

APPENDIX B

HERITAGE PERMIT Application Form

Submit form to Heritage Planning staff. Please use ink or complete fillable PDF. The completeness of the application is to be determined by staff. A notice of receipt will be provided to the applicant upon the submission of a complete application.

Policy Planning & Heritage
Planning Services Department
Town of Oakville

A – Property and Applicant Information

Property Address: 262 King Street

Owner Contact Information:

Name: Clive & Hilary Maile

Address & Postal Code: 262 King Street

Agent Contact Information (if applicable):

Name: Jennifer Frivalt

Company Name:

B – Heritage Permit Application Summary

Alterations to Building New Construction Landscaping Demolition

Clearly describe the changes you are undertaking to alter the property (attach additional page(s) if needed):

1. 2 story addition to west elevation of existing home -no basement under addition

2.

3.

4.

5.

6.

C – Review of Heritage Guidelines

Explain the reasons for undertaking the alterations and describe how the proposal is consistent with the Part IV individual designating by-law, the Part V District Plan or the CHL Conservation Plan:

The reason I am applying for an addition to the house is that I need an upstairs bedroom and bathroom that are fully wheelchair accessible.

When I previously applied for the wheel chair elevator, I was not aware that bedrooms and bathrooms for a wheelchair need to be specific sizes. My sister recently came to stay with us from the UK and advised me that neither of our existing two bedrooms or bathrooms would be suitable for a wheelchair. She had this knowledge because her husband had a stroke and was confined to a wheelchair. At that time she had her house redesigned to be suitable for accessibility.

After taking her advice we contacted an architect to design a small extension to our house that would make it fully wheelchair accessible. As I get older and my condition declines, the plan is for me to stay at home with my wife with the assistance of caregivers.

With the proposed alterations, it has given us the opportunity to do research on the house and the changes it has undergone in the past. During the last renovation completed by one of the previous owners, the main floor front windows were taken out and an additional garage door was installed in their place. The result was that the main floor stopped looking like a house with living accommodation on the main floor and looked more like a garage. With our proposed design it will look more like original house.

D – Other Required Approvals

Please state if the proposal in this heritage permit application will also require approvals for the following:

- | | | |
|-------------------------|---|--|
| Building Permit | <input checked="" type="checkbox"/> YES | <input type="checkbox"/> NO |
| Minor Variance * | <input type="checkbox"/> YES | <input checked="" type="checkbox"/> NO |
| Site Plan | <input type="checkbox"/> YES | <input checked="" type="checkbox"/> NO |
| Site Alteration | <input type="checkbox"/> YES | <input checked="" type="checkbox"/> NO |
| Sign Permit | <input type="checkbox"/> YES | <input checked="" type="checkbox"/> NO |
| Tree Removals | <input type="checkbox"/> YES | <input checked="" type="checkbox"/> NO |

*Prior to submission of your heritage permit application, any relevant minor variance application must have been submitted and confirmed on a Committee of Adjustment meeting agenda. The Committee of Adjustment must make a decision on the variance(s) before the heritage permit will be considered by the Heritage Oakville Advisory Committee.

If Yes, please describe the application for all required approvals listed above:

E – Product and Manufacturer Details (fill in all applicable information)

Item(s) to be changed	Indicate if material is <i>new</i> or <i>existing</i>	Indicate type of material	Indicate colour	Other product details
Cladding (Siding, brick, etc.)	NEW	BOARD & BATTEN	TBD	
Roof	NEW	TO MATCH EXISTING	TO MATCH EXISTING	
Foundation Walls	TO MATCH EXISTING	TO MATCH EXISTING	TO MATCH EXISTING	
Trim	TO MATCH EXISTING	TO MATCH EXISTING	TO MATCH EXISTING	
Doors	TO MATCH EXISTING	TO MATCH EXISTING	TO MATCH EXISTING	
Windows	TO MATCH EXISTING AND USE SOME SPARE EXISTING	TO MATCH EXISTING	TO MATCH EXISTING	
Porch	TO MATCH EXISTIING	TO MATCH EXISTING	TBD	
Fencing	NA			
Landscaping	NA			
Other	NA			

F – Completed Submission

Before submitting this application, please check off the following applicable boxes to ensure that your application is complete:

- Pre-consultation meeting with staff has been completed
- Digital copies of all drawings have been submitted
- Digital copies of all photographs have been submitted
- Relevant minor variances have been submitted to the town and assigned to a Committee of Adjustment agenda (if applicable)

G – Declaration & Signature

I hereby declare that the statements made herein are, to the best of my belief and knowledge, a true and complete representation of the purpose and intent of this application. I have reviewed the submission requirements and understand that incomplete applications may not be accepted.

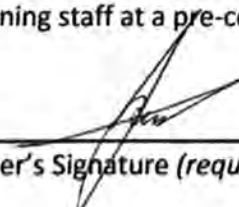
I also understand that the proposal must comply with all other applicable legislation and by-laws and that other approvals if required must be described clearly in Section D of this application form (ie. minor variance, site plan, building permit, sign permit, site alteration, tree permit).

I acknowledge that any change to the approved drawings, however small, may require an amendment to the permit and may require resubmission for approval. Failure to reveal these changes to Heritage Planning staff may result in work stoppage and charges and/or fines under the *Ontario Heritage Act*.

I acknowledge that Town of Oakville staff and members of the Heritage Oakville Advisory Committee may visit the property that is the subject of this application for the purpose of evaluating the merits of this application. Property entry will be organized with the applicant or agent prior to entry.

I acknowledge that personal information on this form is collected under the authority of the *Ontario Heritage Act* and will be used to process heritage permit applications.

I confirm that the owner and/or agent for this property has reviewed this application with Heritage Planning staff at a pre-consultation meeting.



Owner's Signature (required)

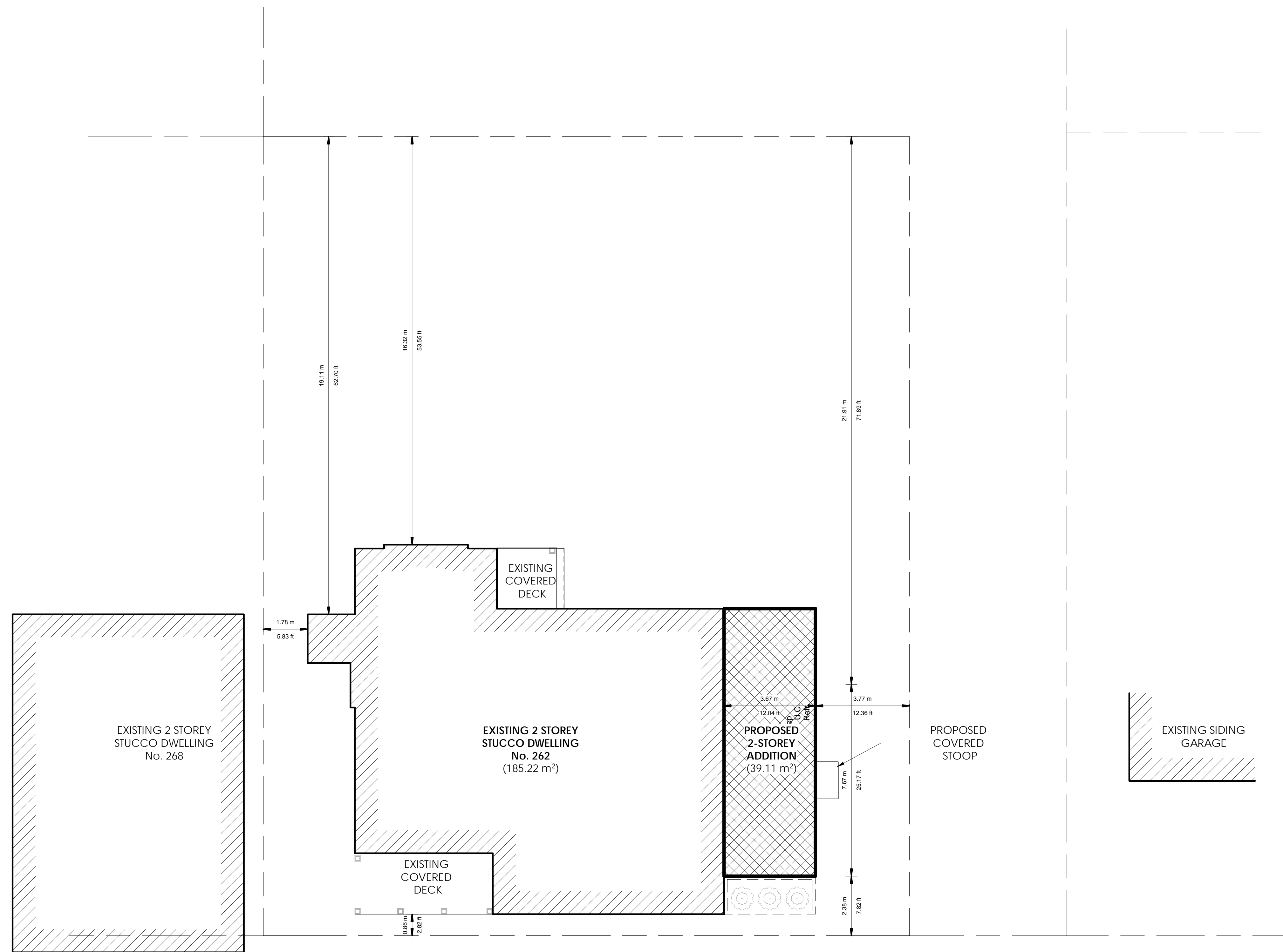
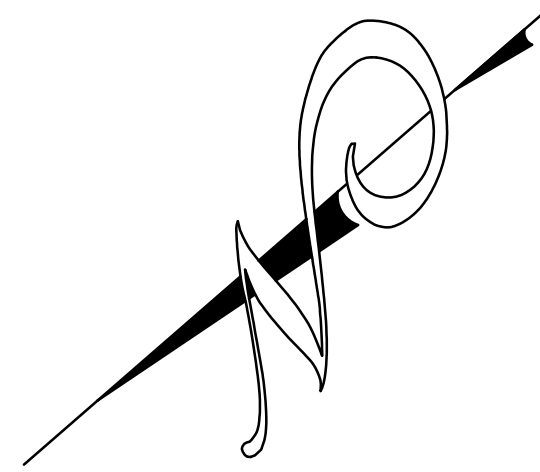
February 5 2024

Date

February 5 2024

Agent's Signature (if applicable)

Date



KING STREET

1 SITE PLAN
A1.0 1/8" = 1'-0"

SITE STATS

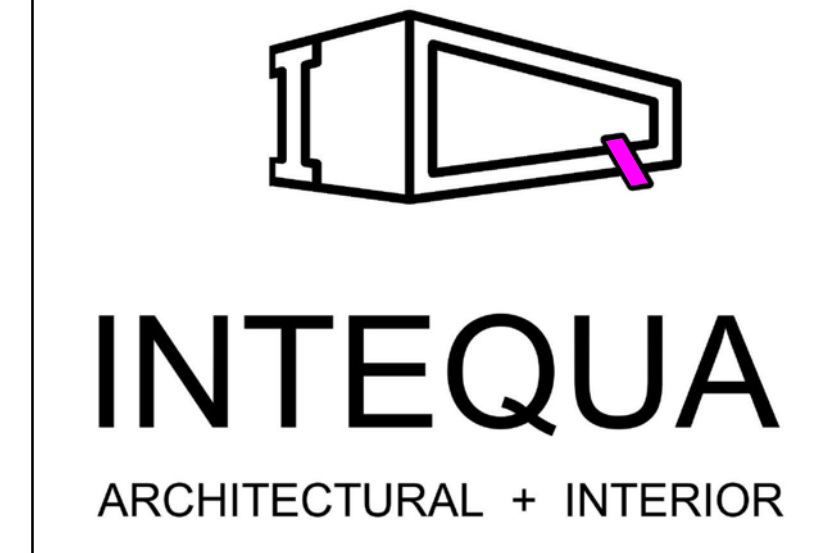
LOT AREA	826.36 m ²
EX. BUILDING FOOTPRINT	185.22 m ²
EXISTING COVERED DECKS	19.70 m ²
NEW ADDITION	39.11 m ²
TOTAL AREA	243.97 m ² (29.53%)

SETBACKS	0.67 m (EXISTING)
NORTH (Front)	3.77 m (PROPOSED)
EAST	16.51 m (EXISTING)
SOUTH (Rear)	1.77 m (EXISTING)
WEST	

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON SITE. ALL DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND MAY NOT BE USED WITHOUT HIS PERMISSION. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL COUNTERSIGNED BY THE THE DESIGNER. DRAWINGS ARE NOT TO BE SCALED.

GENERAL CONSTRUCTION NOTES

- All construction to comply with requirements of the Ontario Building Code (OBC) – Latest edition.
- These notes are included as minimum requirements
- Notes appearing on Architectural or Structural drawings shall supersede these notes.
- Report discrepancies immediately.



159 QUEBEC AVENUE,
TORONTO, ONTARIO M6P 2T9
TEL: (647) 740-5825
E: intequa@gmail.com

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.5.1. of the Building Code

Alam Makur 109095
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.1. of the Building Code

FIRM NAME BCIN

Client: **Mr. Clive Maile**

Project: **TWO-STOREY ADDITION**

Address: **262 King Street, Oakville
ON L6J 1B7**

Drawing Title: **SITE PLAN & STATS**

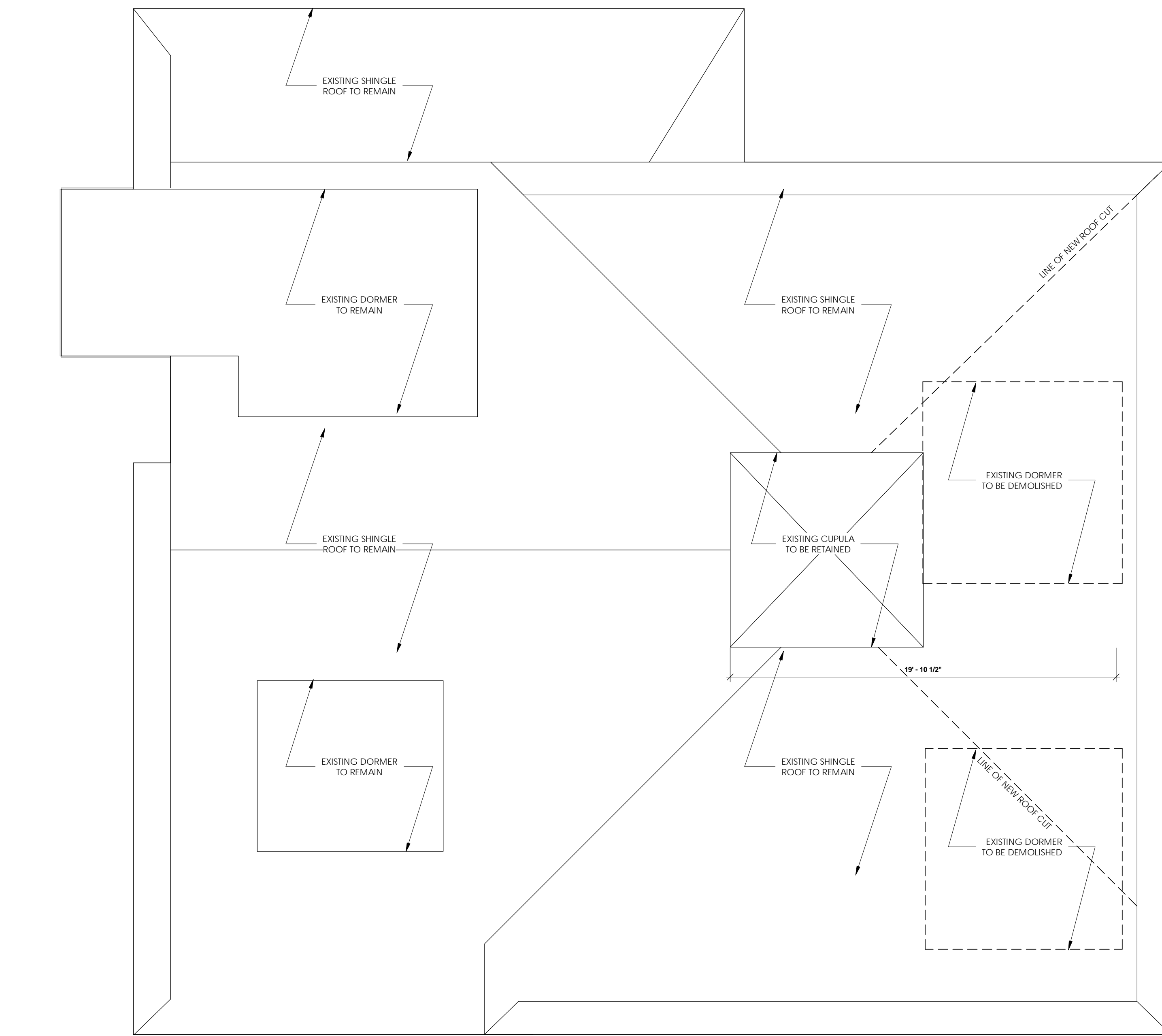
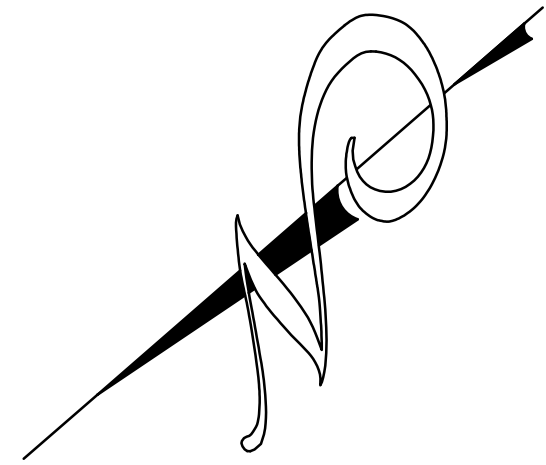
File Application #

Scale: **1/8" = 1'-0"**

Date: **Jan 31, 2024**

Project number: **Project Number**

A1.0



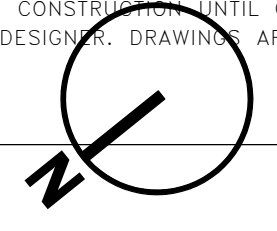
1
A2.3 **EXISTING ROOF PLAN**
1/4" = 1'-0"

WALL TYPES	
(W1)	EXISTING 12" CONCRETE BLOCKS FOUNDATION WALL
(W2)	NEW 8" CONCRETE BLOCKS FOUNDATION WALL W/ STONE VENEER TO MATCH EXISTING
(W3)	STUCCO FINISH COAT CEMENT BASE COAT 1 1/2" CONT RIGID INSULATION BUILDING PAPER EXTERIOR TYPE SHEATHING 2X6 WOOD STUDS @ 16" O.C. R-21 BATT INSULATION VAPOUR BARRIER 1 1/2" INTERIOR DRYWALL FINISH DOUBLE PLATE @ TOP SOLE PLATE @ BOTTOM
(W4)	CEDAR SHAKE 1 1/2" CONT RIGID INSULATION BUILDING PAPER EXTERIOR TYPE SHEATHING 2X6 WOOD STUDS @ 16" O.C. R-21 BATT INSULATION VAPOUR BARRIER 1 1/2" INTERIOR DRYWALL FINISH DOUBLE PLATE @ TOP SOLE PLATE @ BOTTOM
(W5)	1/2" DRYWALL 2X6 STUDS @ 16" O/C 1/2" DRYWALL (TAPED & SEALED)
(W6)	1/2" DRYWALL 2X4 STUDS @ 16" O/C 1/2" DRYWALL (TAPED & SEALED)

ROOFS & FLOOR TYPES	
(F1)	WOOD PLANKS 3/4" TREATED PLYWOOD 6-MIL V.P. 4" HEATED CONCRETE SLOBS 5-8% AIR ENTRAINMENT SANS CUTS AS INDICATED 6" X 6" X 6/16 WIRE MESH 2" RIGID INSULATION 5" GRANULAR FILL 75' UNDISTURBED SOIL OR COMPACTED MATERIAL
(F2)	5/8" SUB FLOOR 2X11 FLOOR JOISTS @ 16" O/C SOUND INSULATION 1/2" DRYWALL
(R1)	CEDAR SHAKES 15 LB. BUILDING PAPER ICE & WATER SHIELD ROOF SLOPES 4/12 OR LESS EAVES PROTECTION IN ACCORD WITH O.B.C. 1/2" PLYWOOD SHEATHING BATTERED CEILING JOISTS SIZE AS INDICATED VENTILATED ATTIC SPACE AS PER O.B.C. R-60 BATT INSULATION (CEILING WITH ATTIC SPACE) R-31 BATT INSULATION (CEILING WITHOUT ATTIC SPACE) WITH 2" MIN. AIR SPACE ABOVE 6 MIL POLY V.B. 1/2" DRYWALL

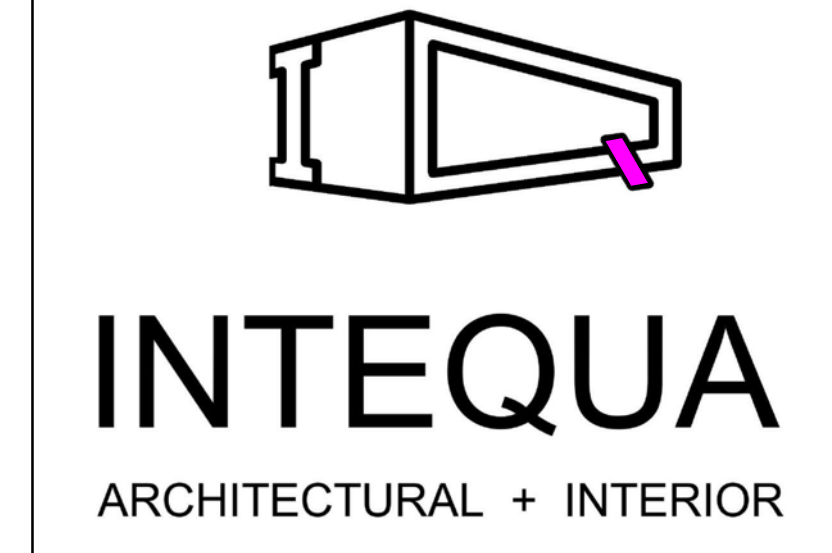
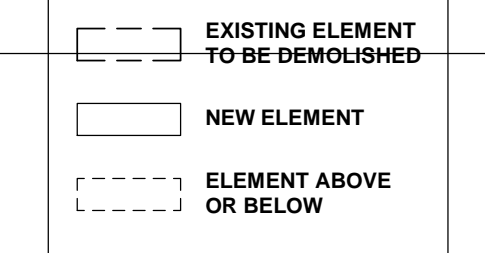
LEGEND	
	EXISTING TO BE DEMOLISHED
	NEW
	EXISTING TO REMAIN
	CEILING LIGHTS
	SWITCH
	EXTERIOR LIGHT
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	MECHANICAL VENT TO EXTERIOR

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GENERAL CONSTRUCTION NOTES

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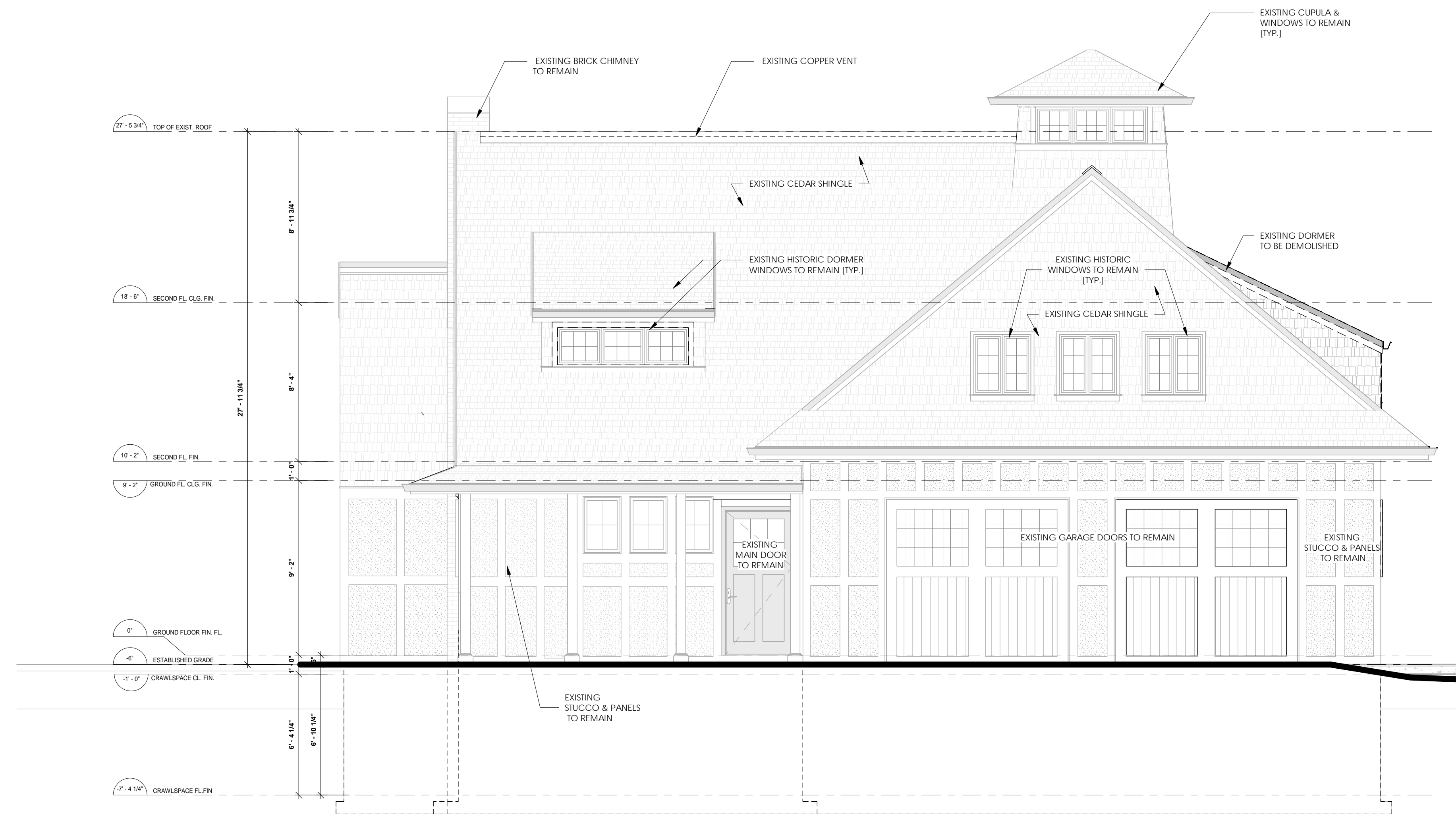
Project:
TWO-STOUREY ADDITION

Address:
**262 King Street, Oakville
ON L6J 1B7**

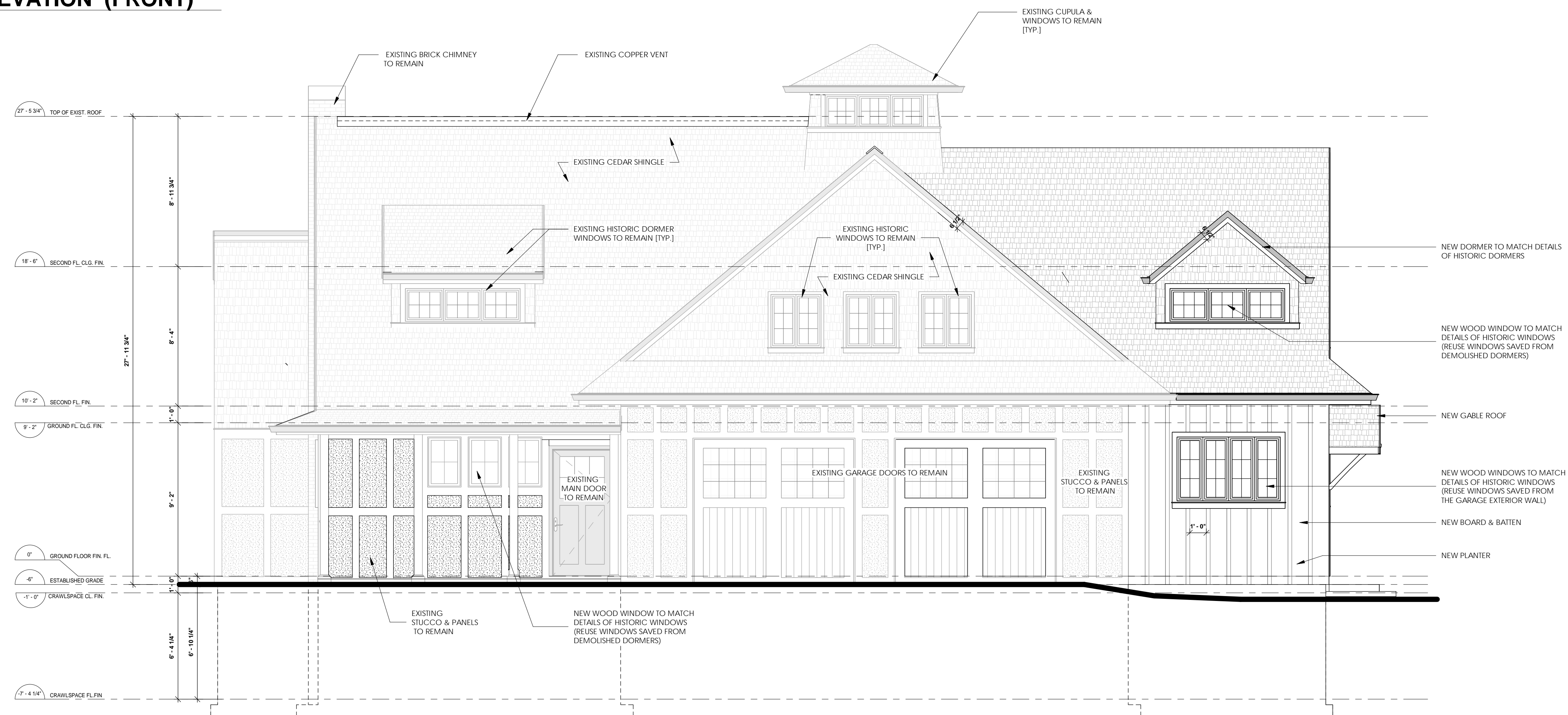
Drawing Title
EXISTING ROOF PLAN

File Application #	
Scale	As indicated
Date	Jan 31, 2024
Project number	Project Number

A2.3



1
A3.1
EXISTING NORTH ELEVATION (FRONT)
1/4" = 1'-0"

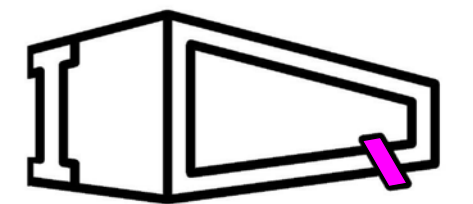


2
A3.1
PROPOSED NORTH ELEVATION (FRONT)
1/4" = 1'-0"

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INTEQUA
ARCHITECTURAL + INTERIOR

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FIRM NAME	BCIN

Client:
Mr. Clive Maile

Project:
TWO-STOREY ADDITION

Address:
**262 King Street, Oakville
ON L6J 1B7**

Drawing Title
**EXISTING & PROPOSED
NORTH ELEVATION (FRONT)**

File Application #

Scale 1/4" = 1'-0"

Date Jan 31, 2024

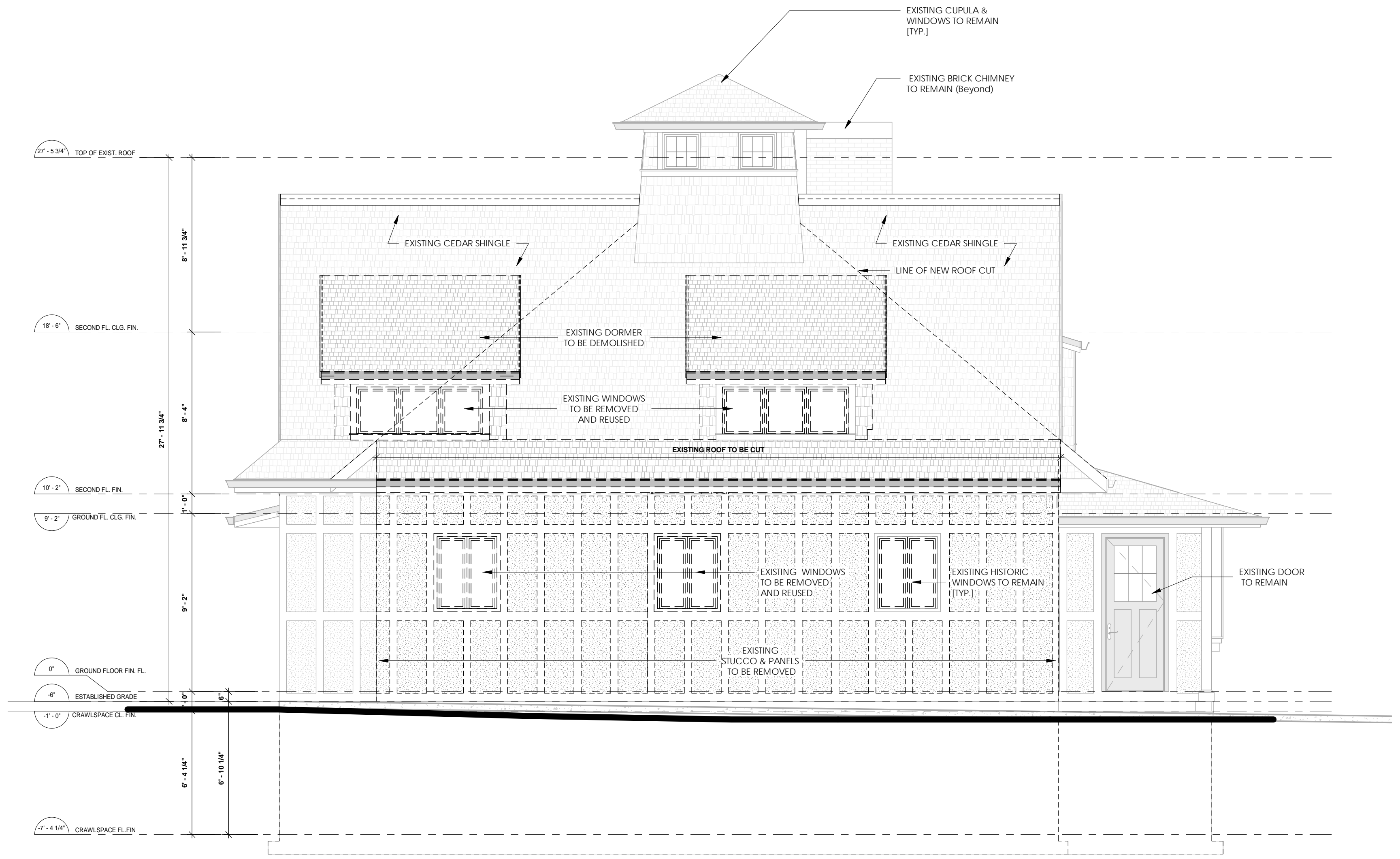
Project number
Project Number

A3.1

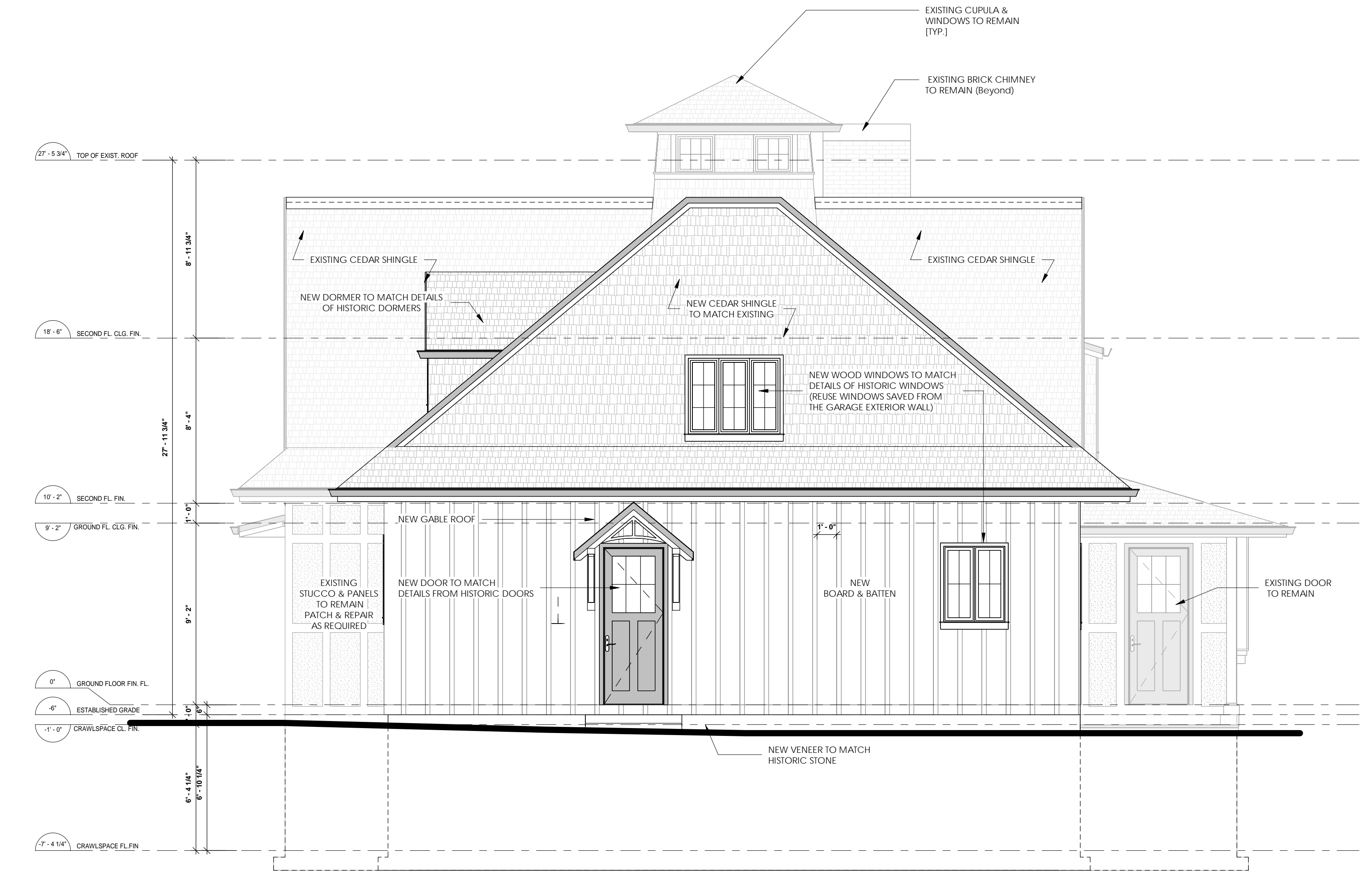
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GENERAL CONSTRUCTION NOTES

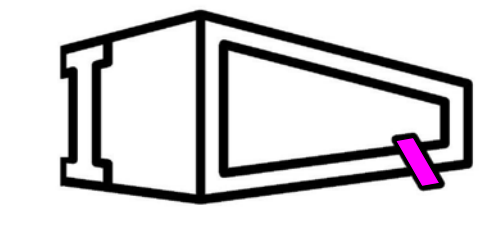
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1 EXISTING WEST ELEVATION
 A3.3 1/4" = 1'-0"



2 PROPOSED WEST ELEVATION
 A3.3 1/4" = 1'-0"



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NAME	SIGNATURE
	BCIN
REGISTRATION INFORMATION	
Required unless design is exempt under 3.2.4.1. of the Building Code	
FIRM NAME	BCIN

Client:
Mr. Clive Maile

Project:
TWO-STORY ADDITION

Address:
**262 King Street, Oakville
 ON L6J 1B7**

Drawing Title
**EXISTING & PROPOSED
 WEST ELEVATION (LEFT)**

File Application #	
Scale	1/4" = 1'-0"
Date	Jan 31, 2024
Project number	Project Number

A3.3



W. B. 1920









