

SURVEYOR'S REAL PROPERTY REPORT - PART 1
 PLAN OF
LOT 6
REGISTERED PLAN 1059
TOWN of OAKVILLE
 Regional Municipality of Halton
 SCALE 1 : 150
 AVANTI SURVEYING INC.
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METRIC
 DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

BEARING NOTE
 BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE SOUTH EASTERLY LIMIT OF SALVATOR BOULEVARD, HAVING A BEARING OF N46°47'00"E ACCORDING TO REGISTERED PLAN 1059.

ELEVATION NOTE
 ELEVATIONS ARE GEODETIC AND ARE REFERRED TO THE TOWN OF OAKVILLE BENCHMARK NO. 36 HAVING A PUBLISHED ELEVATION OF 90.28 METRES.

LEGEND

□	DENOTES	SURVEY MONUMENT SET
■	—	SURVEY MONUMENT FOUND
RP	---	REGISTERED PLAN 1059
PL	---	PLAN 20R-7210
N,S,E,W	---	NORTH,SOUTH,EAST,WEST
M	---	MEASURED
SIB	---	STANDARD IRON BAR
IP	---	IRON PIPE
IB	---	IRON BAR
OU	---	ORIGIN UNKNOWN
P.I.N.	---	PROPERTY IDENTIFIER NUMBER
---	---	OVERHEAD WIRES
UP	---	UTILITY POLE
CLF	---	CHAIN LINK FENCE
BF	---	BOARD FENCE
SRW	---	STONE RETAINING WALL
CHW	---	CONCRETE HEAD WALL
CB	---	CATCH BASIN
MH	---	MANHOLE
TC	---	TOP OF CURB
BC	---	BOTTOM OF CURB
DSE	---	DOORSILL ELEVATION
TRE	---	TOP OF ROOF ELEVATION
DT	---	DECIDUOUS TREE
CT	---	CONIFEROUS TREE
Ø	---	DIAMETER
LS	---	LIGHT STANDARD
HM	---	HYDRO METER
GM	---	GAS METER
AC	---	AIR CONDITIONER
(763)	---	McCONNELL MAUGHAN LTD., O.L.S.
(950)	---	CUNNINGHAM MCCONNELL LIMITED, O.L.S.
CM	---	PLAN BY CUNNINGHAM MCCONNELL LIMITED, O.L.S.
---	---	DATED MAY 31, 2016
KM	---	PLAN BY KENNETH H. MCCONNELL, O.L.S.
---	---	DATED JULY 25, 1961
KM2	---	PLAN BY KENNETH H. MCCONNELL, O.L.S.
---	---	DATED APRIL 5, 1961

ASSOCIATION OF ONTARIO
 LAND SURVEYORS
 PLAN SUBMISSION FORM
V-63819

THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR in accordance with Regulation 1026, Section 29(3).

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
 2. THE SURVEY WAS COMPLETED ON THE 2ND DAY OF NOVEMBER, 2023.

NOVEMBER 8, 2023
 DATE
 CHRIS BERESNEWCZ
 ONTARIO LAND SURVEYOR

THIS PLAN WAS PREPARED FOR MANTEJ KALER & NIMARTA GILL KALER

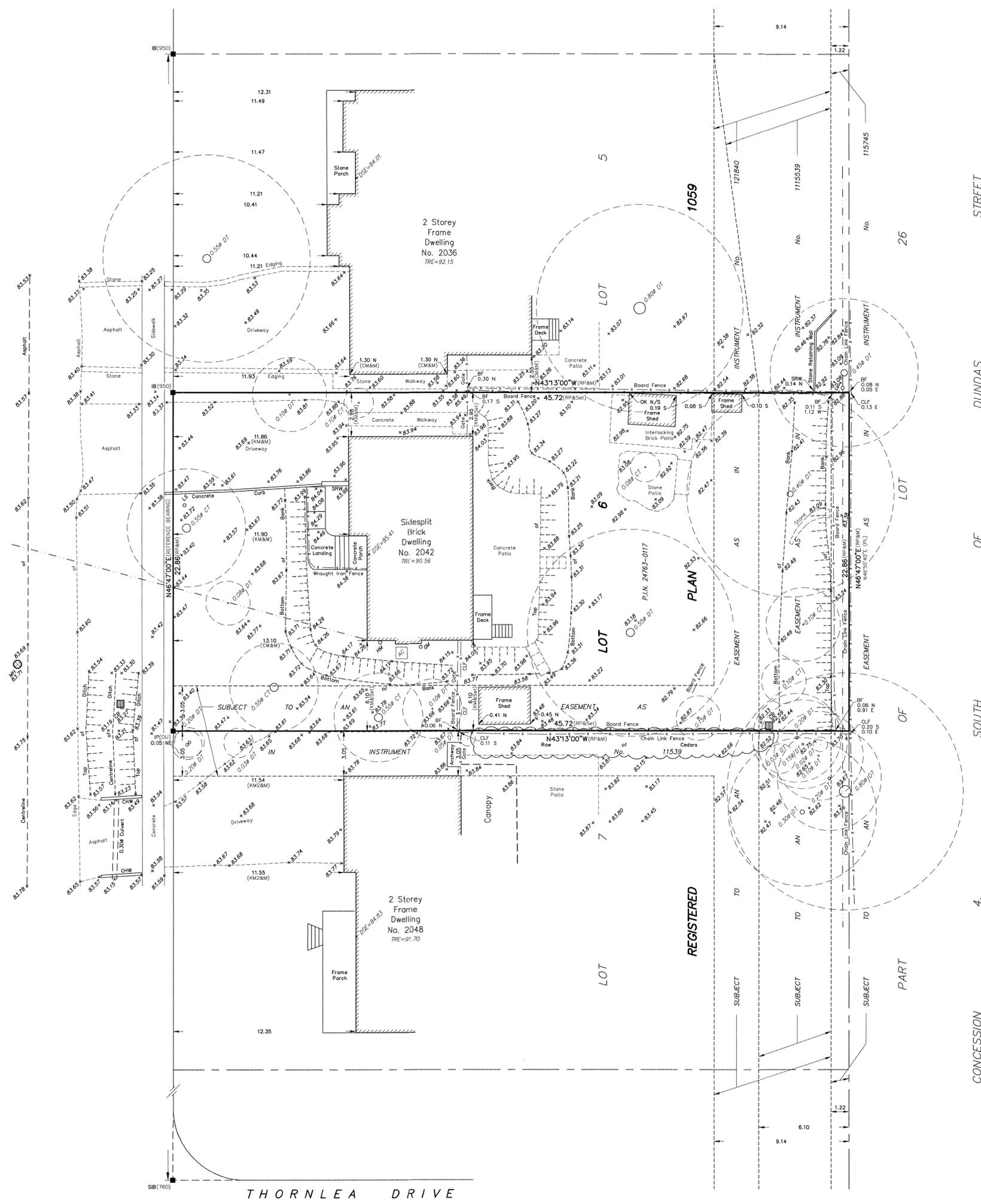
PART 2 - SURVEY REPORT

- PLEASE NOTE: LOCATION OF FENCES AND OVERHEAD WIRES
- REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY: SUBJECT TO EASEMENTS AS IS INSTRUMENT Nos. 115539, 121840 AND 115745
- THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BY-LAWS

AVANTI SURVEYING INC.
 310 North Queen St., Unit 102, Toronto ON M5C 5K4
 Tel: (416) 291-1174 • Fax: (416) 921-3960
 E-MAIL: info@avantisurveying.com

DRAWN: J.G. CHECKED: C.B./J.L. PROJECT 23-265

SALVATOR BOULEVARD
 (By Registered Plan 1059)
 P.I.N. 24763-0112



PART 2, PLAN 20R-7210

P.I.N. 24763-0114

STREET OF DUNDAS OF SOUTH CONCESSION

REGISTERED

THORNLEA DRIVE

GENERAL NOTES

NO NEW OR EXISTING RETAINING WALL WITH MORE THAN 2'-0" (0.60M) DIFFERENCE ON BOTH SIDES AT SUBJECT PROPERTY.

ALL MUNICIPAL SERVICES TO REMAIN.

ANY EXCAVATED MATERIAL IS TO BE REMOVED FROM THE SITE.

GRADES WILL BE MET WITH A 13% MAXIMUM SLOPE AT THE PROPERTY LINES AND WITHIN THE SITE.

GRADES TO REMAIN UNCHANGED ALONG PROPERTY LINES.

THE EXISTING WATER SERVICE MUST BE INSPECTED AT THE PROPERTY LINE BY THE REGIONAL INSPECTOR. A SERVICE THAT DOES NOT MEET CURRENT REGIONAL STANDARDS MUST BE DISCONNECTED AT THE MAIN, AND A NEW SERVICE CONSTRUCTED AT THE SITE DEVELOPER'S EXPENSE.

ALL WATER AND SANITARY MAIN TAPS ARE TO BE PERFORMED BY REGION OF HALTON FORCES ONLY.

THE EXISTING SANITARY LATERAL MUST BE INSPECTED AT THE PROPERTY LINE BY THE REGIONAL INSPECTOR AND TELEVIEWED BY REGIONAL FORCES PRIOR TO CONNECTION. A LATERAL THAT DOES NOT MEET CURRENT REGIONAL STANDARDS MUST BE DISCONNECTED AT THE MAIN, AND A NEW LATERAL CONSTRUCTED AT THE SITE DEVELOPER'S EXPENSE.

REGIONAL APPROVAL

REGION DESIGN OF WATER AND/OR WASTEWATER SERVICES APPROVED SUBJECT TO DETAIL CONSTRUCTION CONFORMING TO HALTON REGION STANDARDS AND SPECIFICATIONS AND LOCAL APPROVAL FROM AREA MUNICIPALITY.

SIGNED: _____ DATED: _____

INFRASTRUCTURE PLANNING & POLICY

THE APPLICANT SHOULD BE AWARE THAT THE APPROVAL OF THE WATER SYSTEM ON PRIVATE PROPERTY IS THE RESPONSIBILITY OF THE LOCAL MUNICIPALITY. REGARDLESS, THE APPLICANT MUST ENSURE THAT THE REGION OF HALTON'S STANDARDS AND SPECIFICATIONS ARE MET. (THE WATER AND WASTEWATER LINEAR DESIGN MANUAL MAY BE OBTAINED FROM THE DATA MANAGEMENT GROUP AT 905-825-6032). FURTHERMORE, ALL WATER QUALITY TESTS MUST BE COMPLETED TO THE REGION OF HALTON'S SATISFACTION, BEFORE THE WATER SUPPLY CAN BE TURNED ON.

SITE STATISTICS RL2-0

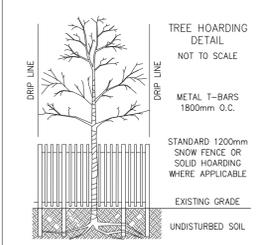
SITE AREA	1045.2 m ²
SITE FRONTAGE	22.86 m
LOT COVERAGE AREA	PROPOSED
LOT COVERAGE (MAX 25%)	29.5 %
MAX COVERAGE (ALLOWED 261.29 m ²)	308.07 m ²
GROSS FLOOR AREA	PROPOSED
GROUND FLOOR	202.76 m ²
SECOND FLOOR	204.80 m ²
SUB TOTAL	405.56 m ²
SETBACKS	PROPOSED
SOFFIT (ALLOWED 1.2/2.4m)	1.48 m/3.06 m
FRONTYARD (TO HOUSE)	10.35 m
EXISTING LESS IM (10.86 m)	10.11 m
FRONTYARD (TO PORCH)	18.5 m
REARYARD (ALLOWED 7.5m)	18.5 m

ELEVATIONS

ESTABLISHED GRADE	83.42 m
BASEMENT FLOOR ELEVATION	81.53 m
FIRST FLOOR ELEVATION	84.60 m
SECOND FLOOR ELEVATION	87.92 m
ROOF RISE	92.41 m
OVERALL HEIGHT	8.99 m

REVISIONS

No.	DATE	No.	DATE
1	8	6	
2	8	7	
3	9	8	
4	9	9	
5	10	10	



MINIMUM TREE PROTECTION ZONE (TPZ) DETERMINATION

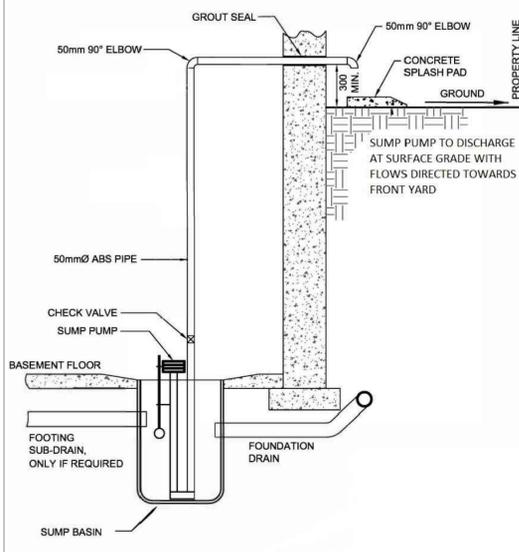
DIAMETER OF TRUNK (DBH) in centimeters	TREE PROTECTION ZONE distance from trunk measured
>10	1.8
10-30	2.4
31-50	3.0
51-60	3.6
61-70	4.2
71-80	4.8
81-90	5.4
91-100	6.0

1. FOR TREES OVER 100CM DBH, ADD 10CM TO THE TPZ FOR EVERY ONE CENTIMETRE OF DBH.

2. ROOTS CAN EXTEND FROM THE TRUNK TO 2-3 TIMES THE DISTANCE OF THE DRIP LINE.

3. DIAMETER AT GREATEST HEIGHT (DBH) MEASURED OF TREE TRUNK TAKEN AT 1.37 METRES ABOVE GROUND.

4. TREE PROTECTION ZONE DISTANCES ARE TO BE MEASURED FROM THE OUTSIDE EDGE OF THE TREE BASE TOWARDS THE DRIP LINE AND MAY BE LIMITED BY AN EXISTING PAVED SURFACE, PROVIDED THE EXISTING PAVED SURFACE REMAINS INTACT THROUGHOUT THE CONSTRUCTION WORK.



THE SUMP PUMP DISCHARGED WILL BE MANAGED WITHIN THE SITE WITHOUT A DETRIMENTAL EFFECT TO ADJOINING LANDS.

ALL DAMAGED OR DISTURBED AREAS WITHIN THE MUNICIPAL RIGHT-OF-WAY ARE TO BE REINSTATED AT THE APPLICANT'S EXPENSE.

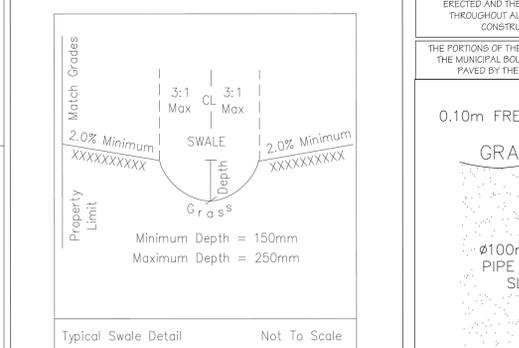
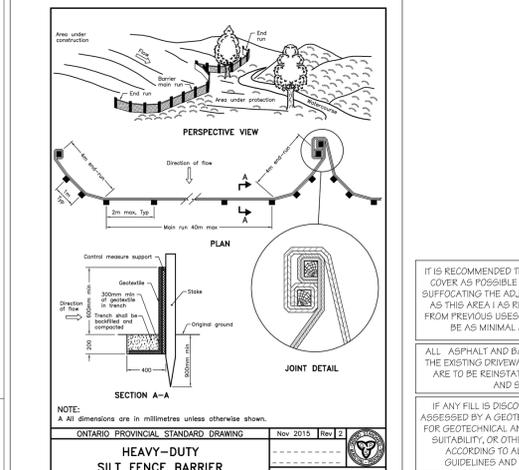
THE EXISTING DRAINAGE PATTERN WILL BE MAINTAINED EXCEPT WHERE NOTED.

A SAFETY FENCE WILL BE USED WITHIN THE CONSTRUCTION SITE.

APPROXIMATE GROUNDWATER ELEVATION IS TO BE CONFIRMED PRIOR TO CONSTRUCTION. IF GROUND WATER INTERFERES WITH HOUSE CONSTRUCTION/DESIGN, CONTRACTOR TO NOTIFY ENGINEER.

HOARDING MUST BE INSPECTED PRIOR TO REMOVAL OF ANY TREE PROTECTION HOARDING FROM THE SITE.

THE STRUCTURAL DESIGN OF ANY RETAINING WALL OVER 1.00 METRE IN HEIGHT ON THE SITE PLAN AND GRADING PLAN IS TO BE APPROVED BY THE CONSULTING ENGINEER FOR THE PROJECT.



REGIONAL APPROVAL

REGION DESIGN OF WATER AND/OR WASTEWATER SERVICES APPROVAL SUBJECT TO DETAIL CONSTRUCTION CONFORMING TO HALTON REGION STANDARDS AND SPECIFICATIONS AND LOCAL APPROVAL FROM AREA MUNICIPALITY.

SIGNED: _____ DATED: _____

Development Services

The approval of the water system on private property is the responsibility of the Local Municipality, regardless, the Applicant must ensure that the Region of Halton's standards and specifications are met, (the Water and Wastewater Linear Design Manual may be obtained on Halton.ca or by calling 311) all water quality tests must be completed to the Region of Halton's satisfaction before the water supply can be turned on.

EX WATER SERVICES TO BE DISCONNECTED AT THE MAIN BY CONTRACTOR.

ALL WATER AND SANITARY TAPS ARE TO BE PERFORMED BY REGION OF HALTON FORCES ONLY.

NOTE: CONTRACTOR TO DETERMINE EXISTING INVERTS AND REPORT ANY DISCREPANCIES TO THE ENGINEER.

IT IS RECOMMENDED THAT AS LITTLE SOIL COVER AS POSSIBLE IS USED TO AVOID SUFFOCATING THE ADJACENT TREE ROOTS AS THIS AREA IS READY COMPACTED FROM PREVIOUS USES, GRADING SHOULD BE AS MINIMAL AS POSSIBLE.

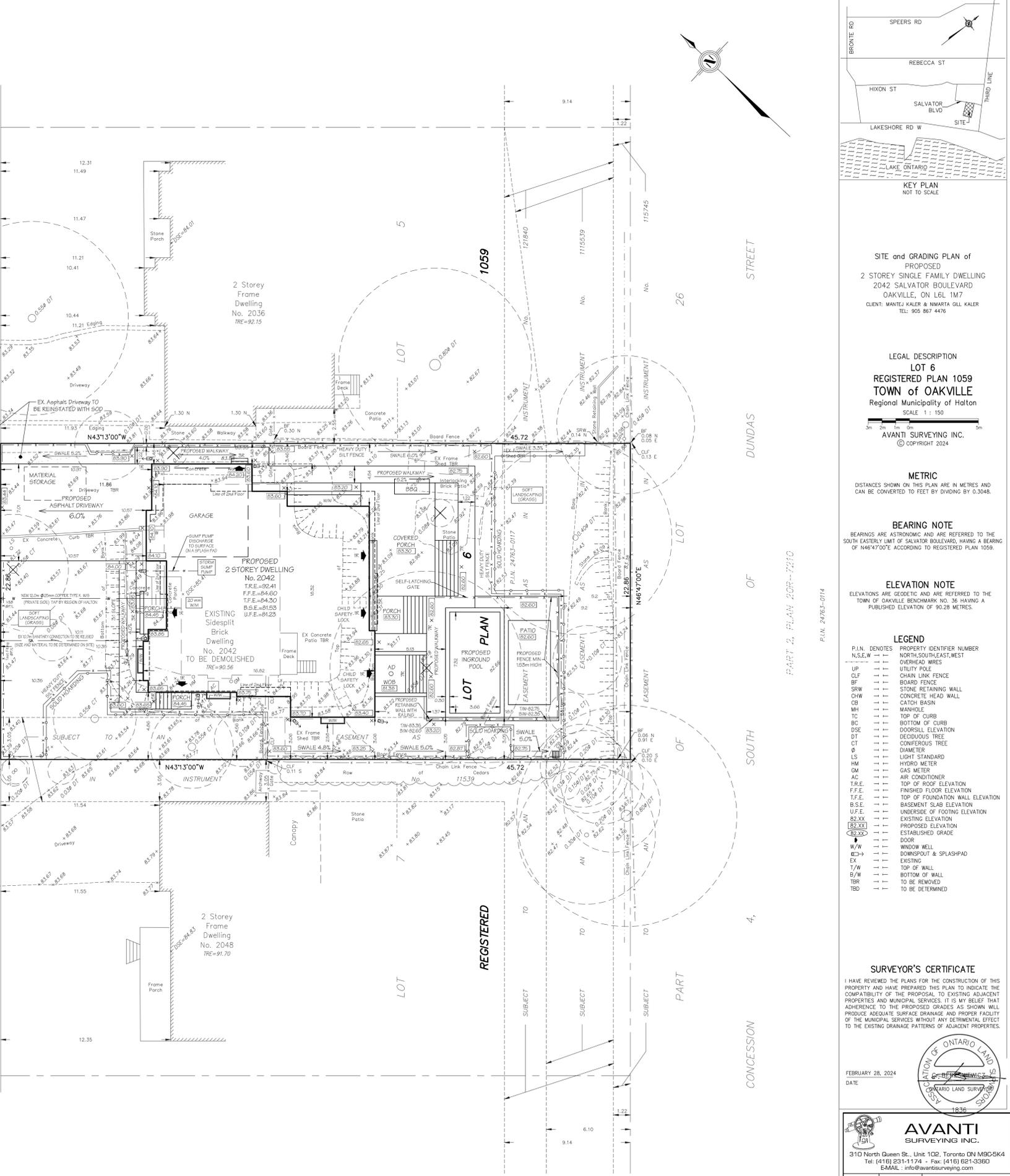
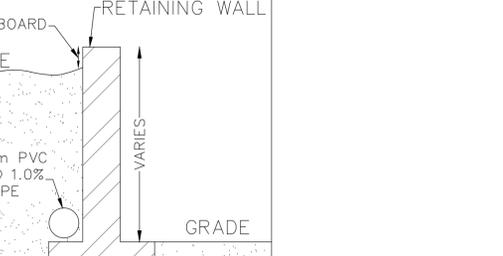
ALL ASPHALT AND BASE MATERIALS OF THE EXISTING DRIVEWAY BEING REMOVED ARE TO BE REINSTATED WITH TOPSOIL AND SOD.

IF ANY FILL IS DISCOVERED, IT WILL BE ASSESSED BY A GEOTECHNICAL ENGINEER FOR GEOTECHNICAL AND ENVIRONMENTAL SUITABILITY, OR OTHERWISE REMOVED ACCORDING TO ALL APPLICABLE GUIDELINES AND REGULATIONS.

ALL EXCESS EXCAVATED MATERIAL WILL BE REMOVED FROM THE SITE.

PRIOR TO CONSTRUCTION TAKING PLACE, ALL REQUIRED HOARDING IN ACCORDANCE WITH THE ONTARIO OCCUPATIONAL HEALTH & SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS MUST BE ERECTED AND THEN MAINTAINED THROUGHOUT ALL PHASES OF CONSTRUCTION.

THE PORTIONS OF THE DRIVEWAY WITHIN THE MUNICIPAL BOULEVARD WILL BE PAVED BY THE APPLICANT.



SITE and GRADING PLAN of PROPOSED 2 STOREY SINGLE FAMILY DWELLING 2042 SALVATOR BOULEVARD OAKVILLE, ON L6L 1M7

CLIENT: MANTEJ KALER & NIMARTA GILL KALER
TEL: 905 867 4476

LEGAL DESCRIPTION

LOT 6
REGISTERED PLAN 1059
TOWN of OAKVILLE
Regional Municipality of Halton

SCALE 1: 150

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METRIC

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

BEARING NOTE

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ELEVATION NOTE

ELEVATIONS ARE GEODETIC AND ARE REFERRED TO THE TOWN OF OAKVILLE BENCHMARK NO. 36 HAVING A PUBLISHED ELEVATION OF 90.28 METRES.

- LEGEND**
- P.I.N. DENOTES PROPERTY IDENTIFIER NUMBER
 - N.S.E.W. NORTH/SOUTH/EAST/WEST
 - OVERHEAD WIRES
 - UTILITY POLE
 - CHAIN LINK FENCE
 - BOARD FENCE
 - STONE RETAINING WALL
 - CONCRETE HEAD WALL
 - CATCH BASIN
 - MANHOLE
 - TOP OF CURB
 - BOTTOM OF CURB
 - DOORSILL ELEVATION
 - DECIDUOUS TREE
 - CONIFEROUS TREE
 - DIAMETER
 - LIGHT STANDARD
 - HYDRO METER
 - GAS METER
 - AIR CONDITIONER
 - T.R.E. TOP OF ROOF ELEVATION
 - F.F.E. FINISHED FLOOR ELEVATION
 - T.F.E. TOP OF FOUNDATION WALL ELEVATION
 - B.S.E. BASEMENT SLAB ELEVATION
 - U.F.E. UNDERSIDE OF FOOTING ELEVATION
 - EXISTING ELEVATION
 - PROPOSED ELEVATION
 - ESTABLISHED GRADE
 - DOOR
 - WINDOW WELL
 - DOWNSPOUT & SPLASHPAD
 - EXISTING
 - EX
 - T/W TOP OF WALL
 - B/W BOTTOM OF WALL
 - TBR TO BE REMOVED
 - TBD TO BE DETERMINED

SURVEYOR'S CERTIFICATE

I HAVE REVIEWED THE PLANS FOR THE CONSTRUCTION OF THIS PROPERTY AND HAVE PREPARED THIS PLAN TO INDICATE THE COMPATIBILITY OF THE PROPOSAL TO EXISTING ADJACENT PROPERTIES AND MUNICIPAL SERVICES. IT IS MY BELIEF THAT ADHERENCE TO THE PROPOSED GRADES AS SHOWN WILL PRODUCE ADEQUATE SURFACE DRAINAGE AND PROPER FACILITY OF THE MUNICIPAL SERVICES WITHOUT ANY DETRIMENTAL EFFECT TO THE EXISTING DRAINAGE PATTERNS OF ADJACENT PROPERTIES.

FEBRUARY 28, 2024
DATE

1836

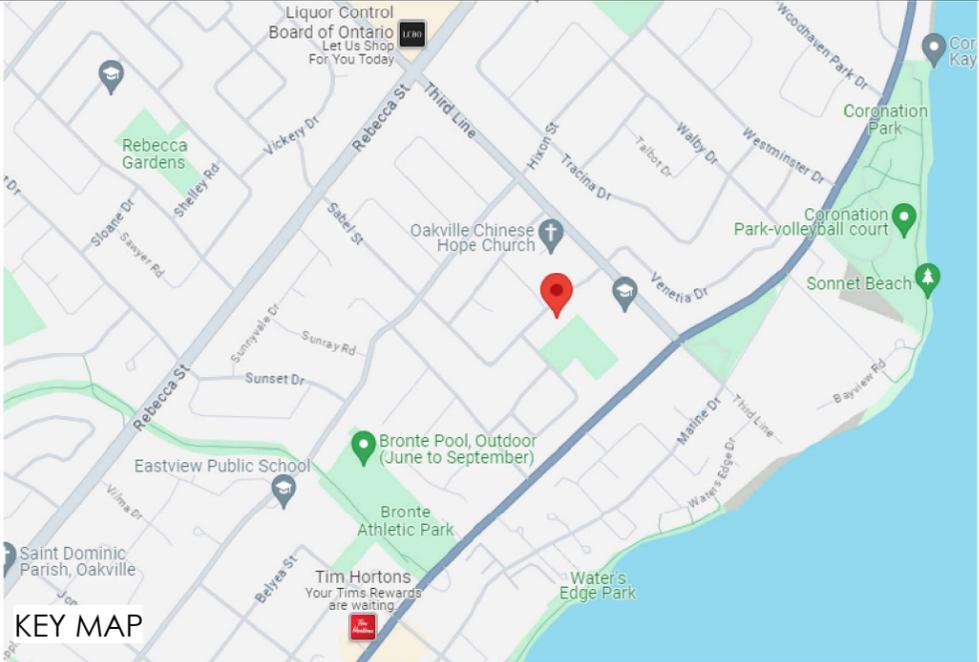
AVANTI SURVEYING INC.

310 North Queen St., Unit 102, Toronto ON M5C 5K4
Tel: (416) 231-1174 • Fax: (416) 521-0360
E-MAIL: info@avantisurveying.com

DRAWN: A.M. CHECKED: C.B. PROJECT 23-265

2042 SALVATOR BLVD.

COMMITTEE OF ADJUSTMENT



DRAWING LIST - ZONING	
TITLE SHEET	Z01.1
SITE PLAN	Z02.1
BASEMENT PLAN	Z02.2
MAIN FLOOR PLAN	Z02.3
2nd FLOOR PLAN	Z02.4
ROOF PLAN	Z02.5
EAST ELEVATION	Z03.1
NORTH ELEVATION	Z03.2
SOUTH ELEVATION	Z03.3
WEST ELEVATION	Z03.4

TITLE SHEET

Scale: 2024-01-30 12:21:41 PM

CUSTOM 2 STOREY DWELLING
2042 SALVATOR BLVD., OAKVILLE, ON

FINE LINES DESIGN Z01.1



NORTH ELEVATION

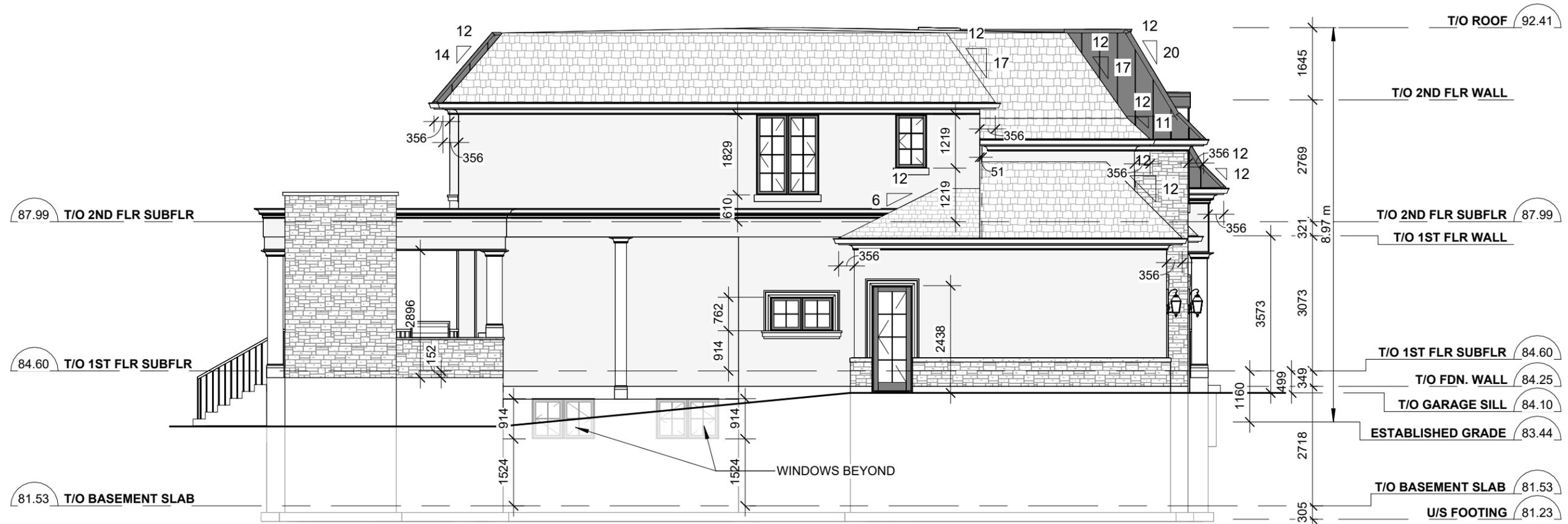
Scale: 1 : 100

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CUSTOM 2 STOREY DWELLING
2042 SALVATOR BLVD., OAKVILLE, ON

FINE LINES DESIGN

Z03.2



EAST ELEVATION

Scale: 1 : 100

2024-01-30 12:21:47 PM

CUSTOM 2 STOREY DWELLING
2042 SALVATOR BLVD., OAKVILLE, ON

FINE LINES DESIGN

Z03.1



WEST ELEVATION

Scale: 1 : 100

2024-01-30 12:21:50 PM

CUSTOM 2 STOREY DWELLING
 2042 SALVATOR BLVD., OAKVILLE, ON

FINE LINES DESIGN

Z03.4



Urban Arboretum

ARBORIST REPORT

Pertaining to:

2042 Salvator Blvd.
Oakville, ON
L6L 1M7

Prepared for:

Fine Lines Design
699 The Queensway
Etobicoke, ON
M8Y 1L2

Prepared by:

Urban Arboretum Tree Consulting
2309 Mountain Grove Ave.
Burlington, ON
L7P 2H8
P. 647-884-7716
contact@urbanarboretum.ca

Oakville License: 23-103111

Created: February 26, 2024
Last revised: February 26, 2024

Introduction

Urban Arboretum Tree Consulting (the arborist) was retained by Fine Lines Design (the client) to complete an arborist report pertaining to 2042 Salvator Boulevard, Oakville (the subject site). The report was requested relative to the demolition of existing dwelling and construction of a new 2 storey dwelling, covered porch, and pool (the scope).

The purpose of this report is to:

- Establish species, size and condition of trees as required by the Town of Oakville Private Tree By-law 2017-038 & Public Tree By-law 2009-025, also to provide written tree protection recommendations.
- Provide a Tree Protection Plan showing required tree protection measures as outlined in the Tree Protection During Construction Procedure EN-TRE-001-001.

Methodology

1. The subject site was assessed on February 9, 2024 by the arborist.
2. Photos were taken at the time of assessment and the most representative are attached as Appendix I.
3. For complete inventory of all assessed trees see Appendix II.
4. The methods used to collect data and the information provided in this report complies with the details and instructions provided in the Town of Oakville Tree Protection During Construction Procedure document, The Private tree Protection By-law and the Town Tree Protection By-law.
5. Trees within the following categories were assessed and recorded in this Arborist Report:

Ownership Category	Description
1 - Private	Trees with diameters of 15 cm or greater, situated on private property on the subject site.
2 – Neighbor	Trees with diameters of 15 cm or greater, situated on private property within 6 meters of the subject site.
5 – Public	Trees of all diameters situated within City property.
6 – Boundary	Trees located on the property line with an adjoining site where the property line crosses the main stem of the tree prior to the formation of the first scaffold limb.

6. Trunk diameter was measured using a calibrated diameter tape. The measurement was taken at 1.4 meters above ground level, generally referred to as the diameter at breast height (DBH) or diameter at representative height (DRH) as applicable. For trees located on adjacent private property DBH was estimated.

7. Tree appraisals were completed using the Trunk Formula Technique from the 10th Edition of the Guide for Plant Appraisal (Appendix IV).
8. Trees were assessed in consideration of overall biological condition and structural condition and assigned a condition rating ranging from good (70-100%) to fair (40-69%) to poor (0-39%) for both categories.
9. Tree protection comments were added by the arborist to a site plan created by Fine Lines Design project 23-060 drawing A1.1 dated January 29, 2024 to create the Tree Protection Plan (Appendix III).

Tree Protection Plan

Pre-Construction

1. The following tree protection measures must be read in conjunction with the Tree Protection Plan (Appendix III). Both documents must be provided to the site supervisor prior to any work commencing on the site.
2. No disturbance is allowed within the Tree Protection Zone (TPZ) of the trees without permission from the Town of Oakville. Disturbance includes, but not limited to: soil compaction from foot traffic and construction materials, excavation, grade changes, storage of materials, physical injury to the trunk, or root cutting. The Town of Oakville specifies the minimum TPZ radius.

Trunk Diameter (DBH)	Minimum Protection Distances (City-owned & Private)
< 10 cm	1.8 m
10 - 30 cm	2.4 m
31 - 50 cm	3.0 m
51 – 60 cm	3.6 m
61 – 70 cm	4.2 m
71 – 80 cm	4.8 m
81 – 90 cm	5.4 m
91-100 cm	6 m
>100cm	10cm protection/ 1cm of diameter

3. Tree Protection Zones (TPZ) distances must be measured from the outside edge at the base of the tree.
4. A sign, that is provided by the Town of Oakville will be paid for by the applicant and mounted on one side of the tree protection barrier for the duration of the project.

5. Tree protection barriers must be erected prior to the commencement of any construction activities and must remain in place throughout the duration of the project. The applicant shall notify the appropriate Town of Oakville department in writing prior to commencing such activities to confirm that tree protection barriers and in place. The barriers must remain in satisfactory condition to the Town until all activities are completed including landscaping.
6. Authorization from the Town of Oakville must be obtained prior to commencing work on the site in the form of a Tree Protection Agreement (TPA), or a Tree Protection Zone Encroachment Permit (TPZEP), or a Tree Permit (TP).
7. As a condition of any agreement or approval of permit by the Town of Oakville, the Town will require securities to secure the protection of the trees. The required securities, as determined by the Town shall be held by the Town for a period specified by the Town. Early release of securities is possible if the Town is satisfied that the trees have not been damaged. Applicant requesting early release or reduction of securities shall submit for approval an Audit from an arborist certifying that the tree is in a state of vigorous health and has not been injured or destroyed as a result of construction activities in accordance with section 7 of the Town of Oakville Tree Protection During Construction Procedure document.

Construction Phase

8. It is the responsibility of the site supervisor to inspect the condition of the tree protection measures outlined on the tree protection plan and within this report each morning. If disturbance to the barriers is observed, it is to be repaired prior to work commencing on site that day.
9. Tree protection barriers must remain in place and in good condition during demolition, construction and/or site disturbance, including landscaping, and must not be altered, moved, or removed until authorized by Urban Forestry.
10. During construction, if any tree roots are exposed or disturbed outside the tree protection zone (TPZ), care is to be taken to minimize their disturbance. If roots must be removed outside the TPZ, they are to be cleanly pruned. Tearing roots hinders wound closure and can increase risk of disease and root rot.
11. As per Town of Oakville requirement if fill or excavated material must be temporarily located near a tree protection barrier, a wooden barrier must be used to ensure materials do not enter the TPZ.

Post-Construction

12. Authorization from the appropriate Town of Oakville department must be obtained prior to the removal of the tree protection barriers.

Additional Notes

1. For additional information on tree care and management techniques as a tree owner see <http://www.treesaregood.com/treeowner/treeownerinformation.aspx> for a list of educational brochures provided by the International Society of Arboriculture.

Questions or requests for additional information relative to this report should be directed to the undersigned at 647-884-7716.



Kyle Berwick, N.P.D., R.P.F. in Training
I.S.A. Board Certified Master Arborist # ON-1786B
I.S.A. Tree Risk Assessment Qualified
Certified Butternut Health Assessor #437

Limitations of Assessment

It is the policy of Urban Arboretum Tree Consulting to include this disclaimer to ensure our clients are aware of the technical and professional with respect to the limitations inherent in our work. assessing and retaining trees.

This Report was based on the project scope and details for tree preservation provided for review by to the Arborist. The Arborist assumes no responsibility for verification of ownership or locations of property lines, or for results of any actions or recommendations based on inaccurate information provided to the Arborist.

The assessment(s) of the tree(s) presented in this report have been made using accepted and proper arboricultural techniques. This includes an aboveground examination of the tree(s) including but not limited to evidence of structural defects, external indicators of rot or decay, cracking, included bark unions, pests and diseases, foliage and shoot health, natural or unnatural lean, root structures, site conditions, proximity to property and people. Unless otherwise explicitly noted in writing, assessments do not include probing, coring, sounding, climbing assessments, root excavation, pull testing, or any other advanced assessment techniques.

Notwithstanding the recommendations and conclusions in this report, it must be recognized that trees are living organisms and their health, structure and vigor are constantly changing. They can be susceptible to changes in the seasons or weather conditions. Weather events such as windstorms, ice storms and thunderstorms may result in partial or complete tree failure irrespective of assessment results.

All inspections are limited to visual examination of accessible parts, without dissection, excavation, probing, boring, or other invasive procedures, unless otherwise noted in the report. No warranty or guarantee is made, express or implied, that problems or deficiencies will not occur in the future. The consultant shall not be responsible for damages caused by any tree defects and assumes no responsibility for the correction of defects or tree related problems.

The undersigned provides no warranty, either expressed or implied, as to the suitability of the information contained in the report for any purpose. It remains the responsibility of the client to determine applicability to his/her case.

All reports and other correspondence are confidential and are the property of the undersigned and its named clients and their assignees or agents. Possession of this report or a copy thereof does not imply any right of publication or use for any purpose, without the express permission of the consultant and the client to whom the report was issued. Loss, removal, or alteration of any part of the report invalidates the entire report.

Although every effort has been made to ensure that this assessment is reasonably accurate, the tree(s) should be re-assessed periodically. The assessment presented in this report is only valid at the time of inspection. Living with trees means accepting some degree of risk.



Kyle Berwick, N.P.D., R.P.F. in Training
I.S.A. Board Certified Master Arborist # ON-1786B
I.S.A. Tree Risk Assessment Qualified
Certified Butternut Health Assessor #437

Appendix I – Photographs



Photo 1. Trees 1-5.



Photo 2. Tree 5.



Photo 3. Trees 6-10.



Photo 4. Trees 11-13.

Appendix II – Tree Inventory

2042 Salvator Blvd. - Tree Inventory
Appendix II

Report Date: February 26, 2024
Assessment Date: February 9, 2024



Chart Details:

Tree #: Inventoried trees were assigned an identification number

Species: Includes the botanical name and common name of each tree.

DBH: Diameter in cm measured at 1.4 meters from the ground (diameter at breast height). DBH measurements for trees on neighboring properties are estimated.

Crown Radius: Average radius of drip line in meters.

Biological Condition Rating: Overall condition rating from good (70-100%) to fair(40-69%) to poor (0-39%) based on overall health.

Structural Condition Rating: Overall rating from good (70-100%) to fair(40-69%) to poor (0-39%) based on tree Structure.

Condition Comments: Specific observations from the visual assessment that have informed the condition rating.

Minimum TPZ: Minimum required tree protection zone in meters.

Ownership Category: Ownership of tree based on the supplied survey.

Recommended Action & Details: Arborist Recommendations.

Tree #	Species	DBH (cm)	Crown Radius (m)	Biological Condition	Structural Condition	Condition Comments	Min TPZ (m)	Ownership Category	Recommended Action & Details
1	<i>Thuja occidentalis</i> (white cedar)	15	1	Good	Good	Full crown.	2.4	Private	Remove - due to proposed walkway.
2	<i>Cercis canadensis</i> (Eastern redbud)	23	2	Fair	Poor	Three main stems (18, 9 & 12cm DBH); main stem has a split included union.	2.4	Potential Boundary	Injure - due to proposed walkway and driveway. Moderate impacts expected.
3	<i>Pinus nigra</i> (Austrian pine)	54	4.5	Good	Poor	Three main stems; good new growth.	3.6	Private	Remove - due to proposed driveway widening.

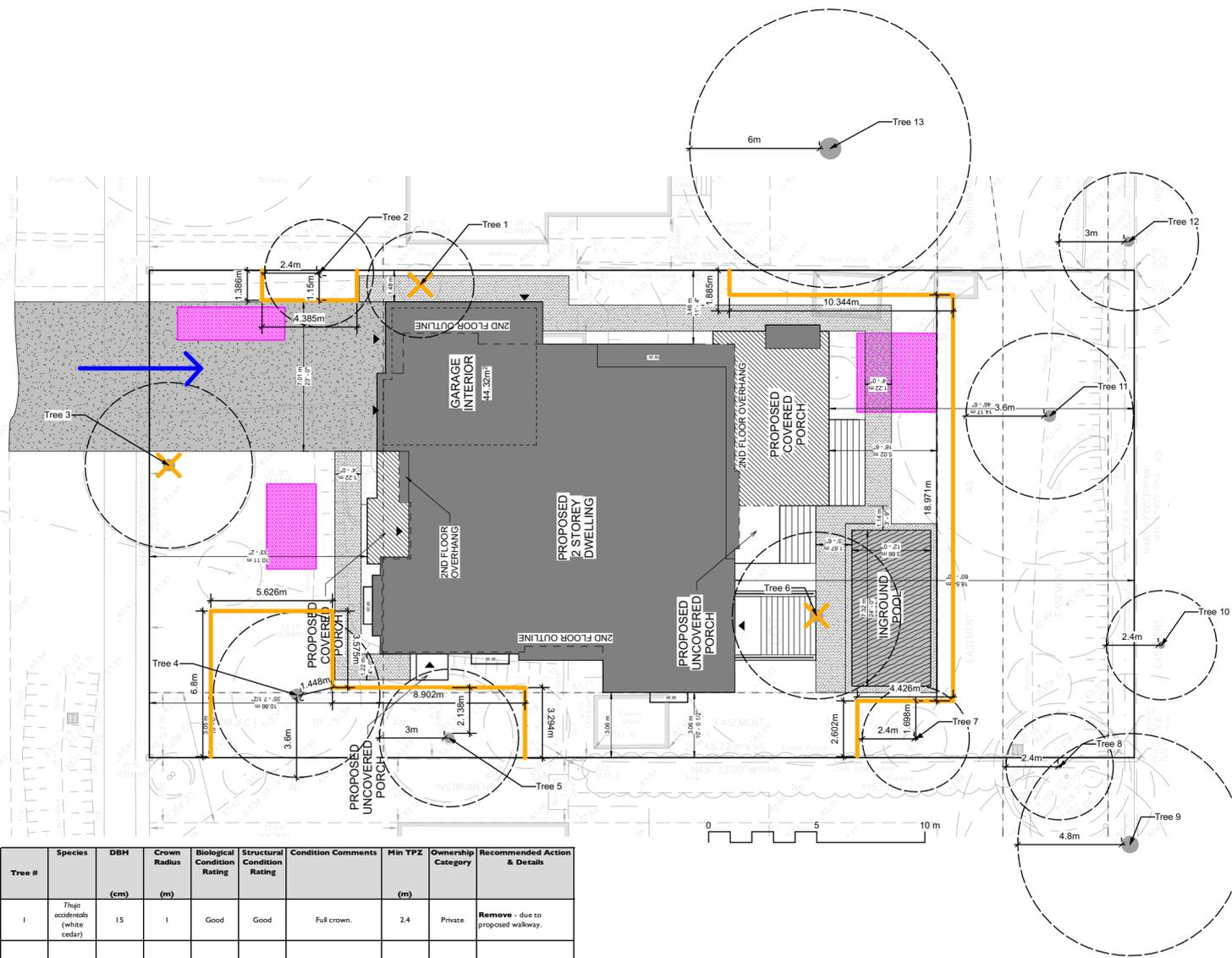
2042 Salvator Blvd. - Tree Inventory
Appendix II

Tree #	Species	DBH (cm)	Crown Radius (m)	Biological Condition	Structural Condition	Condition Comments	Min TPZ (m)	Ownership Category	Recommended Action & Details
4	<i>Pseudotsuga menziesii</i> (Douglas fir)	51	3	Fair	Good	Good central leader; fair new growth.	3.6	Private	Injure - due to proposed walkway. Moderate impacts expected.
5	<i>Thuja occidentalis</i> (white cedar)	43.5	3	Good	Fair	Multiple leaders; good new growth.	3	Private	Injure - due to proposed walkway. Moderate impacts expected.
6	<i>Acer platanoides</i> (Norway maple)	59	5	Fair	Fair	Decurrent habit; fair shoot extension; decent dieback.	3.6	Private	Remove - due to proposed pool and stairs.
7	<i>Fraxinus pennsylvanica</i> (green ash)	15	1.5	Good	Fair	Codominant stems; good shoot extension.	2.4	Private	Injure - due to proposed pool excavation. Minor impacts expected.
8	<i>Fraxinus pennsylvanica</i> (green ash)	16	1.5	Poor	Poor	Significant Emerald Ash Borer Infestation.	2.4	Neighbor	Preserve - tree protection fence.
9	<i>Acer saccharinum</i> (silver maple)	78	8	Good	Fair	Multi-stem (~65, 30 & 30cm DBH); good bud set.	4.8	Neighbor	Preserve - tree protection fence.
10	<i>Morus alba</i> (white mulberry)	30	3.5	Good	Fair	Good bud set; decurrent habit.	2.4	Neighbor	Preserve - tree protection fence.
11	<i>Salix fragilis</i> (crack willow)	54	5	Fair	Fair	Bifurcates at ~1m (46 & 29cm DBH) with a fair union; minor deadwood.	3.6	Private	Preserve - tree protection fence.

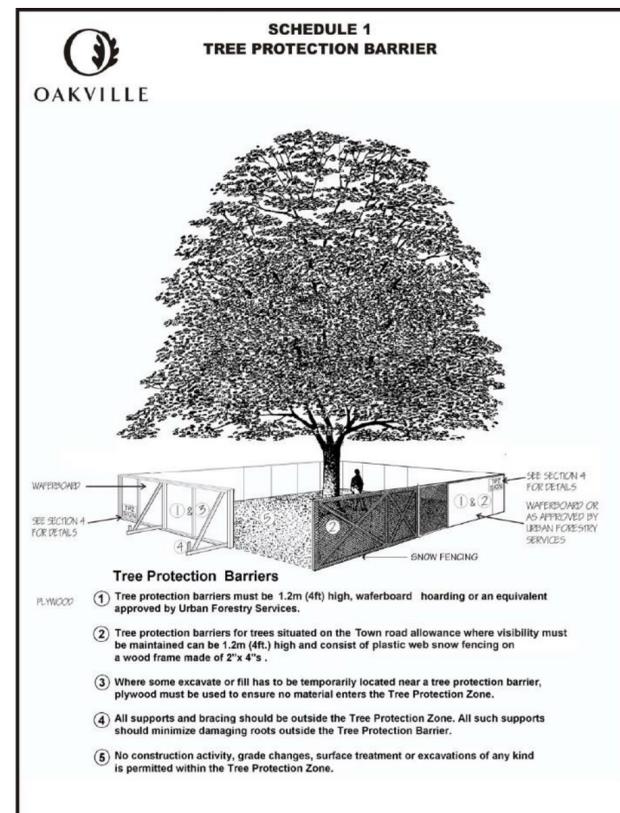
2042 Salvator Blvd. - Tree Inventory
Appendix II

Tree #	Species	DBH (cm)	Crown Radius (m)	Biological Condition	Structural Condition	Condition Comments	Min TPZ (m)	Ownership Category	Recommended Action & Details
12	<i>Acer platanoides</i> (Norway maple)	45	5	Fair	Poor	Decurrent habit; fair shoot extension; included main union.	3	Neighbor	Preserve - tree protection fence.
13	<i>Catalpa speciosa</i> (Northern catalpa)	100	8	Fair	Poor	Decurrent habit; major past storm damage; fair shoot extension.	6	Neighbor	Preserve - tree protection fence. Existing shed to be removed prior to installing tree protection fence.

Appendix III – Tree Protection Plan



Tree #	Species	DBH (cm)	Crown Radius (m)	Biological Condition Rating	Structural Condition Rating	Condition Comments	Min TPZ (m)	Ownership Category	Recommended Action & Details
1	<i>Thuja occidentalis</i> (white cedar)	15	1	Good	Good	Full crown.	2.4	Private	Remove - due to proposed walkway.
2	<i>Cercis canadensis</i> (Eastern redbud)	23	2	Fair	Poor	Three main stems (18, 9 & 12cm DBH); main stem has a split included union.	2.4	Potential Boundary	Injure - due to proposed walkway and driveway. Moderate impacts expected.
3	<i>Pinus nigra</i> (Austrian pine)	54	4.5	Good	Poor	Three main stems; good new growth.	3.6	Private	Remove - due to proposed driveway widening.
4	<i>Pseudotsuga menziesii</i> (Douglas fir)	51	3	Fair	Good	Good central leader; fair new growth.	3.6	Private	Injure - due to proposed walkway. Moderate impacts expected.
5	<i>Thuja occidentalis</i> (white cedar)	43.5	3	Good	Fair	Multiple leaders; good new growth.	3	Private	Injure - due to proposed walkway. Moderate impacts expected.
6	<i>Acer platanoides</i> (Norway maple)	59	5	Fair	Fair	Decurrent habit; fair shoot extension; decent dieback.	3.6	Private	Remove - due to proposed pool and stairs.
7	<i>Fraxinus pennsylvanica</i> (green ash)	15	1.5	Good	Fair	Codominant stems; good shoot extension.	2.4	Private	Injure - due to proposed pool excavation. Minor impacts expected.
8	<i>Fraxinus pennsylvanica</i> (green ash)	16	1.5	Poor	Poor	Significant Emerald Ash Borer infestation.	2.4	Neighbor	Preserve - tree protection fence.
9	<i>Acer saccharinum</i> (silver maple)	78	8	Good	Fair	Multi-stem (~65, 30 & 30cm DBH); good bud set.	4.8	Neighbor	Preserve - tree protection fence.
10	<i>Morus alba</i> (white mulberry)	30	3.5	Good	Fair	Good bud set; decurrent habit.	2.4	Neighbor	Preserve - tree protection fence.
11	<i>Salix fragilis</i> (crack willow)	54	5	Fair	Fair	Bifurcates at ~1m (46 & 29cm DBH) with a fair union; minor deadwood.	3.6	Private	Preserve - tree protection fence.
12	<i>Acer platanoides</i> (Norway maple)	45	5	Fair	Poor	Decurrent habit; fair shoot extension; included main union.	3	Neighbor	Preserve - tree protection fence.
13	<i>Catalpa speciosa</i> (Northern catalpa)	100	8	Fair	Poor	Decurrent habit; major past stem damage; fair shoot extension.	6	Neighbor	Preserve - tree protection fence. Existing shed to be removed prior to installing tree protection fence.



Tree Protection Comments:

- Tree protection comments were added by the arborist to a site plan created by Fine Lines Design project 23-060 drawing A1.1 dated January 29, 2024.
- It is the responsibility of the site supervisor to inspect the condition of the tree protection measures outlined on the tree protection plan each morning. If disturbance to the barriers is observed, it is to be repaired prior to work commencing on site that day.
- Tree protection barriers must remain in place and in good condition during demolition, construction and/or site disturbance, including landscaping, and must not be altered, moved or removed until authorized by Urban Forestry.
- Tree Protection Zones (TPZ) distances must be measured from the outside edge at the base of the tree.
- During construction, if any tree roots are exposed or disturbed outside the tree protection zone (TPZ), care is to be taken to minimize their disturbance. If roots must be removed outside the TPZ, they are to be cleanly pruned. Tearing roots hinders wound closure and can increase risk of disease and root rot.
- All landscape and construction work within the Minimum Tree Protection Zones (MTPZs) of affected trees must be completed using hand tools only.
- As per Town of Oakville requirement if fill or excavated material must be temporarily located near a tree protection barrier, a wooden barrier must be used to ensure materials do not enter the TPZ.
- Authorization from the Town of Oakville must be obtained prior to commencing work on the site in the form of a Tree Protection Agreement (TPA), or a Tree Protection Zone Encroachment Permit (TPZEP), or a Tree Permit (TP).
- At the completion of the project, the Forestry Department is to be notified prior to removal of the tree protection fencing on the site. With approval, the fencing may be dismantled.
- The owner is to be aware of the Migratory Birds Convention Act, 1994 that protects birds and their nests. This Act is implemented by Environment Canada, and it is advised that all vegetation be removed between Sept 1 and March 30.

Tree Protection Plan Appendix III 2042 Salvator Blvd. Oakville, ON.

Legend:

	Tree Removal		Material Storage Area
	4' Tall Plywood Tree Protection Fencing		Tree Protection Zone
	4' Tall Snow Fence Tree Protection Fencing		Site Access Route

Urban Arboretum

2309 Mountain Grove Ave.
Burlington, ON
L7P 2H8

647-884-7716
contact@urbanarboretum.ca

Scale: 1 - 200
Drawn By: Kyle Berwick
Last Revised: Feb 26, 2024
Date Created: Feb 26, 2024

Drawing No.
TPP1

2042 Salvator Blvd. - Tree Inventory
Appendix II

Report Date: February 26, 2024
Assessment Date: February 9, 2024



Chart Details:

Tree #: Inventoried trees were assigned an identification number

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Recommended Action & Details: Arborist Recommendations.

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2042 Salvator Blvd. - Tree Inventory
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