRMED BY BOUNDARIES ACT PLAN N° BA-150)  
TOWN OF OAKVILLE  
REGIONAL MUNICIPALITY OF HALTON  
SCALE 1: 200

GRAPHIC SCALE - METRES

CUNNINGHAM MCCONNELL LIMITED - ONTARIO LAND SURVEYORS

- LEGEND:
- DENOTES SURVEY MONUMENT FOUND
  - SIB DENOTES SURVEY MONUMENT SET
  - SSIB DENOTES STANDARD IRON BAR
  - IB DENOTES SHORT STANDARD IRON BAR
  - IP DENOTES IRON PIPE
  - P.I.N. DENOTES PROPERTY IDENTIFICATION NUMBER
  - (NI) DENOTES NO IDENTIFICATION
  - (N) DENOTES NO IDENTIFICATION
  - (760) DENOTES MCCONNELL MAUGHAN LIMITED
  - (734) DENOTES J.D.BARNES LIMITED
  - (950) DENOTES CUNNINGHAM MCCONNELL LIMITED
  - (1672) DENOTES T. STAUSKAS SURVEYING INC.
  - P-1 DENOTES REGISTERED PLAN M-10
  - P-2 DENOTES PLAN 20R-8793
  - P-3 DENOTES PLAN 20R-7944
  - P-4 DENOTES PLAN BY T. STAUSKAS SURVEYING INC., O.L.S., DATED APRIL 16, 2014
  - P-5 DENOTES PLAN BY MCCONNELL MAUGHAN LTD., O.L.S., DATED AUG. 1, 1984

METRIC NOTE:  
DISTANCES AND COORDINATES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED INTO FEET BY DIVIDING BY 0.3048.

GRID SCALE CONVERSION:  
DISTANCES SHOWN HEREON ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999725.

BEARING NOTE:  
ALL BEARINGS SHOWN HEREON ARE UTM GRID AND WERE DERIVED FROM SPECIFIED CONTROL POINTS, UTM ZONE 17, NAD83(ORIGINAL).

BEARING COMPARISONS:  
BEARING COMPARISONS SHOWN FOR UNDERLYING PLANS P-1, P-2, P-3, P-4 AND P-5 ARE WITH ASTRONOMIC BEARINGS.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE 30th DAY OF APRIL, 2018.

DATE: APRIL 30, 2018

*Robert D. McConnell*  
ROBERT D. MCCONNELL  
ONTARIO LAND SURVEYOR

CUNNINGHAM MCCONNELL LIMITED  
ONTARIO LAND SURVEYORS

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PHONE (905) 845-3497  
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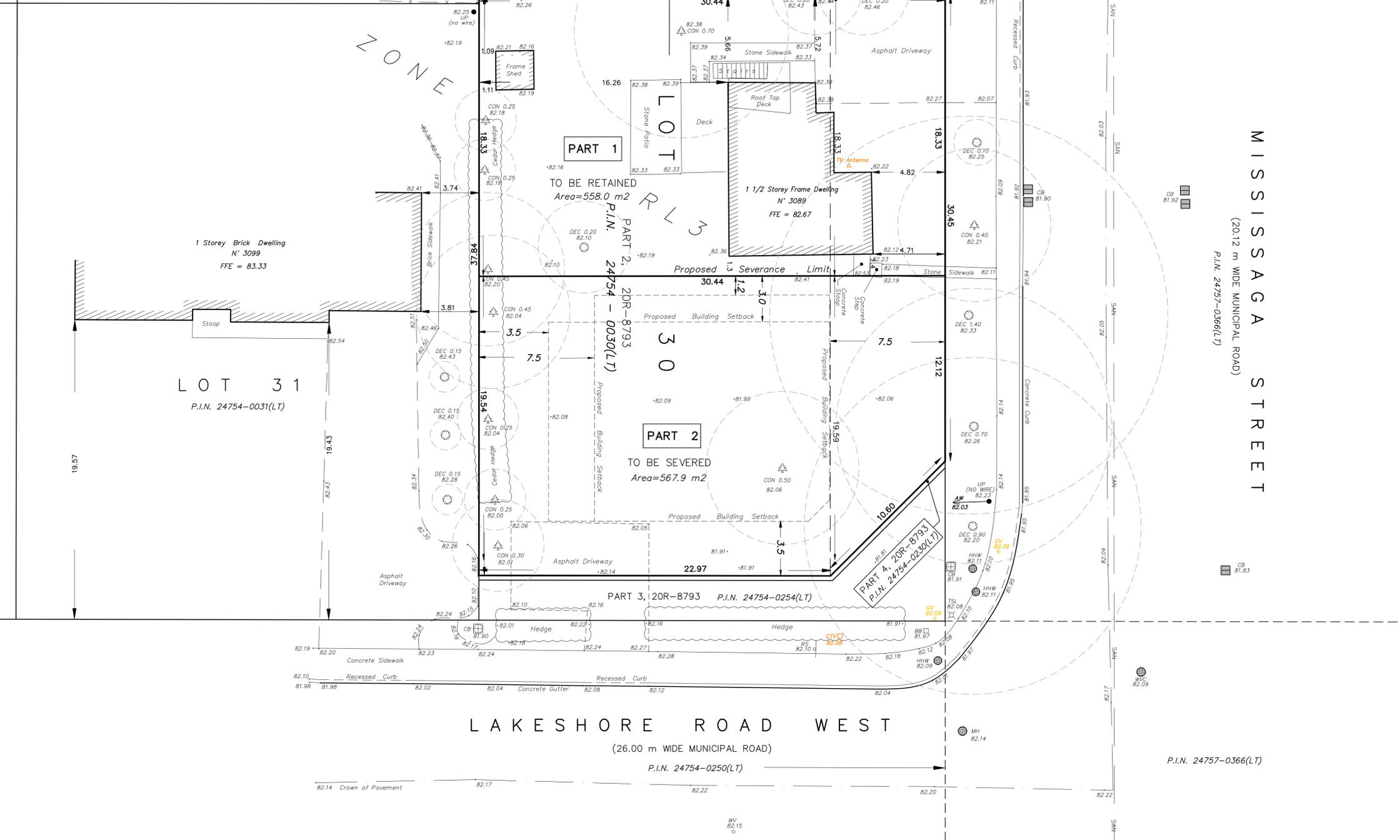
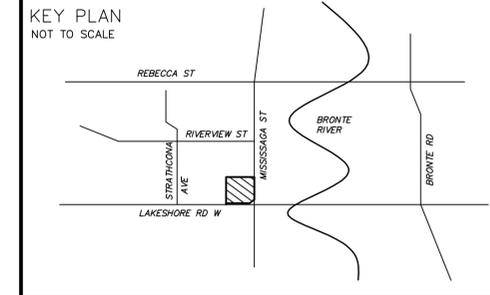
205 MAIN STREET  
MILTON, ONTARIO L9T 1N7  
PHONE (905) 878-7810  
FAX (905) 878-6672

PARTY CHIEF: S.M.  
DRAWN BY: R.D.M.

O.L.S. FILE N° 24-16UTM  
CLIENT: M. BRIC

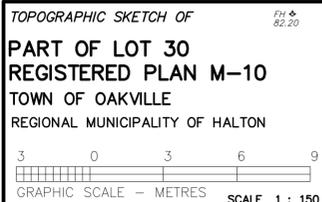


REGISTERED  
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(20.12 m WIDE MUNICIPAL ROAD)  
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-SAN-	DENOTES SANITARY SEWER
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UP(LS)	DENOTES UTILITY POLE(LIGHT STANDARD)
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**SURVEYOR'S NOTE**  
1. CERTIFY THAT:  
1. THIS PLAN WAS PREPARED FOR DESIGN PURPOSES ONLY AND IS NOT SUITABLE FOR ANY LEGAL TRANSACTIONS.  
2. THE TOPOGRAPHIC DETAIL SHOWN HEREON WAS ACQUIRED ON MAY 4, 2016.  
DATE: JUNE 7, 2016.

**CUNNINGHAM McCONNELL LIMITED**  
ONTARIO LAND SURVEYORS

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E-mail: cml@primus.ca

CLIENT: MARKO BRICIC  
O.L.S. FILE N° 24-16

PLAN N° 24-16-1

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**TREE PROTECTION NOTE**

- ALL EXISTING TREES WHICH ARE TO REMAIN SHALL BE FULLY PROTECTED WITH HOARDING, ERECTED BEYOND THEIR DRIP LINE PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT. GROUPS OF TREES AND OTHER EXISTING PLANTINGS TO BE PROTECTED SHALL BE TREATED IN A LIKE MANNER, WITH THE HOARDING AROUND THE ENTIRE CLUMP(S). AREAS WITHIN THE PROTECTIVE FENCING SHALL REMAIN UNDISTURBED AND SHALL NOT BE USED FOR THE STORAGE OF THE BUILDING MATERIAL AND EQUIPMENT.
- NO RIGGING CABLES SHALL BE WRAPPED AROUND OR INSTALLED IN TREES AND SURPLUS SOIL, EQUIPMENT, DEBRIS OR MATERIALS SHALL NOT BE PLACED OVER ROOT SYSTEMS OF THE TREES WITHIN THE PROTECTIVE FENCING. NO CONTAMINANTS WILL BE DUMPED OR FLUSHED WHERE FEEDER ROOTS OF TREES EXIST.
- THE DEVELOPER OR HIS/HER/ITS AGENTS SHALL TAKE EVERY PRECAUTION NECESSARY TO PREVENT DAMAGE TO TREES OR SHRUBS TO BE RETAINED.
- WHERE LIMBS OR PORTIONS OF TREES ARE REMOVED TO ACCOMMODATE CONSTRUCTION WORK, THEY WILL BE REMOVED CAREFULLY IN ACCORDANCE WITH ACCEPTED ARBORICULTURAL PRACTICE.
- WHERE ROOT SYSTEMS OF PROTECTED TREES ARE EXPOSED DIRECTLY TO, OR DAMAGED BY CONSTRUCTION WORK, THEY SHALL BE TRIMMED NEATLY AND THE AREA BACKFILLED WITH APPROPRIATE MATERIAL TO PREVENT DESICCATION.
- WHERE NECESSARY, THE TREES WILL BE GIVEN AN OVERALL PRUNING TO RESTORE THE BALANCE BETWEEN ROOTS AND TOP GROWTH OR TO RESTORE THE APPEARANCE OF THE TREES.
- IF GRADES AROUND TREES TO BE PROTECTED ARE LIKELY TO CHANGE, THE OWNER SHALL BE REQUIRED TO TAKE SUCH PRECAUTIONS AS DRY WELLING, RETAINING WALLS AND ROOT FEEDING TO THE SATISFACTION OF THE PLANNING AND BUILDING DEPARTMENT OF THE TOWN OF OAKVILLE.

**MUNICIPAL RIGHT-OF-WAY NOTES**

- ALL WORKS WITHIN THE PUBLIC RIGHT-OF-WAY ARE TO BE CARRIED TO THE SATISFACTION OF THE TOWN OF OAKVILLE PUBLIC WORKS. ADDITIONAL PERMITS MAY BE REQUIRED.
- ALL STREET TREES ARE TO BE ADEQUATELY PROTECTED WITH PLYWOOD HOARDING.

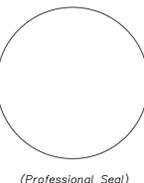
**EXCAVATION NOTES:**

- APPROXIMATE GROUNDWATER ELEVATION IS TO BE CONFIRMED PRIOR TO CONSTRUCTION. IF GROUNDWATER INTERFERES WITH HOUSE CONSTRUCTION/DESIGN, CONTRACTOR TO NOTIFY ENGINEER.

**EROSION AND SILTATION NOTES:**

- ALL EROSION AND SEDIMENT CONTROLS ARE TO BE INSTALLED ACCORDING TO APPROVED PLANS PRIOR TO COMMENCEMENT OF ANY EARTH MOVING WORK ON THE SITE AND SHALL REMAIN IN PLACE UNTIL ALL DISTURBED AREAS ARE STABILIZED WITH THE INTENDED FINAL GROUND COVER.
  - WEEKLY
  - BEFORE AND AFTER ANY PREDICTED RAINFALL EVENT
  - FOLLOWING AN UNPREDICTED RAINFALL EVENT
  - DAILY, DURING EXTENDED DURATION RAINFALL EVENTS
  - AFTER SIGNIFICANT SNOW MELT EVENTS.
- REOSION AND SEDIMENT CONTROLS SHALL BE INSPECTED BY THE BUILDER/DEVELOPER;
- EROSION AND SEDIMENT CONTROLS SHALL BE MAINTAINED IN PROPER WORKING ORDER AT ALL TIMES. DAMAGED OR CLOGGED DEVICES SHALL BE REPAIRED WITHIN 48 HOURS.
- WHERE A SITE REQUIRES DEWATERING AND WHERE THE EXPELLED WATER CAN BE FREELY RELEASED TO A SUITABLE RECEIVER, THE EXPELLED WATER SHALL BE TREATED TO CAPTURE SUSPENDED PARTICLES GREATER THAN 40 MICRON IN SIZE. THE CAPTURED SEDIMENT SHALL BE DISPOSED OF PROPERLY PER MOECC GUIDELINES. THE CLEAN EXPELLED WATER SHALL BE FREELY RELEASED TO A SUITABLE RECEIVER IN A MANNER THAT DOES NOT CREATE DOWNSTREAM ISSUES INCLUDING BUT NOT LIMITED TO EROSION, FLOODING - NUISANCE OR OTHERWISE, INTERFERENCE ISSUES ETC.
- EXISTING STORM SEWERS AND DRAINAGE DITCHES ADJACENT TO THE WORKS SHALL BE PROTECTED AT ALL TIMES FROM THE ENTRY OF SEDIMENT/SILT THAT MAY MIGRATE FROM THE SITE. FOR STORM SEWERS: ALL INLETS (REAR LOT CATCHBASINS, ROAD CATCHBASINS, PIPE INLETS, ETC.) MUST BE SECURED/FITTED WITH SILTATION CONTROL MEASURES. FOR DRAINAGE DITCHES: THE INSTALLATION OF ROCK CHECK DAMS, SILTATION FENCING, SEDIMENT CONTAINMENT DEVICES MUST BE INSTALLED TO TRAP AND CONTAIN SEDIMENT. THESE SILTATION CONTROL DEVICES SHALL BE INSPECTED AND MAINTAINED PER ITEMS 2 AND 3 ABOVE.
- IN THE EVENT OF A SPILL (RELEASE OF DELETERIOUS MATERIAL) ON OR EMANATING FROM THE SITE, THE OWNER OR OWNERS AGENT SHALL IMMEDIATELY NOTIFY THE MOECC AND FOLLOW ANY PRESCRIBED CLEAN UP PROCEDURE. THE OWNER OR OWNERS AGENT WILL ADDITIONALLY IMMEDIATELY NOTIFY THE TOWN.

**KEY PLAN**  
NOT TO SCALE



**STANDARD DEVELOPMENT NOTES**

**(A) ENGINEERING AND CONSTRUCTION DEPARTMENT**

- DRIVEWAYS ON THE MUNICIPAL RIGHT-OF-WAY SHALL BE PAVED BY THE APPLICANT.
- AT THE ENTRANCES TO THE SITE, THE MUNICIPAL CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY AND A CURB DEPRESSION WILL BE PROVIDED FOR THE ENTRANCE.
- THE TOPS OF ANY CURBS BORDERING THE DRIVEWAYS WITHIN THE MUNICIPAL BOULEVARD WILL BE FLUSH WITH THE MUNICIPAL SIDEWALK AND ROAD CURB.

**(B) GENERAL NOTES**

- THE EXISTING GRADES SHOWN ON THIS DRAWING ARE TO REMAIN UNCHANGED.
- THERE IS NO EASEMENTS REGISTERED ON TITLE AND AFFECTING THE SUBJECT LANDS.
- THE STOCKPILING OF CONSTRUCTION MATERIAL TO BE DONE AT THE SIDE OF THE PROPOSED DWELLING ON PROPOSED DRIVEWAY.
- ALL ROOF DOWNSPOUTS FROM EAVESTROUGH TO DISCHARGE ONTO SURFACE AND THE RUNOFF DIRECTED TOWARDS THE REAR WHERE POSSIBLE AND TO THE ROAD.
- ROOF DOWNSPOUT IS LOCATED IN SUCH MANNER AS TO DIRECT DRAINAGE AWAY FROM WALKWAYS, DRIVEWAYS OR PATIO AREAS.
- MAINTAIN EXISTING GRADES IN AREA AROUND TREES TO BE PRESERVED.
- PRIOR TO CONSTRUCTION, CONTRACTOR TO VERIFY IN FIELD THE EXACT SIZE AND INVERTS OF THE EXISTING WATER SERVICE CONNECTION AND SEWER CONNECTIONS AND REPORT IT TO THE ENGINEER.
- ALL SURPLUS/EXCAVATED MATERIAL TO BE REMOVED FROM THE SITE.
- CONTRACTOR TO MATCH EXISTING GRADES ALONG PROPERTY LINES.
- ALL DISTURBED AREAS WITHIN EXISTING ROAD ALLOWANCE TO BE REINSTATED WITH TOPSOIL AND SOD TO THE SATISFACTION OF THE TOWN OF OAKVILLE.
- THE CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS, IF ANY DISCREPANCIES, THEY MUST BE REPORTED TO THE ENGINEER IMMEDIATELY PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES DURING CONSTRUCTION. GAS, HYDRO, TELEPHONE OR ANY OTHER UTILITIES THAT MAY EXIST ON THE SITE OR WITHIN THE STREETLINE MUST BE LOCATED BY ITS OWN UTILITIES AND VERIFIED PRIOR TO CONSTRUCTION.
- ALL CONNECTIONS SHALL BE INSTALLED AS PER REGIONAL STANDARDS AND SPECIFICATIONS.
- BUILDER IS TO VERIFY TO THE ENGINEER THAT THE FINAL FOOTING ELEVATION AND TOP OF FOUNDATION WALL ELEVATION ARE IN CONFORMITY WITH THE BUILDING CODE AND THE CERTIFIED GRADING PLAN PRIOR TO PROCEEDING.
- OUTSIDE FINISHED GRADE TO BE A MINIMUM OF 150 mm BELOW BRICK/STONE VENEER ELEVATION.
- PRIOR TO ANY SODDING, THE BUILDER IS TO ENSURE TO THE SOIL CONSULTANT AND/OR THE ENGINEER THAT THE LOT HAS BEEN GRADED AND TOPSOILED AND SODDED COMPLETELY WITH A MINIMUM DEPTH OF 100 mm OF TOPSOIL AND N° 1 NURSURY SOD AND A MINIMUM DEPTH OF 150 mm CRUSHED STONE TO BE PROVIDED ON THE ENTIRE LENGTH OF EACH DRIVEWAY ON A FIRM SUBGRADE AND THE DRIVEWAY TO BE PAVED WITH A MINIMUM COMPACTED DEPTH OF 75 mm OF ASPHALT BETWEEN THE CURB AND THE GARAGE.
- NO SODDING ON ANY LOT IS PERMITTED UNTIL PRELIMINARY INSPECTION IS DONE BY THE ENGINEER AND THE BUILDER.
- LAWN AND SWALES SHALL HAVE MINIMUM SLOPE OF 2.0% AND A MAXIMUM SLOPE OF 5.0%.
- WHERE GRADES IN EXCESS OF 5% ARE REQUIRED, THE MAXIMUM SLOPE SHALL BE 3:1. GRADE CHANGES IN EXCESS OF 1.0m ARE TO BE ACCOMPLISHED BY USE OF A RETAINING WALL. RET. WALLS HIGHER THAN 0.6m SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE.
- THE SERVICE CONNECTION TRENCH THROUGH THE TRAVELLED PORTION OF THE ROAD ALLOWANCE SHALL BE BACKFILLED WITH UNSHINKABLE BACKFILL MATERIAL AS PER TOWN OF OAKVILLE STANDARDS UNLESS OTHERWISE SPECIFIED PRIOR APPROVAL FOR OTHER BACKFILL MATERIAL HAS BEEN OBTAIN.
- ALL WATERMANS AND WATER SERVICE MATERIALS AND CONSTRUCTION METHODS MUST CORRESPOND TO CURRENT REGION OF HALTON STANDARDS AND SPECIFICATIONS.
- WATERMANS AND/OR WATER SERVICES ARE TO HAVE A MINIMUM DEPTH OF 1.7 m WITH A MINIMUM HORIZONTAL SPACING OF 1.5 m FROM THEMSELVES AND OTHER UTILITIES AND 2.5m MINIMUM FROM ALL SEWERS.
- SEDIMENT CONTROL FENCE TO BE INSTALLED AS PER THE TOWN OF OAKVILLE STANDARDS.
- ALL DAMAGED AND DISTURBED AREAS TO BE REINSTATED WITH TOPSOIL AND SOD.

**(C) UTILITIES CONNECTION**

- SANITARY: (A) MUNICIPAL SANITARY SEWER AVAILABLE ON THE SITE. (B) NEW 125mm $\phi$  PVC CONNECTION TO BE INSTALLED AS PER REGION OF HALTON STANARDS. (C) BASEMENT FACILITIES MAY REQUIRE A SEWAGE EJECTOR PUMP.
- STORM: (A) MUNICIPAL STORM SEWER AVAILABLE ON THE SITE. (B) PROPOSED 150mm $\phi$  PVC CONNECTION TO BE INSTALLED SUBJECT TO TOWN APPROVAL. (C) PROPOSED FLOOR DRAINS TO CONNECT TO EXISTING STORM MAIN.
- WATER: (A) SERVICE CONNECTIONS TO BE 25mm $\phi$  TYPE 'K' SOFT COPPER TUBING ON PRIVATE-SIDE AS PER TOWN OF OAKVILLE REQUIREMENTS. (B) SERVICE CONNECTIONS TO BE 25mm $\phi$  TYPE 'K' SOFT COPPER TUBING ON PUBLIC-SIDE AS PER REGION OF HALTON REQUIREMENTS.

**SITE STATISTICS - ZONE RL3-0**  
**ZONING BY-LAW 2014-014**

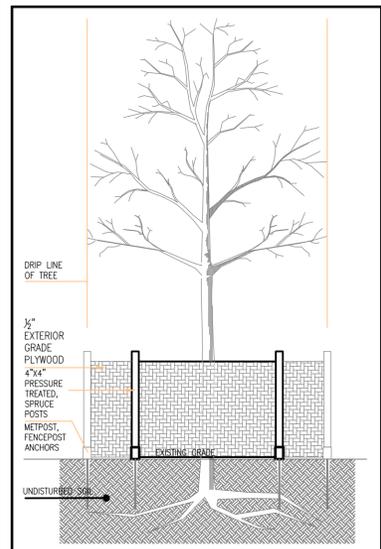
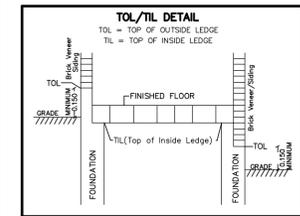
- LOT AREA = 567.94 m<sup>2</sup> (557.5 m<sup>2</sup> Minimum).
- LOT FRONTAGE = 19.59 m (18.0 m Minimum).
- AREAS FOR COVERAGE: (A) MAIN DWELLING (Includes Garage) = 190.88 m<sup>2</sup>;
- LOT COVERAGE = 33.6% (35.0% Maximum).
- ESTABLISHED GRADE = 82.16 m.
- BUILDING HEIGHTS: - ROOF PEAK = 9.23 m (9.00 m Maximum);
- SETBACKS: - FRONT = 7.6 m (7.50 m Minimum); - REAR = 3.00 m (Dwelling), (4.50 m Minimum); - SIDES = 1.9 m AND 5.5 m (3.0 m & 3.50 m Minimum);
- RESIDENTIAL FLOOR AREA = 290.51 m<sup>2</sup>
- RFA/LOT RATIO = 51.2% (42% Maximum).

**REGION OF HALTON CERTIFICATE**

REGION DESIGN OF WATER AND/OR WASTEWATER SERVICES APPROVAL SUBJECT TO DETAIL CONSTRUCTION CONFORMING TO HALTON REGION STANDARDS & SPECIFICATIONS & LOCATION APPROVAL FROM AREA MUNICIPALITY.

SIGNED: \_\_\_\_\_ DATED: \_\_\_\_\_  
DEVELOPMENT SERVICES

The approval of the water system on private property is the responsibility of the Local Municipality, regardless, the Applicant must ensure that the Region of Halton's standards and specifications are met, (the water and wastewater Linear Design Manual may be obtained on Halton.ca or by calling 311) All water quality tests must be completed to the Region of Halton's satisfaction, before the water supply can be turned on.



**(A) SOLID WOOD HOARDING**  
NOTE: SOLID WOOD HOARDING IS TEMPORARY FENCING FOR THE DURATION OF CONSTRUCTION ACTIVITY PLACED AROUND SIGNIFICANT EXISTING TREES TO BE PRESERVED AND/OR WHERE SITE CONDITIONS ARE CONSTRAINED ADJACENT TREE PRESERVATION AREAS. HOARDING IS DEFINED AS A SOLID WOOD STRUCTURE/FENCE, GENERALLY OF PLYWOOD, WITH A MINIMUM HEIGHT OF 1.2M (4'-0")

**TREE PROTECTION ZONE**

TREE PROTECTION ZONE (TPZ) FOR ANY TREE SHALL BE DETERMINED AS FOLLOWS:(3)

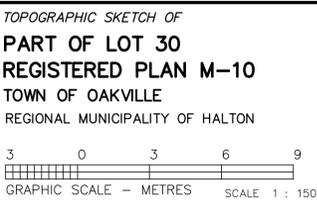
Trunk Diameter (DBH) <sup>(1)</sup>	Minimum Protection Distances Required (2)
<10cm	1.8 m
11-40 cm	2.4 m
41-50 cm	3.0 m
51-60 cm	3.6 m
61-70 cm	4.2 m
71-80 cm	4.8 m
81-90 cm	5.4 m
91-100+ cm	6.0 m

- Diameter at breast height (DBH) measurement of tree trunk taken at 1.4 metres above ground.
- Tree Protection Zone distances are to be measured from the outside edge of the tree base towards the drip line and may be limited by an existing paved surface, provided the existing paved surface remains intact throughout the construction work.
- The roots of a tree can extend from the trunk to approximately 3 times the distance of the drip line. Some trees and some conditions may require a larger TPZ at the discretion of the Town.

DENOTES PROPOSED TREE REPLACEMENT (Min. 30mm CALIPER IF DECIDUOUS TREE OR 1.5m HEIGHT FOR CONIFEROUS TREE)

**DESIGN LEGEND**

	DENOTES EXISTING GRADE TO REMAIN
	DENOTES PROPOSED GRADE
	DENOTES EXISTING GRADE
	DENOTES DOOR ENTRANCE
	DENOTES DRAINAGE DIRECTION
	DENOTES PROPOSED WATER METER
	DENOTES PROPOSED SUMP PIT
	DENOTES PROPOSED TREE HOARDING
	DENOTES PROPOSED SILT FENCE
	DENOTES TREE TO BE REMOVED
	DENOTES DOWNSPOUT C/W SPLASHPAD



**BOUNDARY NOTE**  
ALL BOUNDARY DATA SHOWN HEREON WAS COMPILED FROM THE REGISTRY OFFICE RECORDS AND WAS VERIFIED IN THE FIELD.

**ELEVATION NOTE**  
ALL ELEVATIONS SHOWN HEREON ARE GEODETIC AND WERE DERIVED FROM THE TOWN OF OAKVILLE CONTROL STATION 045910036 HAVING AN ELEVATION OF 81.650m (CVD0-1928; 1978).

**TREE NOTE**  
ONLY TREES OF A DIAMETER GREATER THAN 0.15 m WERE LOCATED FOR THIS PLAN.

**METRIC NOTE**  
ALL DISTANCES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED INTO FEET BY DIVIDING BY 0.3048.

**LEGEND**

AW	DENOTES ANCHOR WIRE(S)
BB	DENOTES BELL BOX
BB-CB	DENOTES U/G BELL CABLE
DEC-0.20	DENOTES CONIFEROUS TREE 0.20 DIA
DI	DENOTES FIRE HYDRANT
GM	DENOTES GAS METER
GV	DENOTES GAS VALVE
GS	DENOTES U/G GAS MAIN
HS	DENOTES HYDRO CABLE
LS	DENOTES LIGHT STANDARD (LAMP)
MH	DENOTES MANHOLE
MW	DENOTES OVER HEAD WIRE(S)
SAN	DENOTES SANITARY SEWER
STM	DENOTES STORM SEWER
UP	DENOTES UTILITY POLE
UPLS	DENOTES UTILITY POLE/LIGHT STANDARD
WV	DENOTES WATER VALVE (KEY)
W-	DENOTES U/G WATER MAIN

**UNDERGROUND SERVICES NOTE**  
ONLY UNDERGROUND SERVICES VISIBLE ON THE GROUND WERE LOCATED FOR THIS PLAN. THE USER OF THIS PLAN SHALL CONTACT THE LOCAL UTILITY COMPANIES FOR LOCATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION WORKS.

**SURVEYOR'S NOTE**  
I CERTIFY THAT:  
1. THIS PLAN WAS PREPARED FOR DESIGN PURPOSES ONLY AND IS NOT SUITABLE FOR ANY LEGAL TRANSACTIONS.  
2. THE TOPOGRAPHIC DETAIL SHOWN HEREON WAS ACQUIRED ON MAY 4, 2016.

DATE: NOV. 30, 2023  
ROBERT D. MCCONNELL  
ONTARIO LAND SURVEYOR

**CUNNINGHAM MCCONNELL LIMITED**  
ONTARIO LAND SURVEYORS

1200 SPEERS ROAD, UNIT 38  
OAKVILLE, ONTARIO L6L 2X4  
PHONE (905) 845-3497  
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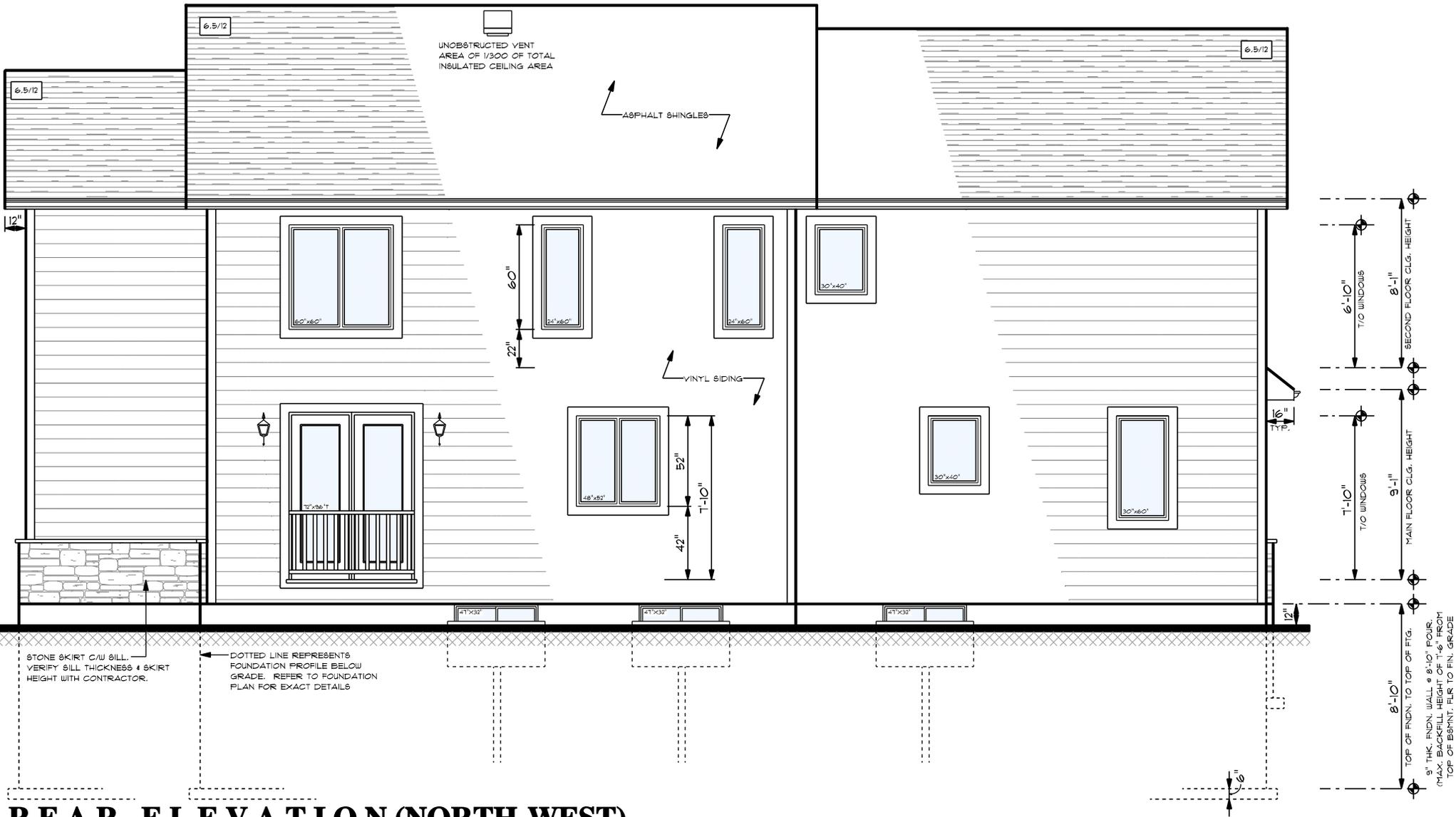
205 MAIN STREET  
MILTON, ONTARIO L9T 1N7  
PHONE (905) 878-7810  
FAX (905) 878-6672

CLIENT: M. ZEKIC  
O.L.S. FILE N° 24-16

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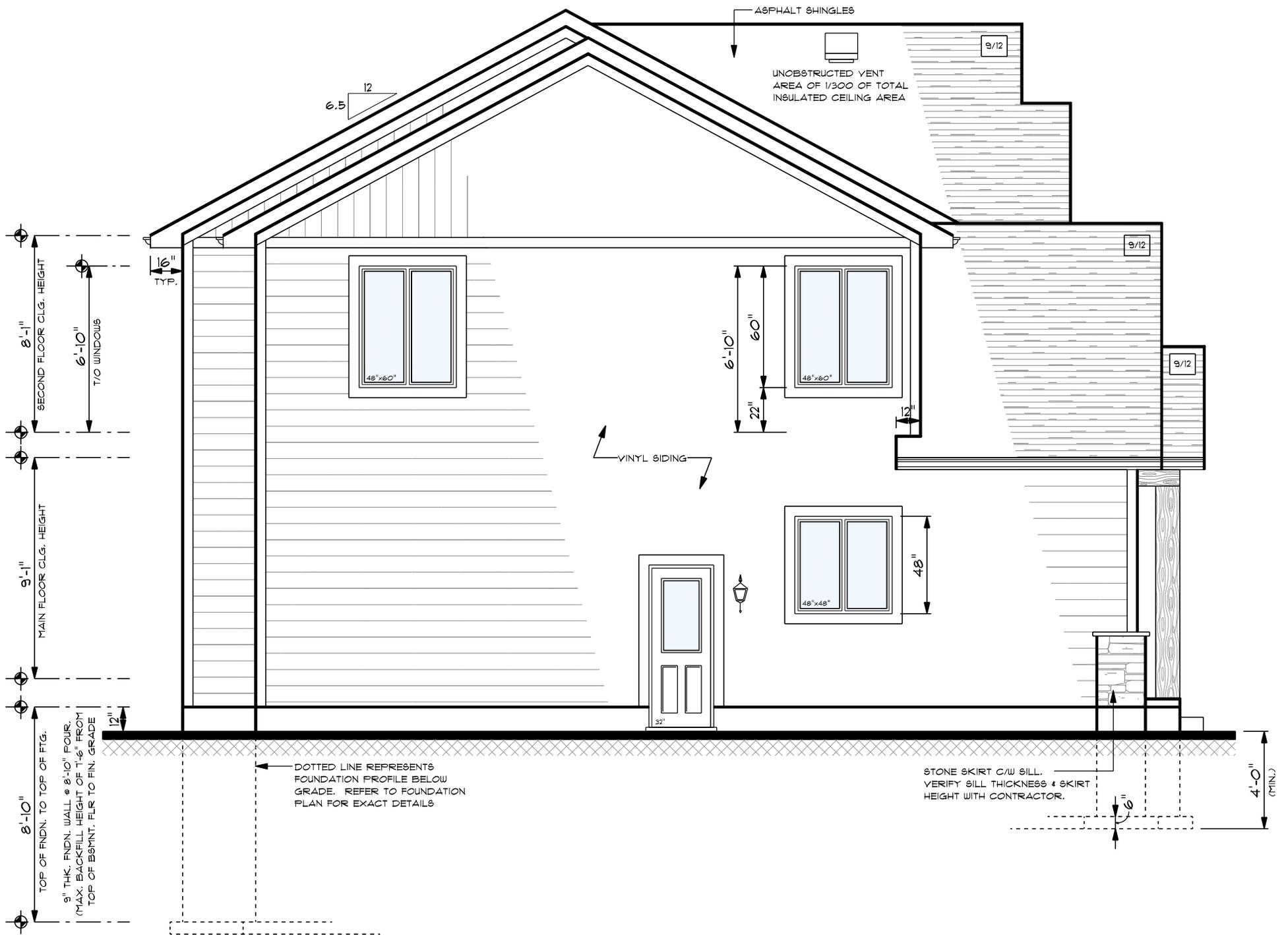
N° _____ LAKESHORE ROAD WEST, OAKVILLE	
<b>SITE PLAN</b>	
DEPA N° _____	
SITE GRADING AND SERVICING PLAN	
DATE: 2024/02/09	ISSUED FOR COMMITTEE OF ADJUSTMENT
DATE: _____	REVISIONS
DATE: _____	INITIAL
DATE: NOVEMBER _____, 2023	SCALE 1 : 150
REGIONAL DRAWING N° _____	PLAN 24-16-5R





# REAR ELEVATION (NORTH-WEST)

SCALE: 1/4" = 1'0"

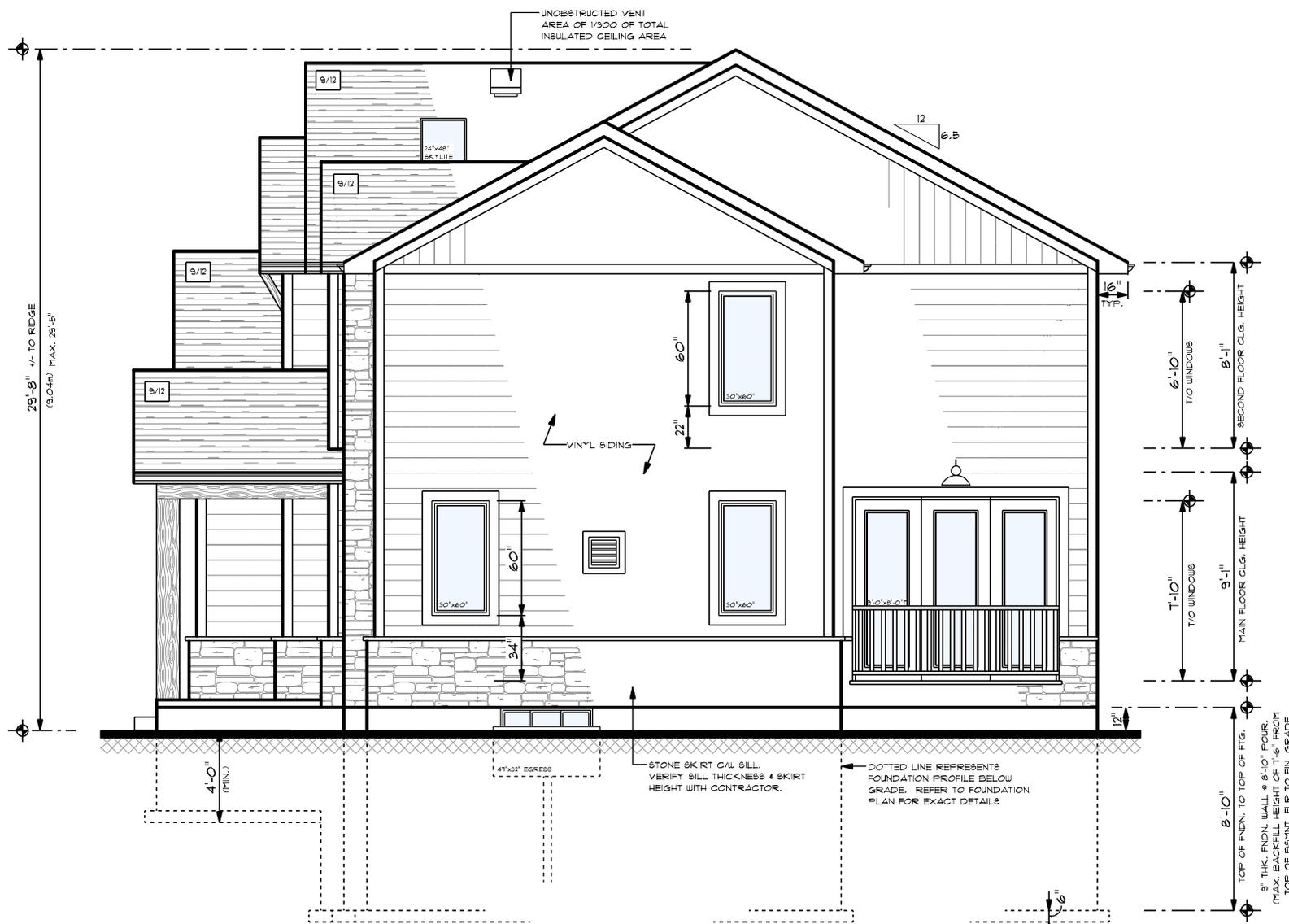


# LEFT ELEVATION (SOUTH-WEST)

SCALE: 1/4" = 1'0"

**GENERAL ELEVATION SPECIFICATIONS:**

- ALL EXTERIOR FINISHES DETAILS / COLOURS / STYLES & MANUFACTURERS TO BE CONFIRMED BY HOME-OWNER.
- BUILDER / OWNER / SUPPLIER TO CONFIRM ALL WINDOW & DOOR SIZES & ROUGH STUD OPENINGS PRIOR TO ORDERING.  
WINDOW GRILLS PATTERNS (MUNTIN BARS) MAY VARY BASED ON WINDOW SUPPLIER. CONTRACTOR TO VERIFY.  
  
ALL TRANSOM HEIGHTS TO BE CONFIRMED BY WINDOW SUPPLIER & VERIFY WITH SOFFIT HEIGHTS. TRANSOM SIZES ARE IN ADDITION TO WINDOW SIZES NOTED ON PLANS.
- DECORATIVE FRIEZE & BANDING TO BE VERIFIED BY CONTRACTOR.
- ALL GUTTERS & DOWNSPOUTS PURPOSELY OMITTED FOR CLARITY.
- CONTRACTOR TO VERIFY ALL EXISTING AND PROPOSED FINISHED GRADES ON-SITE. IF AN APPROVED GRADING PLAN IS PRESENT, GRADES TO MATCH SAID PLAN. FINISHED GRADE MUST SLOPE AWAY FROM HOUSE.
- PROVIDE ICE & WATER SHIELD LAYER OVER ROOFS SLOPED 3/12 AND LESS. ALL ROOF PITCHES LESS THAN 4/12 TO HAVE "LOW SLOPE" APPLICATION SHINGLES (CBC 9.26.8)
- ALL OVERHANGS TO BE AS STATED, UNLESS OTHERWISE NOTED:  
ROOF OVERHANG - 16"  
GABLE-END LOOK OUT FRAMING - 12"
- FLASHING AT INTERSECTION BETWEEN ROOFS WHERE THEY ABUT WALLS AS PER (CBC 9.26.4)
- ALL STEP FTGS. AS REQUIRED TO MAINTAIN MIN. 4'-0" GROUND COVERAGE FOR FROST PROTECTION  
-MIN. HORIZ. RUN - 23-5/8"  
-MAX. VERT. RISE - 23-5/8"  
CONTRACTOR TO VERIFY LOCATION OF ALL STEP FTGS. AND THEIR HEIGHTS ON-SITE (CBC 9.15.3.3)
- MAINTAIN MIN. 4'-0" GROUND COVERAGE FOR FROST PROTECTION FOR ALL FOOTINGS (VERIFY WITH GEOGRAPHICAL AREA)  
ALL FOOTINGS TO BEAR ON UNDISTURBED SOIL OR NATIVE ROCK
- WINDOW WELLS MAY BE REQUIRED DUE TO FINAL GRADE.  
ALL WEEPERS IN WINDOW WELLS TO BE CONNECTED TO FTG. WEEPER AND FILLED WITH 3/4" CLEAR STONE. WINDOW WELL TO BE GALVANIZED CORRUGATED METAL & BOLTED TO FNDN. WALL
- ALL DECKS, PORCHES, LANDINGS, DOOR THRESHOLDS THAT HAVE A WALKING SURFACE MORE THAN 23-5/8" BUT LESS THAN 5'-11" ABOVE FINISHED GRADE REQUIRE 36" HIGH GUARD. WALKING SURFACES MORE THAN 5'-11" ABOVE FINISHED GRADE REQUIRE 42" HIGH GUARD. ALL GUARDS TO CONFIRM TO SB-1



**RIGHT ELEVATION (NORTH-EAST)**

SCALE: 1/4" = 1'-0"

### Proposed Variance: 3089 Lakeshore Rd. West

Adjust set backs:

- 1. Side yard to 2m from 3m
- 2. Rear yard to 2.5 from 3.5
- 3. Adjust maximum floor area to 280m<sup>2</sup>

