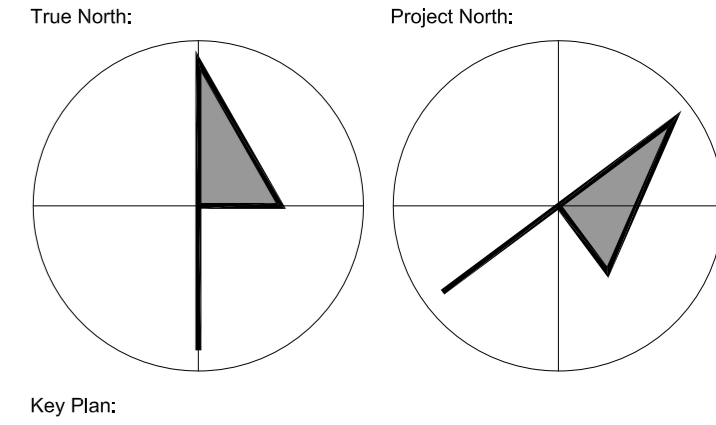
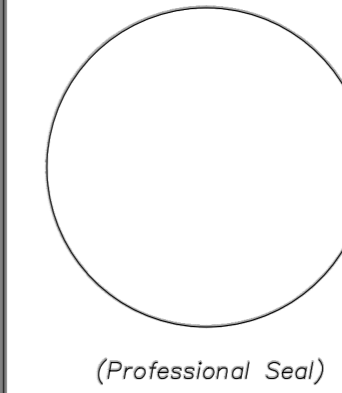
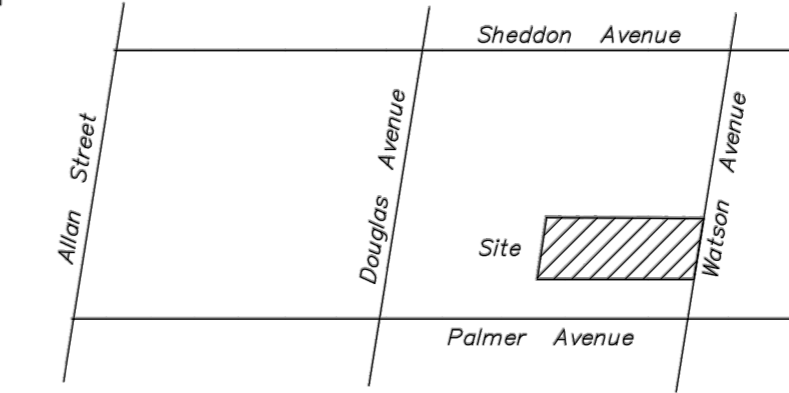


**MUNICIPAL RIGHT-OF-WAY NOTES**

- ALL WORKS WITHIN THE PUBLIC RIGHT-OF-WAY ARE TO BE CARRIED TO THE SATISFACTION OF THE TOWN OF OAKVILLE PUBLIC WORKS. ADDITIONAL PERMITS MAY BE REQUIRED.
- ALL STREET TREES ARE TO BE ADEQUATELY PROTECTED WITH PLYWOOD HOARDING.

**KEY PLAN**  
NOT TO SCALE



**STANDARD DEVELOPMENT NOTES**

**(A) ENGINEERING AND CONSTRUCTION DEPARTMENT**

- DRIVEWAYS ON THE MUNICIPAL RIGHT-OF-WAY SHALL BE PAVED BY THE APPLICANT.
- AT THE ENTRANCES TO THE SITE, THE MUNICIPAL CURB AND SIDEWALK SHALL BE CONTINUOUS THROUGH THE DRIVEWAY AND A CURB DEPRESSION WILL BE PROVIDED FOR THE ENTRANCE.
- THE TOPS OF ANY CURBS BORDERING THE DRIVEWAYS WITHIN THE MUNICIPAL BOULEVARD WILL BE FLUSH WITH THE MUNICIPAL SIDEWALK AND ROAD CURB.

**(B) GENERAL NOTES**

- THE EXISTING GRADES SHOWN ON THIS DRAWING ARE TO REMAIN UNCHANGED.
- THERE IS NO EASEMENTS REGISTERED ON TITLE AND AFFECTING THE SUBJECT LANDS.
- THE STOCKING OF CONSTRUCTION MATERIAL TO BE DONE AT THE SIDE OF THE PROPOSED DWELING ON PROPOSED DRIVEWAY.
- ALL ROOF DOWNSPOUTS FROM EAVESTROUGH TO DISCHARGE ONTO SURFACE AND THE RUNOFF DIRECTED TOWARDS THE REAR WHERE POSSIBLE AND TO THE ROAD.
- ROOF DOWNSPOUT IS LOCATED IN SUCH MANNER AS TO DIRECT DRAINAGE AWAY FROM WALKWAYS, DRIVEWAYS OR PATIO AREAS.
- MAINTAIN EXISTING GRADES IN AREA AROUND TREES TO BE PRESERVED.
- PRIOR TO CONSTRUCTION, CONTRACTOR TO VERIFY IN FIELD THE EXACT SIZE AND INVERTS OF THE EXISTING WATER SERVICE CONNECTION AND SEWER CONNECTIONS AND REPORT IT TO THE ENGINEER.
- ALL SURPLUS/EXCAVATED MATERIAL TO BE REMOVED FROM THE SITE.
- CONTRACTOR TO MATCH EXISTING GRADES ALONG PROPERTY LINES.
- ALL DISTURBED AREAS WITHIN EXISTING ROAD ALLOWANCE TO BE REINSTATED WITH TOPSOIL AND SOD TO THE SATISFACTION OF THE TOWN OF OAKVILLE.
- THE CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS, IF ANY DISCREPANCIES, THEY MUST BE REPORTED TO THE ENGINEER IMMEDIATELY PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES DURING CONSTRUCTION. GAS, HYDRO, TELEPHONE OR ANY OTHER UTILITIES THAT MAY EXIST ON THE SITE OR WITHIN THE STREETLINE MUST BE LOCATED BY ITS OWN UTILITIES AND VERIFIED PRIOR TO CONSTRUCTION.
- ALL CONNECTIONS SHALL BE INSTALLED AS PER REGIONAL STANDARDS AND SPECIFICATIONS.
- BUILDER IS TO VERIFY TO THE ENGINEER THAT THE FINAL FOOTING ELEVATION AND TOP OF FOUNDATION WALL ELEVATION ARE IN CONFORMITY WITH THE BUILDING CODE AND THE CERTIFIED GRADING PLAN PRIOR TO PROCEEDING.
- OUTSIDE FINISHED GRADE TO BE A MINIMUM OF 150 mm BELOW BRICK/STONE VENEER ELEVATION.
- PRIOR TO ANY SOODING, THE BUILDER IS TO ENSURE TO THE SOIL CONSULTANT AND/OR THE ENGINEER THAT THE LOT HAS BEEN GRADED AND TOPSOILED AND SODDED COMPLETELY WITH A MINIMUM DEPTH OF 100 mm OF TOPSOIL AND N°1 NURSURY SOD AND A MINIMUM DEPTH OF 150 mm CRUSHED STONE TO BE PROVIDED ON THE ENTIRE LENGTH OF EACH DRIVEWAY ON A FIRM SUBGRADE AND THE DRIVEWAY TO BE PAVED WITH A MINIMUM COMPACTED DEPTH OF 75 mm OF ASPHALT BETWEEN THE CURB AND THE GARAGE.
- NO SOODING ON ANY LOT IS PERMITTED UNTIL PRELIMINARY INSPECTION IS DONE BY THE ENGINEER AND THE BUILDER.
- DRIVEWAY GRADES SHALL BE NOT LESS THAN 2.0% AND NOT GREATER THAN 7.0%.
- LAWN AND SWALES SHALL HAVE MINIMUM SLOPE OF 2.0% AND A MAXIMUM SLOPE OF 5.0%.
- WHERE GRADES IN EXCESS OF 5% ARE REQUIRED, THE MAXIMUM SLOPE SHALL BE 3:1. GRADE CHANGES IN EXCESS OF 1.0m ARE TO BE ACCOMPLISHED BY USE OF A RETAINING WALL. RET. WALLS HIGHER THAN 0.6m SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE.
- THE SERVICE CONNECTION TRENCH THROUGH THE TRAVELLED PORTION OF THE ROAD ALLOWANCE SHALL BE BACKFILLED WITH UNSHINKABLE BACKFILL MATERIAL AS PER TOWN OF OAKVILLE STANDARDS UNLESS OTHERWISE SPECIFIED PRIOR APPROVAL FOR OTHER BACKFILL MATERIAL HAS BEEN OBTAIN.
- ALL WATERMANS AND WATER SERVICE MATERIALS AND CONSTRUCTION METHODS MUST CORRESPOND TO CURRENT REGION OF HALTON STANDARDS AND SPECIFICATIONS.
- WATERMANS AND/OR WATER SERVICES ARE TO HAVE A MINIMUM DEPTH OF 1.7 m WITH A MINIMUM HORIZONTAL SPACING OF 1.5 m FROM THEMSELVES AND OTHER UTILITIES AND 2.5m MINIMUM FROM ALL SEWERS.
- SEDIMENT CONTROL FENCE TO BE INSTALLED AS PER THE TOWN OF OAKVILLE STANDARDS.
- ALL DAMAGED AND DISTURBED AREAS TO BE REINSTATED WITH TOPSOIL AND SOD.

**SITE STATISTICS:**

ZONED	RL3-0 SP10
LOT AREA	662.9m <sup>2</sup>
MAXIMUM RESIDENTIAL FLOOR AREA RATIO	41%
MAXIMUM LOT COVERAGE FOR THE DWELLING	19%
PROPOSED RESIDENTIAL FLOOR AREA RATIO: (2717 SQ.FT = 252.40 SQ.M)	58.10%
PROPOSED LOT COVERAGE FOR THE DWELLING: 1775 SQ.FT = 164.91 SQ.M	24.9%

**SITE STATISTICS - ZONE RL3-0 sp:10**  
ZONING BY-LAW 2014-014

- LOT AREA = 662.9 m<sup>2</sup> (557.5 m<sup>2</sup> Minimum).
- LOT FRONTAGE = 14.22 m (18.0 m Minimum).
- AREAS FOR COVERAGE:
  - (A) MAIN DWELLING (Includes Garage) = 163.74 m<sup>2</sup>;
- LOT COVERAGE = 24.7% (19.0% Maximum).
- ESTABLISHED GRADE = 90.78 m.
- BUILDING HEIGHTS:
  - ROOF PEAK = 9.00 m (9.00 m Maximum);
- SETBACKS:
  - FRONT = 7.60 m (6.65 m Min. - 12.15 m Max.);
  - REAR = 20.05 m (Dwelling) (7.50 m Minimum);
  - SIDES = 1.80 m AND 2.00 m (1.80 m & 1.80 m Minimum - 2 Storey);
- RESIDENTIAL FLOOR AREA = 270.26 m<sup>2</sup>
- RFA/LOT RATIO = 40.8% (41% Maximum).

**REGION OF HALTON CERTIFICATE**

REGION DESIGN OF WATER AND/OR WASTEWATER SERVICES APPROVED SUBJECT TO DETAIL CONSTRUCTION CONFORMING TO HALTON REGION STANDARDS AND SPECIFICATIONS AND LOCATION APPROVAL FROM AREA MUNICIPALITY.

SIGNED: \_\_\_\_\_ DATED: \_\_\_\_\_  
INFRASTRUCTURE PLANNING & POLICY

The Applicant should be aware that the approval of the water system on private property is the responsibility of the Local Municipality. Regardless, the Applicant must ensure that the Region of Halton's standards and specifications are met. (The Water and Wastewater Linear Design Manual may be obtained thru Data Management Group at 905-825-6032).  
Furthermore, all water quality tests must be completed to the Region of Halton's satisfaction, before the water supply can be turned on.

**CUNNINGHAM McCONNELL LIMITED**  
ONTARIO LAND SURVEYORS

1200 SPEERS ROAD, UNIT 38  
OAKVILLE, ONTARIO L6L 2X4  
PHONE (905) 845-3497  
FAX (905) 845-3519  
E-mail: info@cmcsurveyors.ca

205 MAIN STREET  
MILTON, ONTARIO L9T 1N7  
PHONE (905) 878-7810  
FAX (905) 878-6572

CLIENT: INLET HOMES  
O.L.S. FILE N° 135-20U7M

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**UNDERGROUND SERVICES NOTE**  
ONLY UNDERGROUND SERVICES VISIBLE ON THE GROUND WERE LOCATED FOR THIS PLAN.  
THE USER OF THIS PLAN SHALL CONTACT THE LOCAL UTILITY COMPANIES FOR LOCATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION WORKS.

**SURVEYOR'S NOTE**  
I CERTIFY THAT:  
1. THIS PLAN WAS PREPARED FOR DESIGN PURPOSES ONLY AND IS NOT SUITABLE FOR ANY LEGAL TRANSACTIONS.  
2. THE TOPOGRAPHIC DETAIL SHOWN HEREON WAS ACQUIRED ON JANUARY 18, 2021.

DATE: FEB. 8, 2021  
ROBERT D. McCONNELL  
ONTARIO LAND SURVEYOR

**LEGEND**

- AA DENOTES ANCHOR WIRE(S)
- BB DENOTES BELL BOX
- CC DENOTES 1/2" BELL CABLE
- CON-0.20 DENOTES CONIFEROUS TREE 0.20 DIA
- DEC-0.20 DENOTES DECIDUOUS TREE 0.20 DIA
- FH DENOTES FIRE HYDRANT
- GM DENOTES GAS METER
- GV DENOTES GAS VALVE
- GS DENOTES U/G GAS MAIN
- HS DENOTES 1/2" HYDRO CABLE
- LS DENOTES LIGHT STANDARD (LAMP)
- MS DENOTES MANHOLE
- OW DENOTES OVER HEAD WIRE(S)
- SAM DENOTES SANITARY SEWER
- SSW DENOTES STORM SEWER
- UP DENOTES UTILITY POLE
- UPLS DENOTES UTILITY POLE/LIGHT STANDARD
- WV DENOTES WATER VALVE (KEY)
- WW DENOTES U/G WATER MAIN

**BOUNDARY NOTE**  
ALL BOUNDARY DATA SHOWN HEREON WAS COMPILED FROM THE REGISTRY OFFICE RECORDS AND WAS VERIFIED IN THE FIELD.

**ELEVATION NOTE**  
ALL ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE DERIVED FROM GPS OBSERVATIONS BASED ON THE TOWNET REAL TIME NETWORK GPS SYSTEM

**TREE NOTE**  
ONLY TREES OF A DIAMETER GREATER THAN 0.15 m WERE LOCATED FOR THIS PLAN.

**METRIC NOTE**  
ALL DISTANCES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED INTO FEET BY DIVIDING BY 0.3048.

**TOPOGRAPHIC SKETCH OF**  
**LOT 225 & 226**  
**REGISTERED PLAN 113**  
**TOWN OF OAKVILLE**  
**REGIONAL MUNICIPALITY OF HALTON**

3 0 3 6 9  
GRAPHIC SCALE - METRES SCALE 1 : 150

**DESIGN LEGEND**

- (95.85) DENOTES PROPOSED GRADE
- (95.85) DENOTES EXISTING GRADE
- ▶ DENOTES DOOR ENTRANCE
- (W) DENOTES DRAINAGE DIRECTION
- (M) DENOTES PROPOSED WATER METER
- (S) DENOTES PROPOSED SUMP PIT
- (H) DENOTES PROPOSED TREE HOARDING
- (X) DENOTES TREE TO BE REMOVED
- (S) DENOTES DOWNSPOUT C/W SPLASHPAD

1 2023-11-22 Minor Variance RM

No.	Date	Issued/Revision	By:
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**SMDA design ltd.**  
1492 Wallace Road, Unit 9, Oakville ON  
L6L 2Y2 Tel: 416 315 4567  
smda.ca

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**REGISTRATION INFORMATION:**  
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

**QUALIFICATION INFORMATION:**  
RICK MATELIAN BCIN 39448  
SMDA DESIGN LTD. BCIN 129915

Project:  
**218 Watson Ave.**  
**Oakville**

Project:  
**218 Watson Ave.**  
**Oakville**

Project:  
**218 Watson Ave.**  
**Oakville**

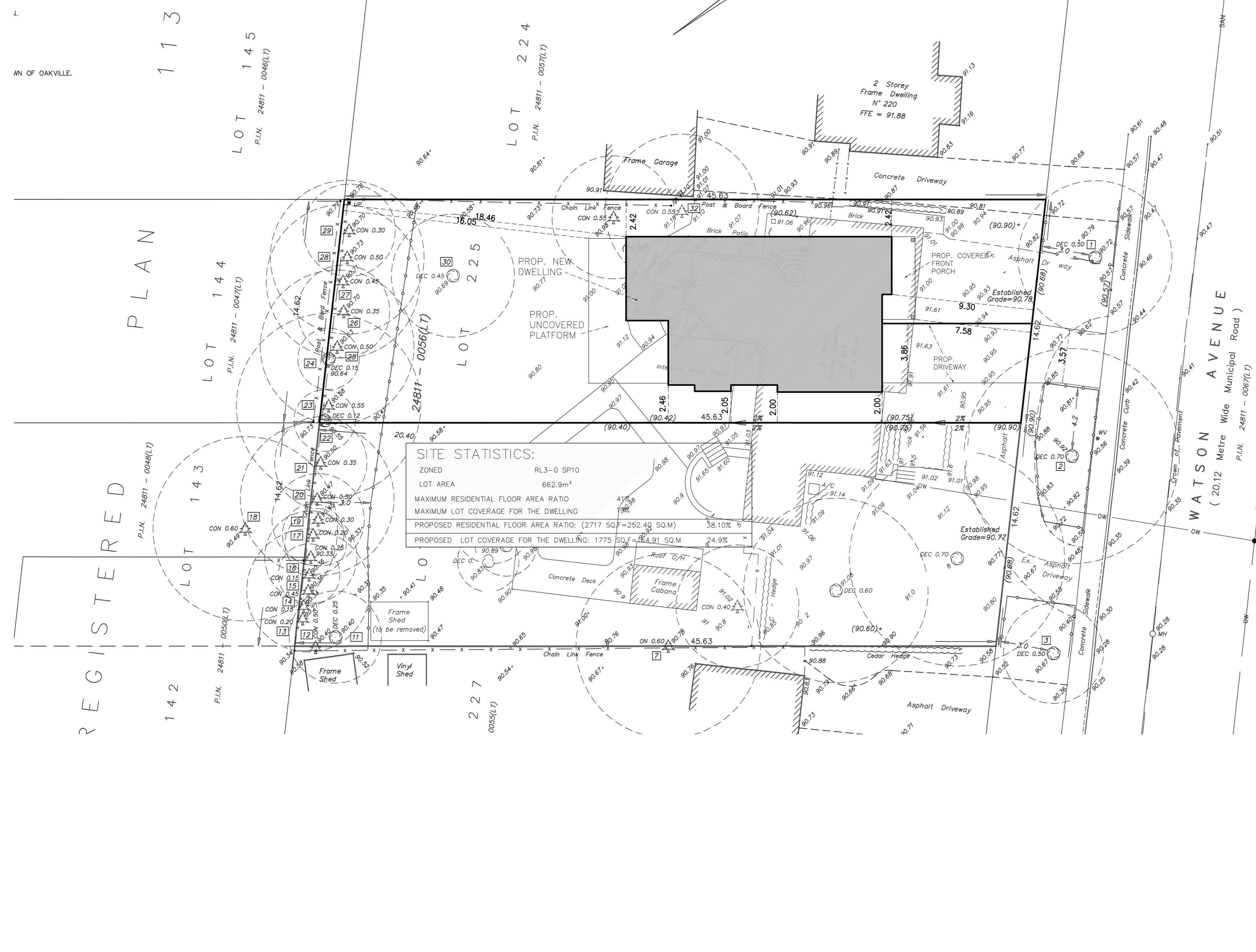
Sheet Title:  
**Site Plan**

Design By: <b>R.M.</b>	Drawn By: <b>R.M.</b>	Approved By: <b>R.M.</b>
Scale: <b>1:150</b>	Date: <b>2023-11-22</b>	Project No:

Drawing No:  
**S001.0**

**S001.0**

THIS SITE PLAN BASED ON:



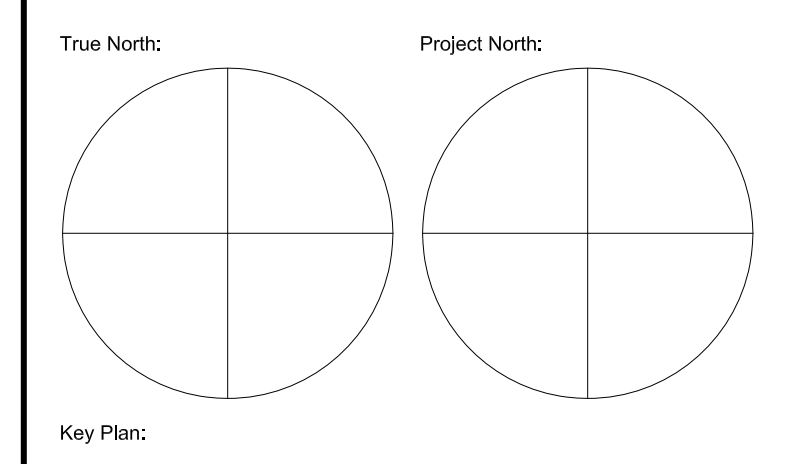




REAR (WEST) ELEV.



NORTH ELEV.



Key Plan:

No.	Date	Issued/Revision	By:
1	2023-11-22	Minor Variance	RM



**SMDA design ltd.**

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L6L 2Y2 Tel: 416 315 4567  
smda.ca

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**QUALIFICATION INFORMATION:**  
RICK MATELJAN BCIN 39448 *R. M.*  
SMDA DESIGN LTD, BCIN 128915

Project:  
**218 Watson Ave.  
Oakville**

Sheet Title:  
**Rear Elevation  
North Elevation**

Design By: <b>R.M.</b>	Drawn By: <b>R.M.</b>	Approved By: <b>R.M.</b>
Scale: <b>1/4"=1'-0"</b>	Date: <b>2023-11-22</b>	Project No:

Drawing No:  
**A003.1**

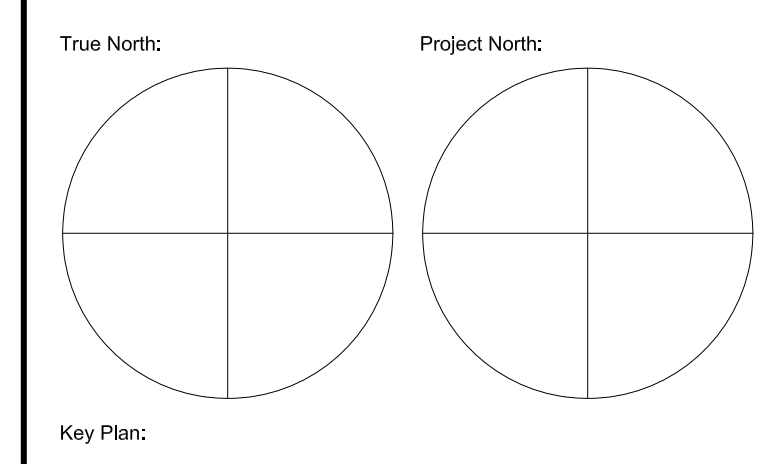
Engineer:



FRONT (EAST) ELEV.



SOUTH ELEV.



Key Plan:

No.	Date	Issued/Revision	By:
1	2023-11-22	Minor Variance	RM



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**QUALIFICATION INFORMATION:**  
RICK MATELIAN BCIN 39448 *R. M.*  
SMDA DESIGN LTD, BCIN 128915

**Project:**  
218 Watson Ave.  
Oakville

**Sheet Title:**  
Front Elevation  
South Elevation

Design By: R.M.	Drawn By: R.M.	Approved By: R.M.
Scale: 1/4"=1'-0"	Date: 2023-11-22	Project No:

Engineer:

Drawing No:  
**A003.0**