

METRIC
 DISTANCES SHOWN ON THIS PLAN ARE
 IN METRES AND CAN BE CONVERTED
 TO FEET BY DIVIDING BY 0.3048

SURVEYOR'S REAL PROPERTY REPORT

PLAN OF SURVEY WITH TOPOGRAPHY OF
LOT 142
REGISTERED PLAN 553
TOWN OF OAKVILLE
REGIONAL MUNICIPALITY OF HALTON

SCALE 1 : 150

TARASICK McMILLAN KUBICKI LIMITED
 ONTARIO LAND SURVEYORS

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REPORT SUMMARY

PROPERTY DESCRIPTION: 1502 MANSFIELD DRIVE, BEING LOT 142,
 REGISTERED PLAN 553, TOWN OF OAKVILLE,
 REGIONAL MUNICIPALITY OF HALTON, PIN 24874-0096.
 SUBJECT TO EASEMENT IN FAVOR OF BELL CANADA AS IN TW30454.
 COMMENTS: NOTE LOCATION OF FENCE.

ELEVATION NOTE

ELEVATIONS ARE REFERRED TO CANADIAN GEODETIC VERTICAL DATUM-1928,
 AND WERE DERIVED FROM TOWN OF OAKVILLE BENCHMARK No. 223,
 HAVING A PUBLISHED ELEVATION OF 128.9819 metres.

BEARING NOTE

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE
 SOUTHWESTERLY LIMIT OF MANSFIELD DRIVE AS SHOWN ON
 REGISTERED PLAN 553, HAVING A BEARING OF N45°26'00"W.

LEGEND

| | |
|--|---|
| | DENOTES SURVEY MONUMENT PLANTED |
| | DENOTES SURVEY MONUMENT FOUND |
| | DENOTES IRON BAR |
| | DENOTES CONCRETE PIN |
| | DENOTES TOP OF CURB |
| | DENOTES BOTTOM OF CURB |
| | DENOTES CURB CUT |
| | DENOTES MANHOLE |
| | DENOTES WOOD UTILITY POLE |
| | DENOTES WATER VALVE |
| | DENOTES REGISTERED PLAN 553 |
| | DENOTES J.H. GELBLOOM SURVEYING LIMITED O.L.S., JULY 22, 2016 |
| | DENOTES F.D. SWETT O.L.S., JULY 5, 1955 |
| | DENOTES J.H. GELBLOOM SURVEYING LIMITED, O.L.S. |
| | DENOTES PROJECTION |
| | DENOTES DECIDUOUS TREE WITH TRUNK DIAMETER |
| | DENOTES CONIFEROUS TREE WITH TRUNK DIAMETER |

TREE CANOPIES ARE DRAWN TO SCALE.

PREPARED FOR:

THIS REPORT WAS PREPARED FOR SRK LAW PROFESSIONAL CORPORATION
 AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER
 PARTIES.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT :
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE
 WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE
 REGULATIONS MADE UNDER THEM.
 2. THE SURVEY WAS COMPLETED ON JUNE 24, 2022.

JUNE 28, 2022
 DATE

BORYS KUBICKI
 ONTARIO LAND SURVEYOR

ASSOCIATION OF ONTARIO
 LAND SURVEYORS
 PLAN SUBMISSION FORM
 V-28275

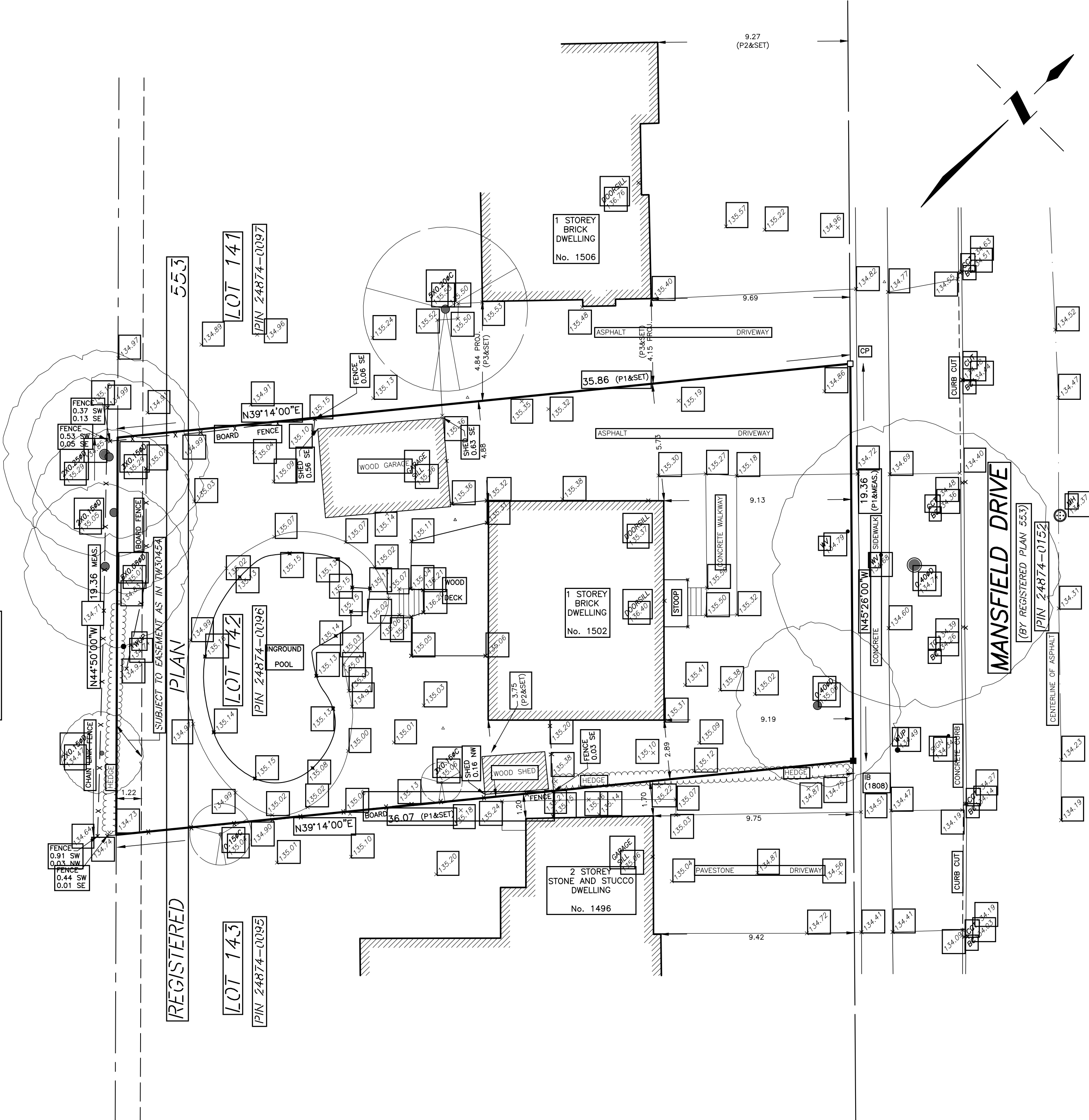
 THIS PLAN IS NOT VALID
 UNLESS IT IS AN UNEXPRESSED
 ORIGINAL COPY
 ISSUED BY THE SURVEYOR
 in accordance with
 Regulation 1026, Section 29(3)

TARASICK McMILLAN KUBICKI LIMITED
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 E-MAIL: office@tmksurveyors.com
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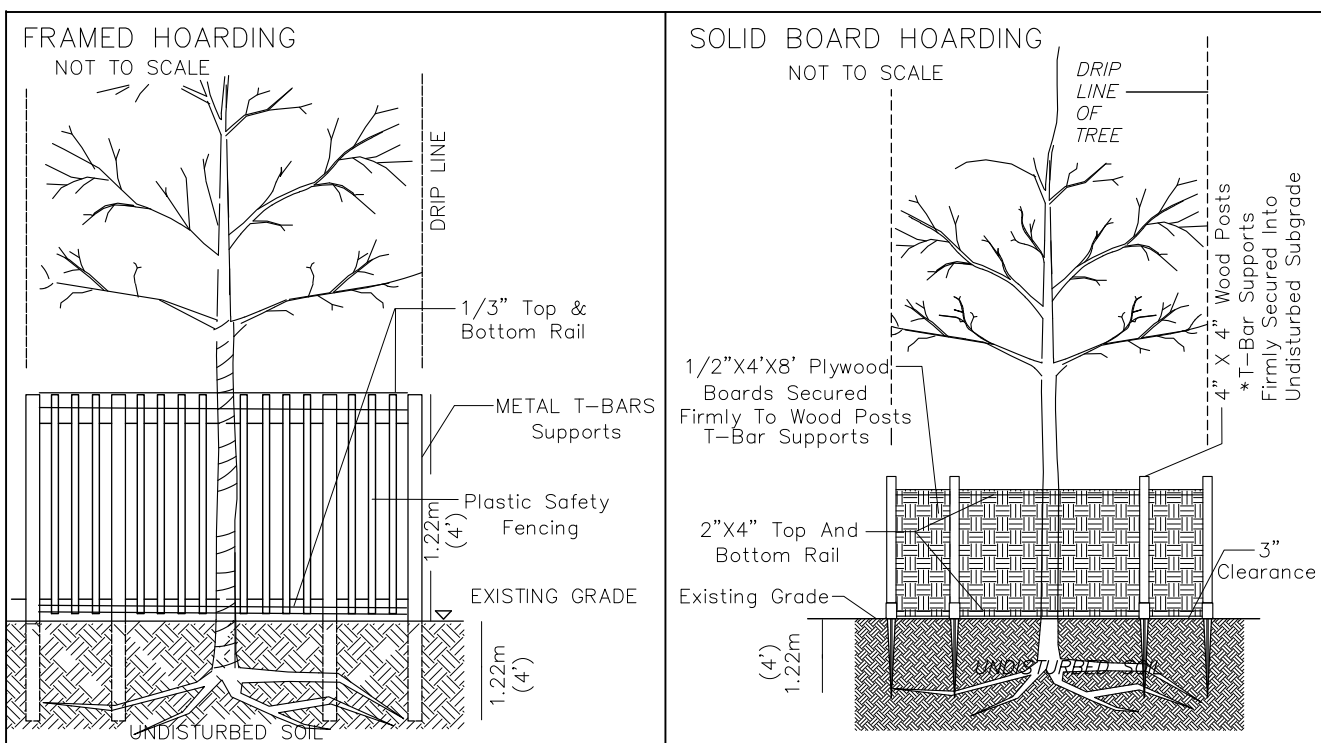
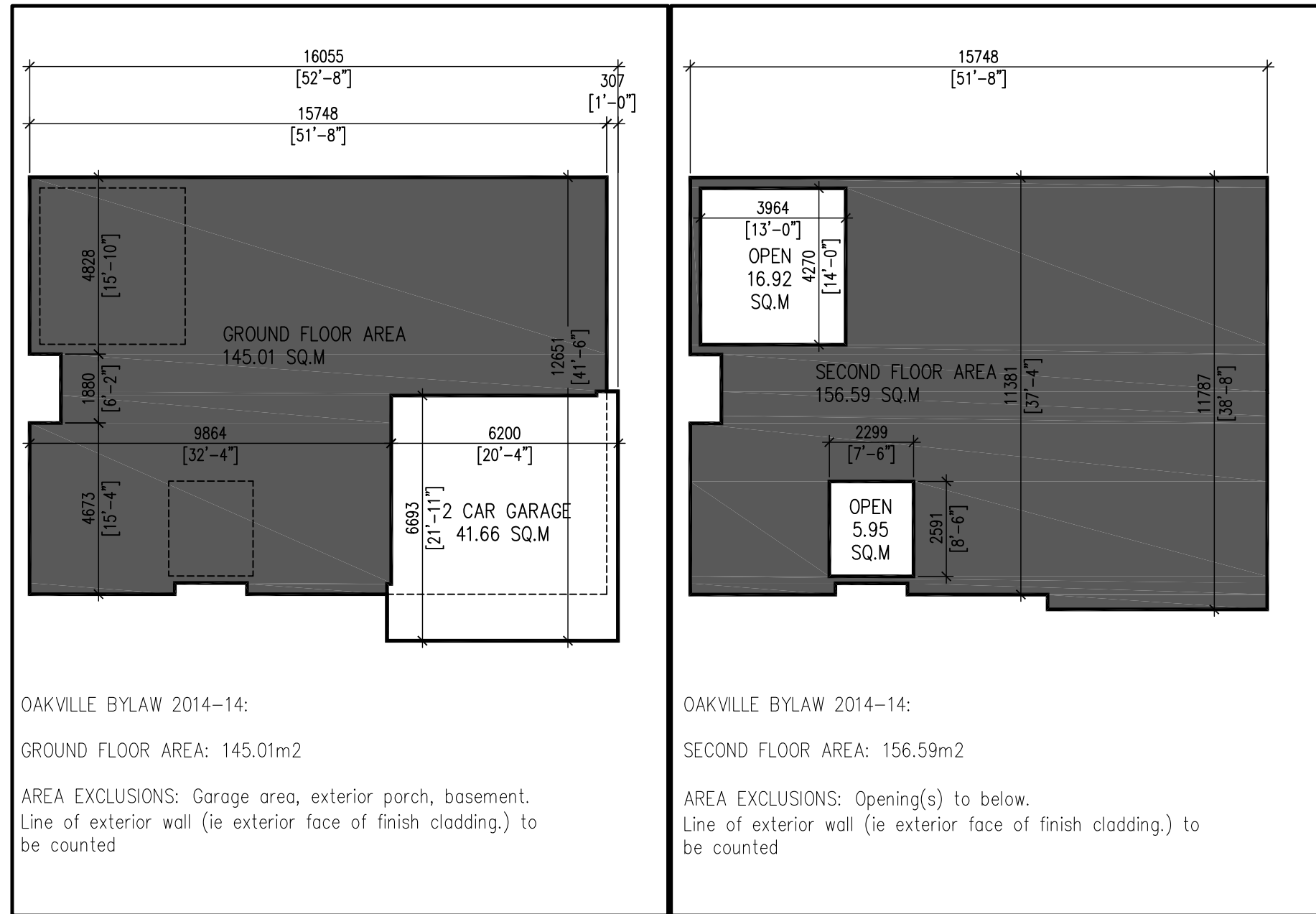
LOT 18 CONCESSION OF DUNDAS STREET SOUTH

PLAN 20R-3495

PIN 24874-0052

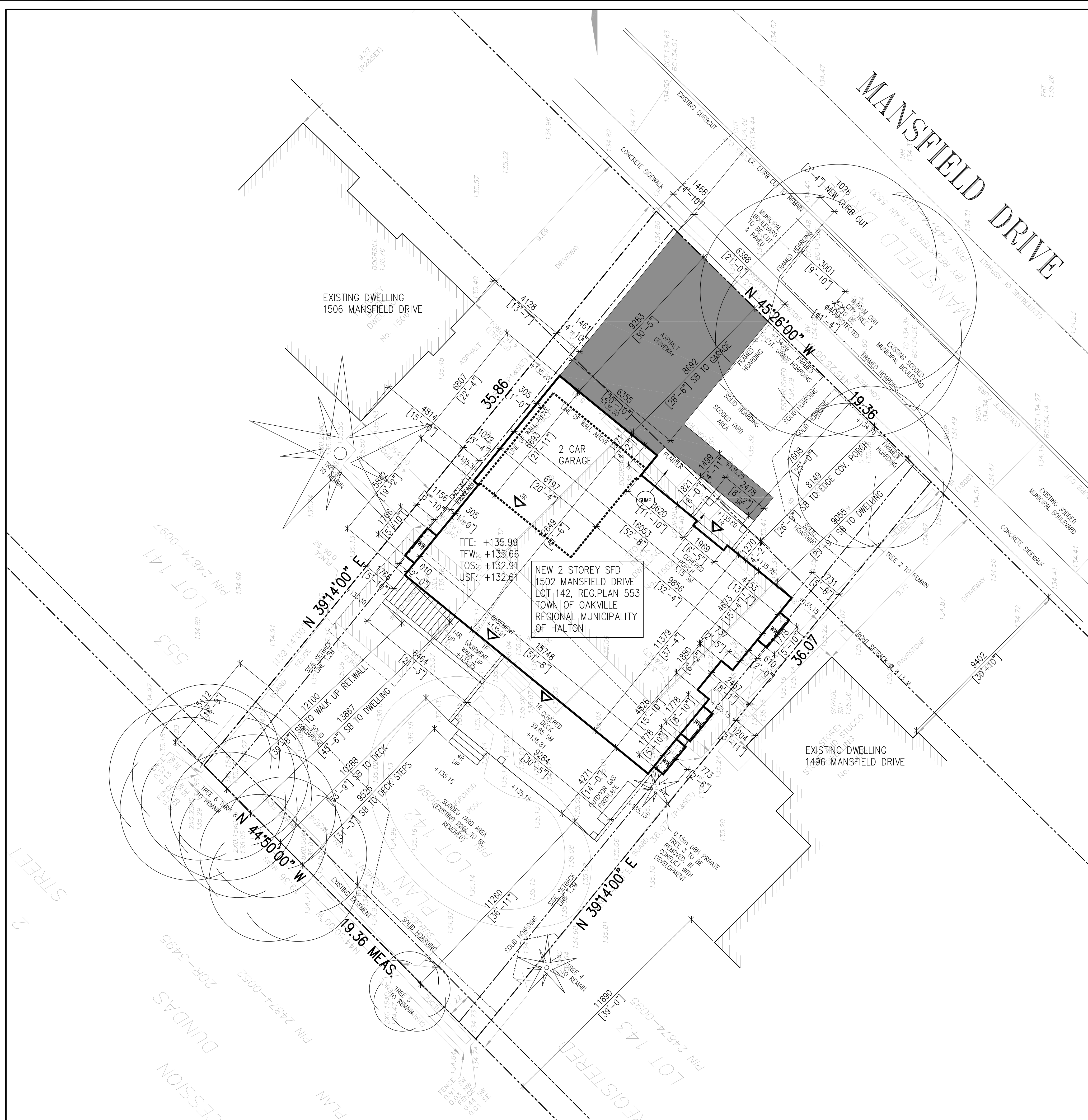


| ZONING | RL3-0 (ZBL 2014-014) | LOT NO. | LOT 142 | REG PLAN NO. | 553 | LOT AREA | 692.1 m ² | LOT FRONTAGE @ 7.5M | 19.36 m | LOT DEPTH | 36.07 m |
|----------------------|---|---------|--|--------------|-----------------------|----------|----------------------|---------------------|--|-----------|---------|
| DESCRIPTION | EXISTING | ADDED | PROPOSED | % | ALLOWED | % | SETBACKS | EXISTING | PROPOSED | | |
| LOT AREA | 692.21 m ² | -- | -- | | 557.50 m ² | | FRONT YARD | 9.13 m | 8.15 m (9.13m-1.0m) TO FRONT PORCH | | |
| GROSS FLOOR AREA | HOUSE: 91.15 m ² DET. GAR./SHED: 26.58 m ² TOTAL: 117.73 m ² | -- | GRD FLOOR: 145.01 m ² SEC. FLOOR: 156.59 m ² TOTAL: 301.60 m ² | 43.57%* | 283.81 m ² | 41% | REAR YARD | 18.39 m | 10.29 m TO COVERED REAR DECK | | |
| LOT COVERAGE | HOUSE: 91.15 m ² DET. GAR./SHED: 26.58 m ² TOTAL: 117.73 m ² | -- | DWELLING: 186.67 m ² FR. PORCH: 3.15 m ² COVER. DECK: 39.65 m ² TOTAL: 229.47 m ² | 33.15% | 242.23 m ² | 35% | INTERIOR SIDE (WEST) | 4.88 m | 1.46m TO GF WALL 1.76m TO 2F WALL | | |
| FLOOR AREA/ LOT AREA | 17.00% | -- | 43.57%* | | 41% | | INTERIOR SIDE (EAST) | 2.89 m | 1.73m TO GF WALL 1.73m TO 2F WALL | | |
| WIDTH | 10.66 m | -- | 16.05 m | | | | EXTERIOR SIDEYARD | N/A | N/A | | |
| DEPTH | 8.62 m | -- | 12.65 m | | | | | | | | |
| HEIGHT | TO HIGHEST ROSE | -- | 8.990 m | | 9.00 m | | | | | | |
| | TO U/S SOFFIT | -- | -- | | -- | | | | | | |
| | ESTABLISHED GRADE = +1134.79 | | | | | | | | | | |



- NOTE:
- HOARDING DETAILS TO BE DETERMINED FOLLOWING INITIAL SITE INSPECTION.
 - HOARDING TO BE APPROVED BY DEVELOPMENT AND DESIGN.
 - HOARDING MUST BE SUPPLIED, INSTALLED AND MAINTAINED BY THE APPLICANT THROUGHOUT ALL PHASES OF CONSTRUCTION UNTIL APPROVAL TO REMOVE IS OBTAINED FROM DEVELOPMENT AND DESIGN.
 - DO NOT ALLOW WATER TO COLLECT AND POND BEHIND OR WITHIN HOARDING.
- * T-BAR SUPPORTS FOR SOLID HOARDING WILL ONLY BE ALLOWED WITH THE APPROVAL FROM DEVELOPMENT AND DESIGN.

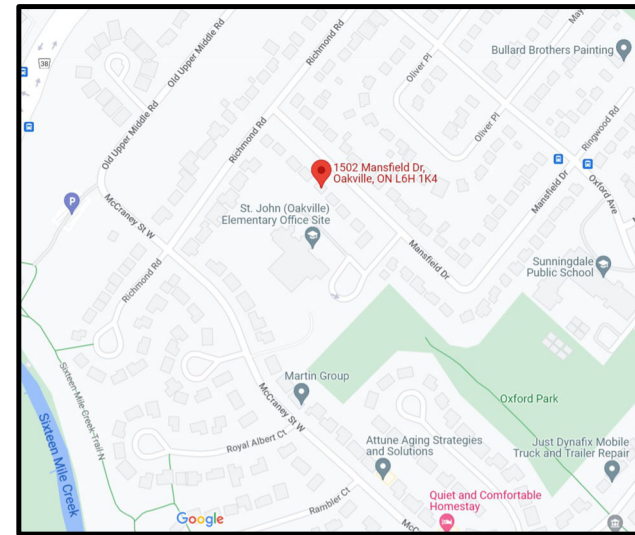
- TREE PROTECTION NOTE
- ALL EXISTING TREES WHICH ARE TO REMAIN SHALL BE FULLY PROTECTED WITH HOARDING, ERRECTED BEYOND THEIR DRIP LINE PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT. GROUPS OF TREES AND OTHER EXISTING PLANTINGS TO BE PROTECTED, SHALL BE TREATED IN A LIKE MANNER, WITH THE HOARDING AROUND THE ENTIRE CLUMP(S). AREAS WITHIN THE PROTECTIVE FENCING SHALL REMAIN UNDISTURBED AND SHALL NOT BE USED FOR THE STORAGE OF THE BUILDING MATERIAL AND EQUIPMENT.
 - NO RIGGING CABLES SHALL BE WRAPPED AROUND OR INSTALLED IN TREES AND SURPLUS SOIL, EQUIPMENT, DEBRIS OR MATERIALS SHALL NOT BE PLACED OVER ROOT SYSTEMS OF THE TREES WITHIN THE PROTECTIVE FENCING. NO CONTAMINANTS WILL BE DUMPED OR FLUSHED WHERE FEEDER ROOTS OF TREES EXIST.
 - THE DEVELOPER OR HIS/HER/ITS AGENTS SHALL TAKE EVERY PRECAUTION NECESSARY TO PREVENT DAMAGE TO TREES OR SHRUBS TO BE RETAINED.
 - WHERE LIMBS OR PORTIONS OF TREES ARE REMOVED TO ACCOMMODATE CONSTRUCTION WORK, THEY WILL BE REMOVED CAREFULLY IN ACCORDANCE WITH ACCEPTED ARBORICULTURAL PRACTICE.
 - WHERE ROOT SYSTEMS OF PROTECTED TREES ARE EXPOSED DIRECTLY TO, OR DAMAGED BY CONSTRUCTION WORK, THEY SHALL BE TRIMMED NEATLY AND THE AREA BACKFILLED WITH APPROPRIATE MATERIAL TO PREVENT DESICCATION.
 - WHERE NECESSARY, THE TREES WILL BE GIVEN AN OVERALL PRUNING TO RESTORE THE BALANCE BETWEEN ROOTS AND TOP GROWTH OR TO RESTORE THE APPEARANCE OF THE TREES.
 - IF GRADES AROUND TREES TO BE PROTECTED ARE LIKELY TO CHANGE, THE OWNER SHALL BE REQUIRED TO TAKE SUCH PRECAUTIONS AS DRY WELLING, RETAINING WALLS AND ROOT FEEDING TO THE SATISFACTION OF THE PLANNING AND BUILDING DEPARTMENT OF THE TOWN OF OAKVILLE.



CUSTOM RESIDENTIAL
1502 MANSFIELD DRIVE OAKVILLE ONTARIO

SITE MAP

PIN DENOTES SITE LOCATION

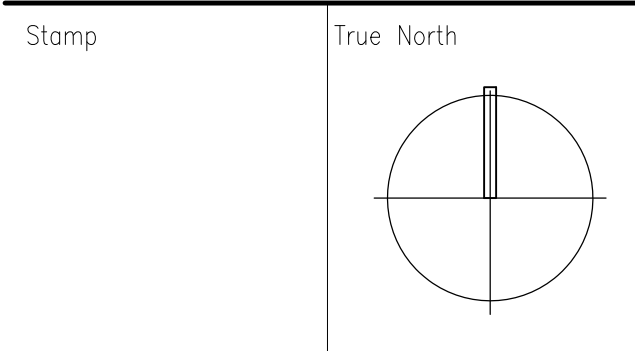


| No. | Revision | Date |
|-----|----------------------------|------------|
| 03 | ISSUED FOR COA APPLICATION | 2023.11.02 |
| 02 | ISSUED FOR PERMIT | 2023.08.22 |
| 01 | ISSUED FOR GRADING DESIGN | 2022.12.05 |

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ARCHAUS ARCHITECTS INC.
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MISSISSAUGA ONTARIO
L5G 3H4
(P) 905.891.3434

(E) info@archaus.ca



Project Type
CUSTOM RESIDENTIAL

Client
MR. S. KHARBANDA

Drawing
SITE PLAN AND NOTES

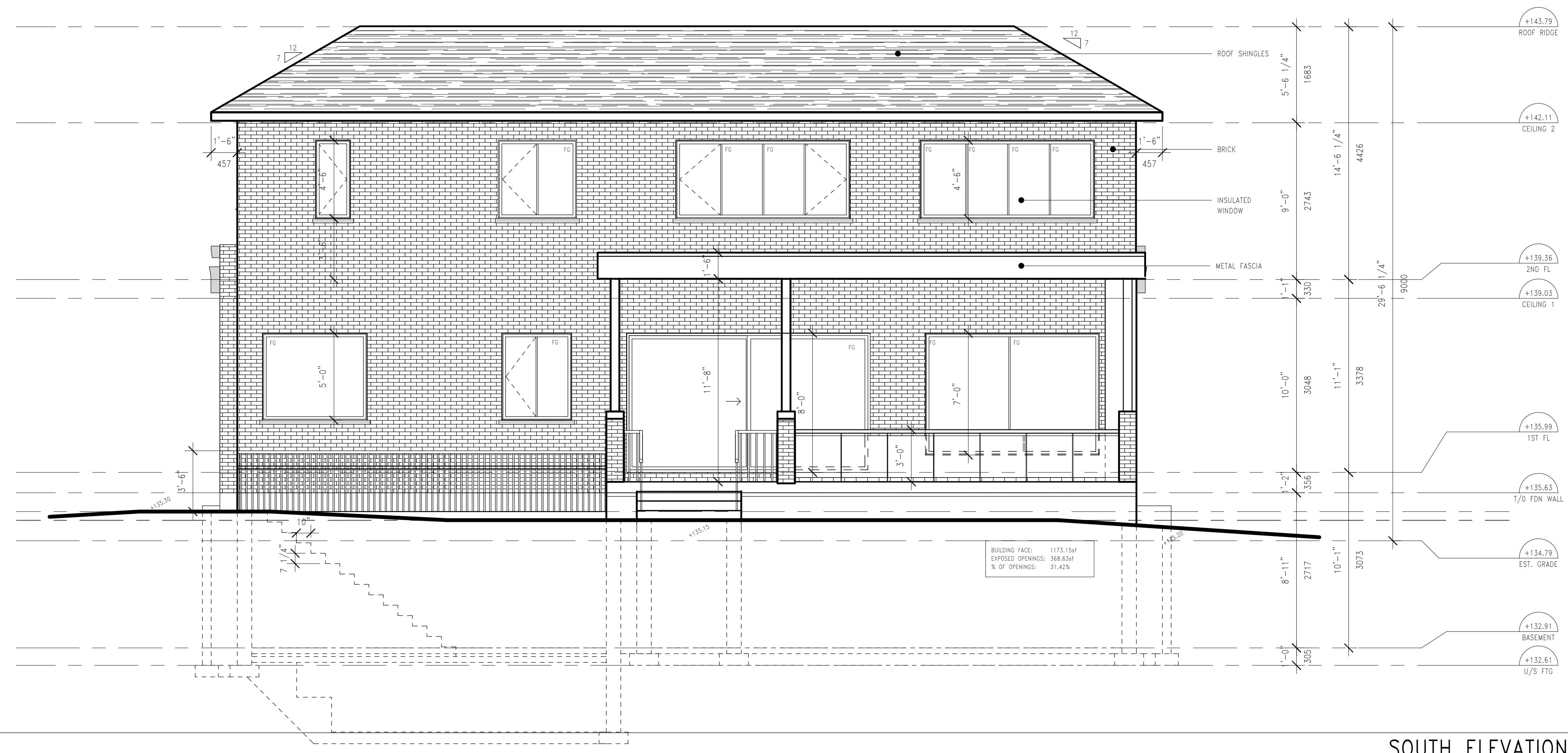
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Drawn By JW Drawing No.

Project No. 22-17

A0.01

ARCHAUS
ARCHITECTURE | DESIGN | PLANNING |



SOUTH ELEVATION 2
SCALE: 1/4" = 1'-0" A3.01



NORTH ELEVATION 1
SCALE: 1/4" = 1'-0" A3.01

RESIDENTIAL
1502 MANSFIELD DR, OAKVILLE

| No. | Revision | Date |
|-----|----------------------------|------------|
| 1 | ISSUED FOR COA APPLICATION | 2023.11.02 |
| 2 | ISSUED FOR PERMIT | 2023.08.29 |

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| | |
|-------|------------|
| Stamp | True North |
|-------|------------|

Project Type
RESIDENTIAL SINGLE DWELLING

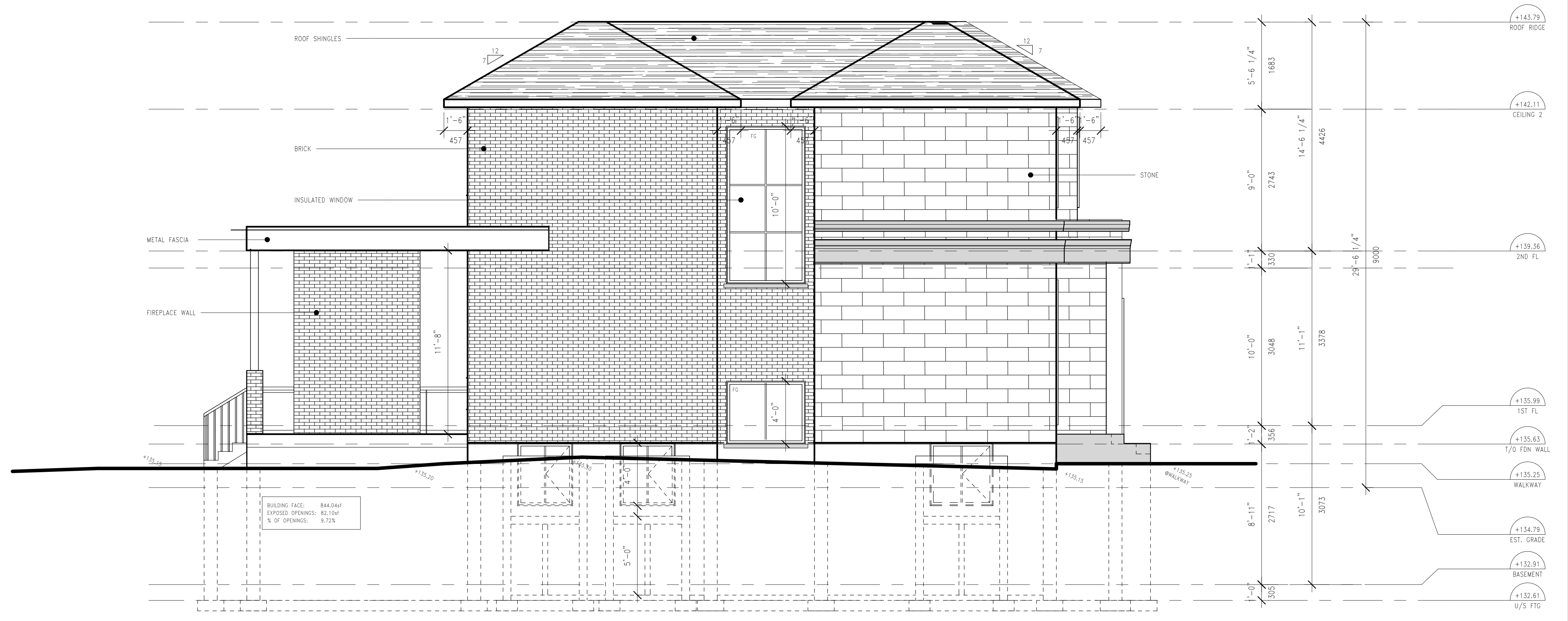
Client
Owner

Drawing
EXTERIOR ELEVATIONS

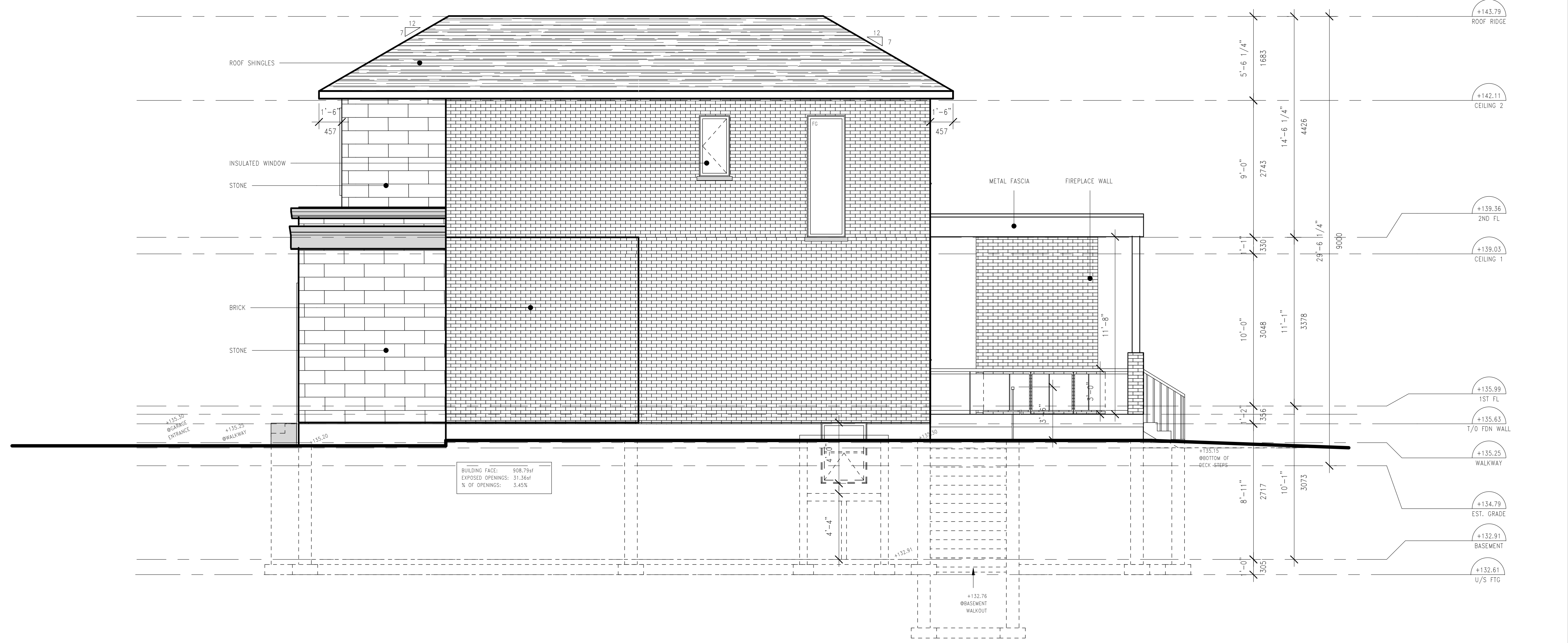
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1/4" = 1'-0" Date 2022.08.23

Drawn By RM Drawing No. A3.01
Project No. 22-17





WEST ELEVATION 2
SCALE: 1/4" = 1'-0" A3.02



EAST ELEVATION 1
SCALE: 1/4" = 1'-0" A3.02

RESIDENTIAL
1502 MANSFIELD DR, OAKVILLE

| No. | Revision | Date |
|-----|----------------------------|------------|
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Stamp True North

Project Type
RESIDENTIAL SINGLE DWELLING

Client
Owner

Drawing
EXTERIOR ELEVATIONS

Scale 1/4" = 1'-0" Date 2022.08.23

Drawn By RM Drawing No. 22-17

Project No. 22-17 A3.02

