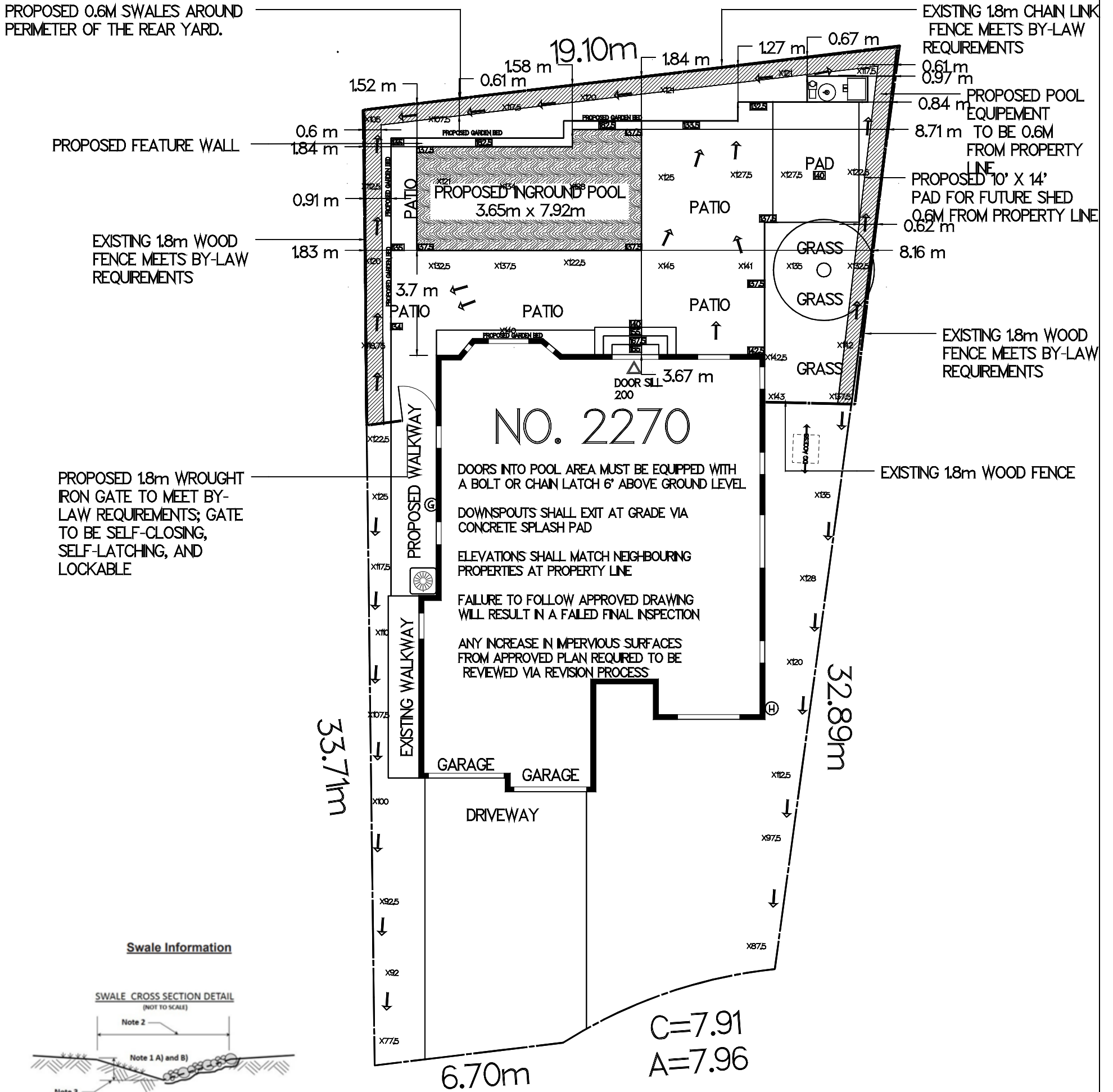


PROPOSED 0.6M SWALES AROUND PERIMETER OF THE REAR YARD.



PROPOSED FEATURE WALL

EXISTING 1.8m WOOD FENCE MEETS BY-LAW REQUIREMENTS

PROPOSED 1.8m WROUGHT IRON GATE TO MEET BY-LAW REQUIREMENTS; GATE TO BE SELF-CLOSING, SELF-LATCHING, AND LOCKABLE

EXISTING 1.8m CHAIN LINK FENCE MEETS BY-LAW REQUIREMENTS

PROPOSED POOL EQUIPEMENT 8.71 m TO BE 0.6M FROM PROPERTY LINE

PROPOSED 10' X 14' PAD FOR FUTURE SHED 0.6M FROM PROPERTY LINE

EXISTING 1.8m WOOD FENCE MEETS BY-LAW REQUIREMENTS

EXISTING 1.8m WOOD FENCE

NO. 2270

DOORS INTO POOL AREA MUST BE EQUIPPED WITH A BOLT OR CHAIN LATCH 6' ABOVE GROUND LEVEL

DOWNSPOUTS SHALL EXIT AT GRADE VIA CONCRETE SPLASH PAD

ELEVATIONS SHALL MATCH NEIGHBOURING PROPERTIES AT PROPERTY LINE

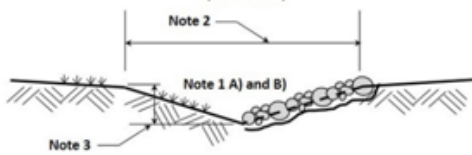
FAILURE TO FOLLOW APPROVED DRAWING WILL RESULT IN A FAILED FINAL INSPECTION

ANY INCREASE IN IMPERVIOUS SURFACES FROM APPROVED PLAN REQUIRED TO BE REVIEWED VIA REVISION PROCESS

C=7.91
A=7.96

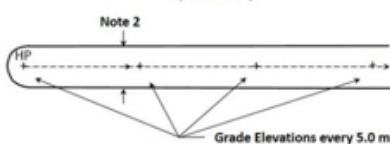
Swale Information

SWALE CROSS SECTION DETAIL
(NOT TO SCALE)



- All swales are to:
1. Be stabilized with either: A) Topsoil and sod, or B) Filter cloth and river rock (potato stone). Materials such as, fine gravel, mulch, etc. are not acceptable
 2. Have a width of 1.2 to 2.0 m (Side yard swales may be a min. 0.6 m in width)
 3. Have a depth of 150 to 600 mm
 4. Be defined as a "V" with side slopes of no more than 3:1
 5. Have a minimum linear slope of 2.0%
 6. Max. length of 60 m before outfall to sewer, creek or municipal road
 7. Have no walkways, retaining walls, gardens, trees, shrubs, etc. located within them.

SWALE PLAN VIEW
(NOT TO SCALE)



DWG: ENCLOSURE SITE PLAN 01
DATE: AUGUST 21, 2023
SCALE 1: 150
ALL DIMENSIONS IN METERS

TOWN OF OAKVILLE
REGION OF HALTON

x 146 EXISTING ELEVATION

146 PROPOSED ELEVATION

→ SLOPE

ALL ELEVATIONS IN CENTIMETERS

HILTOP LANE

December 5, 2023

VIA EMAIL: Angela@Jamesonpool.com

Brad Leeming
c/o Jameson Pool Landscape

Dear Applicant:

**RE: TransCanada PipeLines Limited's MLV 206 to 206A Line 200-2
CONSENT TO INSTALLATION OF STRUCTURE CAUSING A GROUND DISTURBANCE WITHIN THE
PRESCRIBED AREA OUTSIDE RIGHT-OF-WAY ("CONSENT")
Location: approx. 43.45344, -79.74191, 2270 Hilltop Lane, Oakville Ontario
Your File: PAR 50260
Our Crossing ID: D-36524-1**

**THIS CONSENT EXPIRES TWO (2) YEARS FROM THE DATE ABOVE IF THE INSTALLATION OF THE
STRUCTURE HAS NOT BEEN COMPLETED.**

1. In this Consent:

- a. **"Applicant", "you" or "your"** means **Brad Leeming** and any of the Applicant's contractors, sub-contractors, agents or representatives;
- b. **"Company's Facility"** means a pipeline - including all branches, extensions, tanks, reservoirs, storage or loading facilities, pumps, racks, compressors, interstation communication systems, real or personal property, or immovable or movable, and any connected works – that connects at least two provinces or extends beyond the limits of a province, that is used or is to be used for the transmission of oil, gas or any other commodity. It does not however include a sewer or water pipeline that is used or is to be used solely for municipal purposes;
- c. **"Ground Disturbance"** means any work, operation or activity that results in an addition to or reduction of the earth cover on the ground, including but not limited to excavating, digging, trenching, plowing, ditching, boring, drilling, tunneling, quarrying, grading, leveling, removing peat, clearing, pounding posts, augering, backfilling, blasting, and stripping topsoil but does not include the installation of survey flags;
- d. **"Pipe"** means a pipe that is part of a pipeline and that is used or is to be used for the transmission of hydrocarbons and any other commodity;
- e. **"Prescribed Area"** means the area that extends 30 metres perpendicularly on each side of the centreline of the Company's Pipe; and
- f. **"Right-of-Way"** means (i) the easement or right-of-way held by the Company within which the Company's Facility is located; or (ii) where the Company does not have a registered easement or right-of-way for its Facility within a crossing area (such as may be the case where the Company's Facility crosses a road or railway), means the corridor of land as wide as the registered easement or right-of-way held by the Company on either side of the crossing area.

Ground Disturbance

2. Further to your request dated November 28, 2023 ("**Request**"), **TransCanada PipeLines Limited ("Company")** consents to your proposed installation ("**Structure**") causing a Ground Disturbance within the Prescribed Area but outside the Right-of-Way at the location noted above and as shown on the surveys, sketches or drawings attached hereto subject to the following:

- a. the Ground Disturbance is confined to the area within the Prescribed Area as indicated on the survey, sketch or drawing attached hereto;
- b. you provide **three (3) business days' notice** to Company's field representative (the "**Company's Field Representative**") prior to the commencement of any work or activities that involve any Ground Disturbance within the Prescribed Area;
- c. you make a locate request through the applicable one-call or notification centre at www.clickbeforeyoudig.com a minimum of **three (3) business days** before the day on which work or activities that involve any Ground Disturbance within the Prescribed Area are to start;
- d. you do not begin any Ground Disturbance until the Company's Field Representative has:
 - i. located and marked the location of Company's Facility, including where applicable the location of the Prescribed Area and Right-of-Way, with suitable markings; and
 - ii. provided you with Company's *Stakeout Report and Ground Disturbance Approval* form in the field and clearly outlined the significance and meaning of the markings, which you acknowledge with a signature;
- e. you maintain the markings placed by the Company's Field Representative and if you or the Company determine at any time that the location of the markings is not accurate or that the markings are no longer in place, you cease all work and activities until the Company's Field Representative has re-located and re-marked the location of the Company's Facility with suitable markings;
- f. **you do not enter onto or cause a Ground Disturbance within the Company's Right-of-Way at any time without a separate written consent by the Company;**
- g. you ensure that the Ground Disturbance contemplated in your Request is carried out in accordance with any technical details you have set out in your Request and is the only Ground Disturbance you carry out within the Prescribed Area;
- h. you ensure that the activity contemplated in your Request is completed within two years after the day on which this Consent is dated;
- i. you follow the instructions of the Company's Field Representative regarding the procedures that are to be followed during the activity and that relate to the pipeline's safety and security;
- j. you do not excavate within five (5) metres of the Pipe without fully exposing the Pipe, at your cost, by either hand digging or hydrovac;
- k. you do not conduct any mechanical excavation within 1.5 metres of the Pipe; and
- l. you ensure no damage occurs to the Company's Facility. In the event any contact is made with the Company's Facility or its coating, all activities must immediately stop, and you must notify the Company immediately. Any repairs that are necessary to the Company's Facility will be carried out by the Company at the Applicant's cost.

Municipal Approval and Setbacks

3. You shall obtain any and all necessary approvals from the local municipality and ensure the installation of the Structure complies with any setbacks prescribed by said municipality.
4. Where no municipal setback exists, you ensure the Structure maintains a minimum separation distance of **7 metres** from the edge of the Company's Right-of-Way.

Liability

5. You shall be liable to the Company for any loss, damage or expense the Company may suffer, sustain, pay or incur by reason of any of your acts or omissions in respect of, or caused by, the Ground Disturbance within the Prescribed Area or any associated activities contemplated within this Consent. The obligations in this paragraph survive the expiry of this Consent.

6. This Consent together with any information provided to you by the Company's Field Representative constitutes the Company's safety practices, provided to you in writing, to be followed while working within the Prescribed Area and in the vicinity of the Company's Pipeline(s).

7. The Company Field Representative's contact information is as follows:

Name: Mark O'Connell
Title: Pipeline Technician
Telephone: 289-260-3514 (Cell)
Email: mark_oconnell@tcenergy.com

8. In case of an emergency you shall call the number listed below as soon as possible:

In Case of Emergency: 1-888-982-7222

9. This Consent will expire two years from the date of this Consent if installation of the Structure has not been completed.

10. You must date, sign and return a copy of this Consent to crossings@tcenergy.com prior to commencing your activities. In addition, a fully executed copy must be on site at all times during your activities.

Yours truly,

TransCanada PipeLines Limited


For internal use only:

Per:  **Lara Christie**
Authorized Signatory

Standard Form	JC	
Non-Standard Form Approved as to Form and Content	Business	Legal

Per:  **Shanna Funk**
Authorized Signatory

I, Brad Leeming, acknowledge and agree to the terms and conditions herein this 6 day of December, 2023.

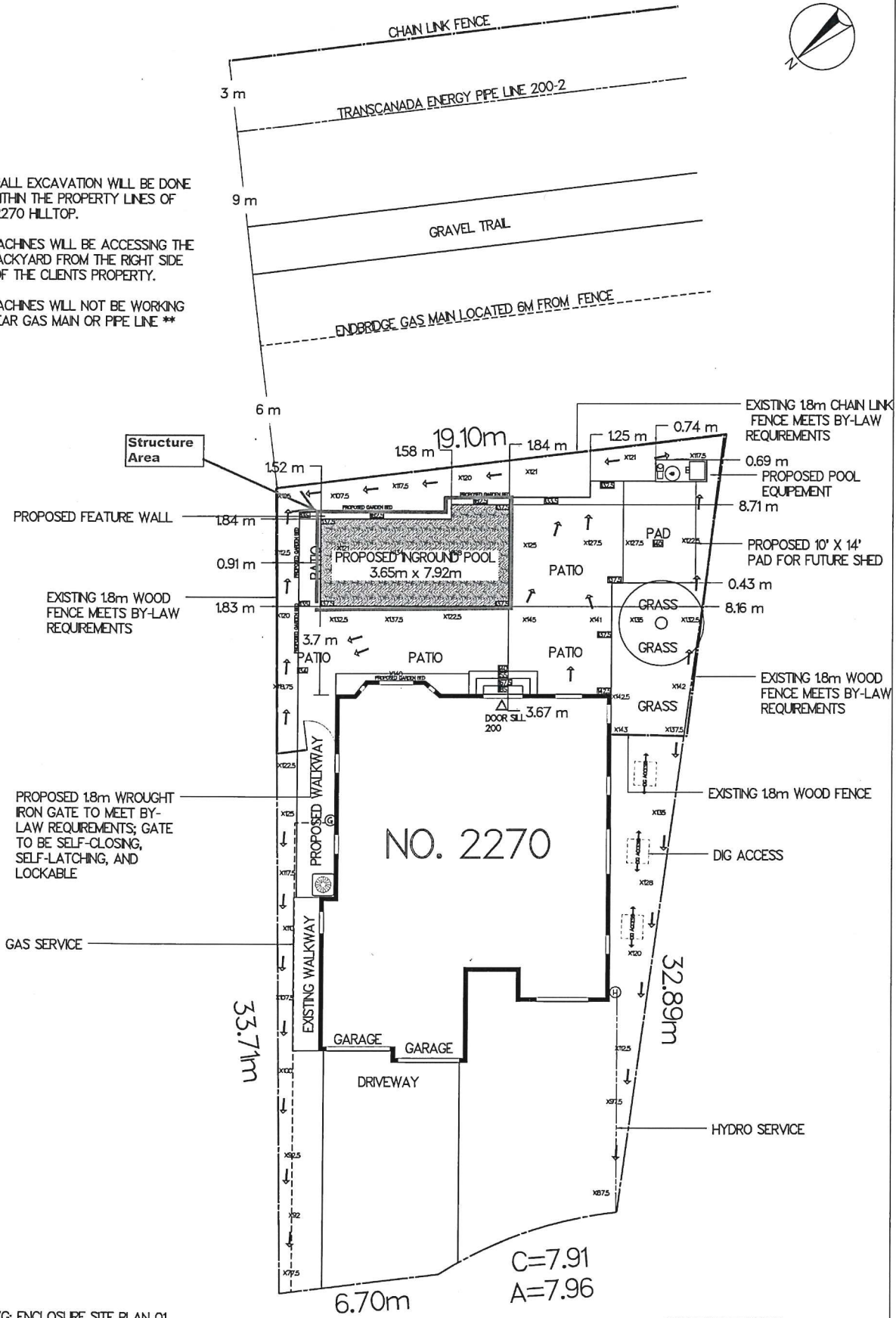

Brad Leeming



**ALL EXCAVATION WILL BE DONE WITHIN THE PROPERTY LINES OF 2270 HILLTOP.

MACHINES WILL BE ACCESSING THE BACKYARD FROM THE RIGHT SIDE OF THE CLIENTS PROPERTY.

MACHINES WILL NOT BE WORKING NEAR GAS MAIN OR PIPE LINE **



DWG: ENCLOSURE SITE PLAN 01
DATE: AUGUST 21, 2023
SCALE 1 : 150
ALL DIMENSIONS IN METERS

TOWN OF OAKVILLE
REGION OF HALTON

HILTOP LANE

- x 146 EXISTING ELEVATION
- [146] PROPOSED ELEVATION
- SLOPE
- ALL ELEVATIONS IN CENTIMETERS

C=7.91
A=7.96



EST. 1995

WILDWOOD
TREE SERVICES LTD

905-337-TREE

2270 Hiltop Lane Oakville, Ontario Arborist Report & Tree Protection Plan

Report to:	David Burgess Tree Protection Inspector Town of Oakville David.Burgess@oakville.ca 905-845-6601 x4460	Submitted by:	Wildwood Tree Services Michael Boulanger ISA Certified Arborist info@wildwoodtree.ca 905-337-8733
Requested by:	Angela Lin Jameson Pools angela@jamesonpool.com 905-828-7665	Report Author:	Jennifer Kreller info@wildwoodtree.ca
Re:	Pool Permit Application		
Customer Name:	Brad Leeming		
Date:	August 25, 2023		
# of Pages:	14		


Mike Boulanger, ON0893-AT

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Site & Report Background:

To obtain a permit to install a pool at 2270 Hiltop Lane in Oakville.

I have visited the above site and collected all relevant data pertaining to tree protection on site and any relevant trees within 6 meters of the property line. Data was collected on August 24, 2023 by Mike Boulanger ISA Certified Arborist.

Observations & Recommendations:

There are 5 trees identified in this report; any municipal trees located within 6 meters of the property line and all privately owned trees over 15cm in DBH within 6 meters of the property line.

Privately owned tree 3 requires removal to accommodate the proposed pool and over dig. A tree removal permit is required. There is also an 8cm Red Oak tree in the backyard that will require removal as well; no permit required.

The proposed construction access will encroach on the tree protection zone of privately owned tree 4. It is recommended that steel plating or a 5" layer of woodchips topped with plywood is used throughout machine use to protect the root systems from damage and/or soil compaction.

It is recommended that the proposed slab is installed on grade, to minimize excavation within the 2.4m tree protection zone of privately owned tree 4. Alternatively, ensure any excavation is outside the 2.4m tree protection zone.

All remaining trees are to be protected as per the Town of Oakville standards throughout construction.

This report has been written in accordance with the Town of Oakville's Tree Protection during Construction Procedures. Additional information can be found at <http://www.oakville.ca/townhall/en-tre-001-001.html>

Inspection of the trees on site was limited to a visual assessment from the ground only, unless stated otherwise. No inspection via climbing, exploration below grade, probing, or coring were conducted. Any observations and data collected from site are based on conditions at the time of inspection. Diameters of trees located on neighbouring properties were estimated to avoid trespassing.

Tree Inventory

Tree No.	Species	DBH (cm)	Crown Reserve (m)	Health	Structural Condition	Preservation Rating	TPZ (m)	Ownership	Observations/ Comments/ Recommendations
1	Sugar Maple, <i>Acer saccharum</i>	7	1	G	G	H PRESERVE	2.4	Town of Oakville; Appraisal value \$396.33	Tree ID 693546.
2	Paper Birch, <i>Betula papyrifera</i>	21 12/12/ 13	8.5	G	G	H PRESERVE	2.4	Neighbour	1m from property line. MS.
3	Red Maple, <i>acer rubrum</i>	18	8	G	G	L REMOVE	N/R 2.4	Private	PP. PD; requires removal to accommodate pool and over dig. Permit required.
4	Eastern Redbud, <i>Cercis canadensis</i>	30	10.9	G	F	H PRESERVE	2.4	Private	IB. Previously cabled and rod installed. Root protection within TPZ recommended and slab on grade to minimize excavation.
5	Little leaf linden, <i>Tilia cordata</i>	38	10.3	G	G	H PRESERVE	3.0	Town of Oakville; Appraisal value \$5230.89	Tree ID 43478. IB. PP. 5m from property line.

*DBH Estimated due to access restraints

PWF = Protected with fencing **Requires attention**

TREE INVENTORY METHODOLOGY

DBH (cm): Diameter at breast height, standard of 1.4m above ground.

Height (m)3.5 Height of tree from ground to top of crown.

Crown Reserve (m): Diameter of crown, the trees canopy width.

Health: General overall health of the tree. Rated as (E) excellent, (G) good, (F) fair, (P) poor, (D) dead.

Structural Condition: Based on structural faults or defects Rated as (E) excellent, (G) good, (F) fair, (P) poor.

Preservation Rating: A trees projected survival based on the existing conditions. Rated as (H) high, (M) moderate, (L) low.

Observations, Comments, and Recommendations:

BC= broken crown	PP= passed pruning	PTH= planted high
BN= bark necrosis (dead/dying bark)	PD= proposed development near tree	
BR= branch	PS= prune away from structure	
BS= bark split	PT= preserve tree	
BT= bent trunk	PTL= planted low	
CD= crown die back	RB= remove basket	
CN= crown	RC= requires cabling	
DC= tree in decline	RM= remove plant	
DD= dead	RP= requires pruning	
DF= defoliated	RS= remove stakes or wire	
DS= diseased	TD= trunk decay	
DW= deadwood	TP= transplanting potential	
EC= elevate canopy	TRS= transplant stress	
ER= exposed roots	TS= trunk split	
EX= existing cable	UT= understory tree	
FC= frost cracks		
FS= plant in footprint of proposed structure		
GC= impact from grade changes		
GR= girdling roots		
HT= hazardous tree		
IB= included bark		
LN= leaning		
LS= light suppressed		
MS= multiple stems		
PC= pollarded crown		
PL= poor leader development		

<u>Tree Appraisal - Replacement Method</u>			
Tree Number:	1		
Address:	2270 Hiltop Lane		
Owner:	Town of Oakville		
Date of Appraisal:	25-Aug-23		
Appraiser:	Mike Boulanger		
Certification Number:	ON-0893AT		
Field Observations			
	1. Species:		Sugar Maple
	2. Species Rating:		80%
	3. Condition:		73%
	4. Location:		74%
Replacement Summary			
	1. Plant Cost	\$	225.00
	2. Installation Cost	\$	345.00
	3. Removal Cost	\$	150.00
Evaluation			
	Replacement Value:	\$	396.33

Tree Appraisal - Trunk Formula Method

Tree Number: **5**
 Address: **2270 Hiltop Lane**
 Owner: **Town of Oakville**
 Date of Appraisal: **August 25, 2023**
 Appraiser: **Mike Boulanger**
 Certification
 Number: **ON-0893AT**

Field Observations

1. Species:	Little Leaf linden
2. Condition:	72%
3. DBH:	38
4. Location:	69%

Regional Plant Appraisal or Appraiser Developed or Modified Information

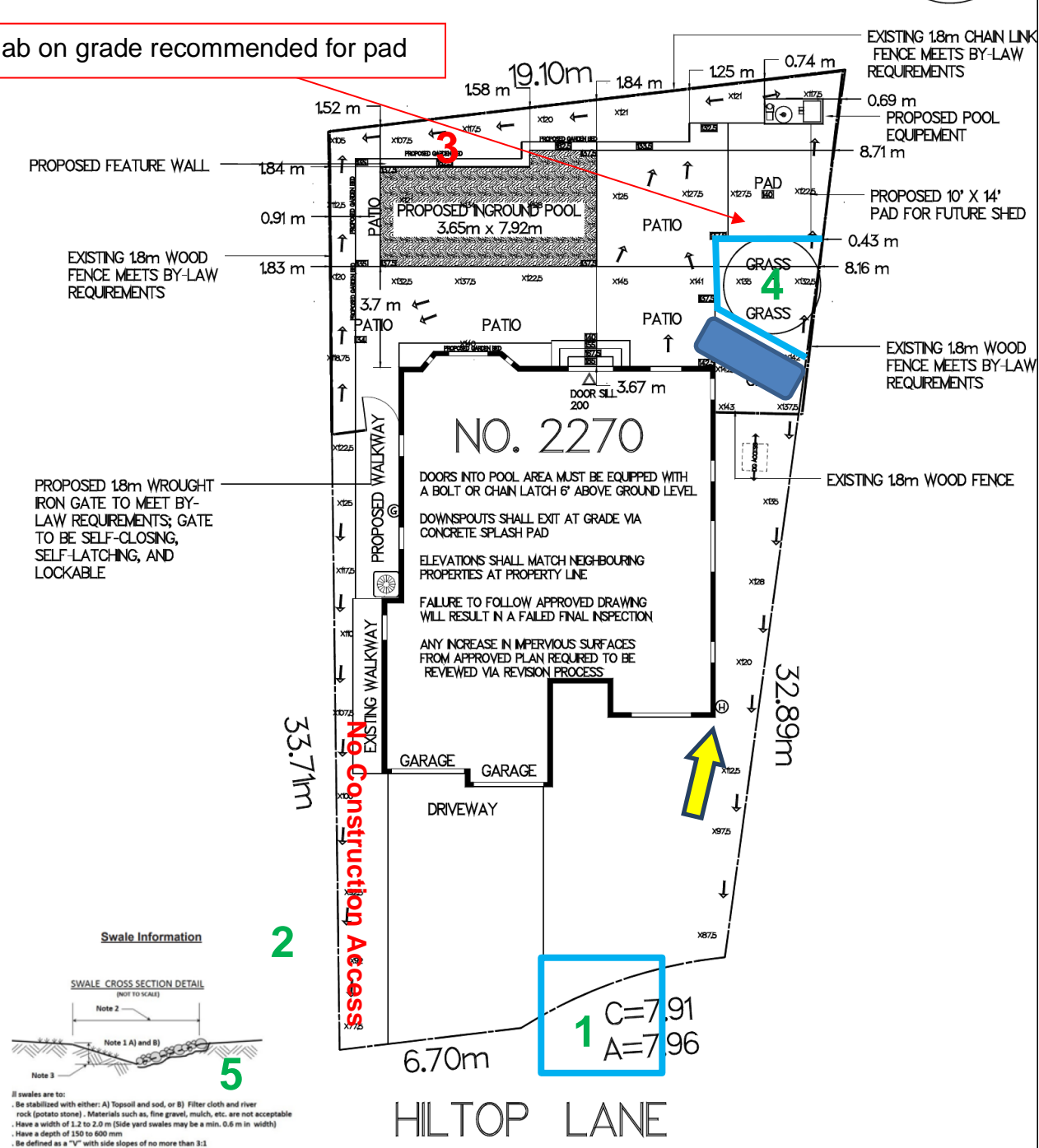
5. Species Rating:	70%
6a. Replacement Plant Size:	12
6b. Trunk Area:	113.04
7. Replacement Plant Cost:	500
8. Installation Cost:	1000
9. Installed Tree Cost:	1500
10. Unit Tree Cost:	13.27

Calculations by Appraiser using Field and Regional Information

11. Appraised Trunk Area:	1,133.54
12. Appraised Tree Trunk Increase: (#11 less #6b)	1,020.50
13. Basic Tree Cost (#12 x #10 + #9):	15,041.67
14. Appraised Value:	\$5,230.89

Site Plan & Tree Protection Measures: (tree canopies and locations are approximate and not to scale)

Slab on grade recommended for pad



Root Sensitive Excavation (Air Spade or hydro vac) & Root Pruning by a certified arborist prior to excavation

Tree Protection Hoarding is indicated in BLUE

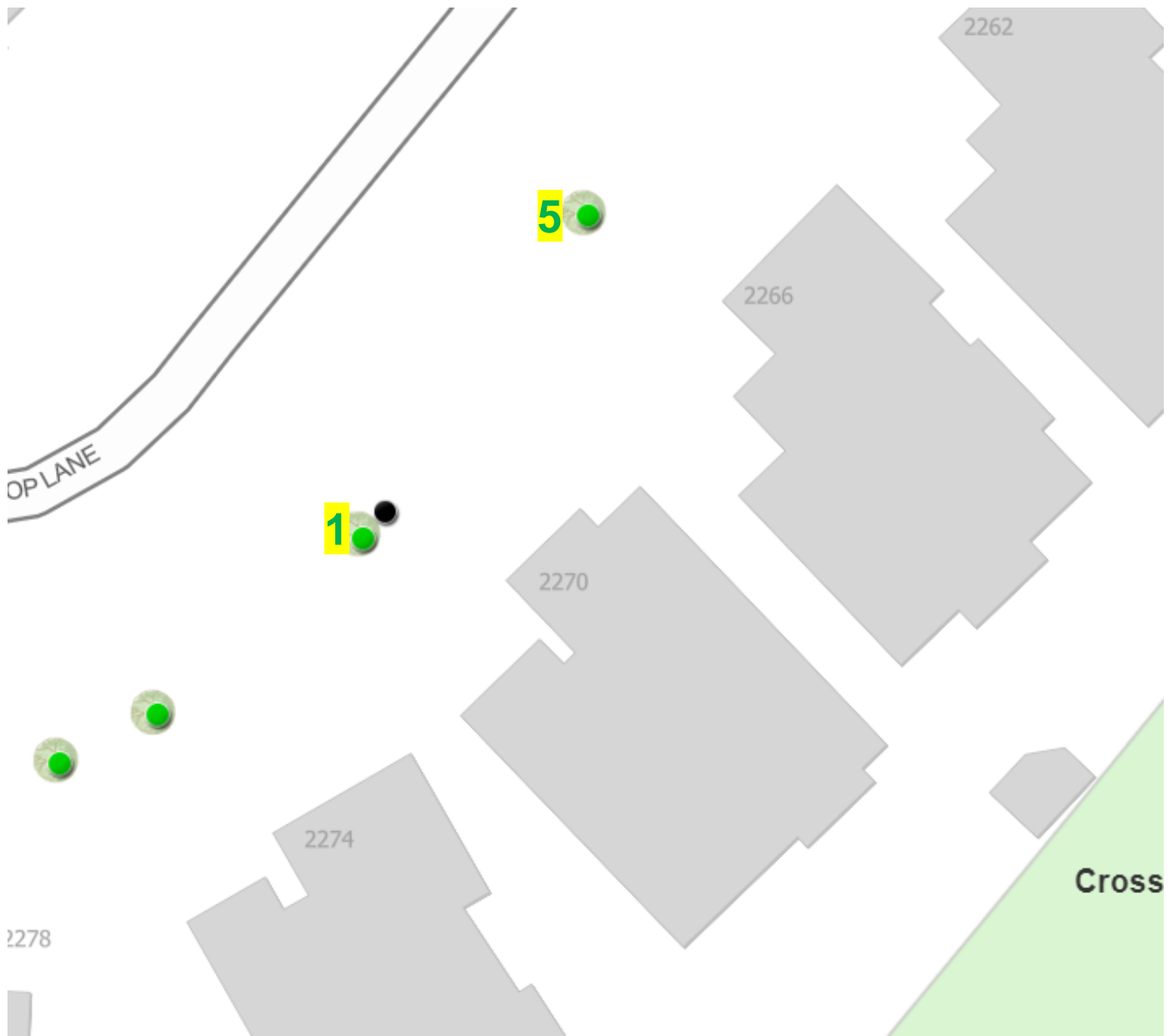
Root Protection Layer of woodchips and plywood or Steel Plating


Digging Access

Please see the Inventory Page to determine the recommended TPZ (Tree Protection Zone) requirements for each tree.

Mike Boulanger
ISA Certified Arborist ON-0893AT
Wildwood Tree Services Ltd.

Town of Oakville GIS



 **Hoarding is indicated in BLUE**
Digging Access
5" Layer of woodchips & Plywood or Steel Plating

For more information please refer to the following page and the link below for additional details for Tree Protection during Construction within The Town of Oakville
<http://www.oakville.ca/townhall/en-tre-001-001.html>

Never allow any construction material, fill or equipment to be stored within the TPZ of any preserved trees.

Mike Boulanger
ISA Certified Arborist ON-0893AT
Wildwood Tree Services Ltd.

Site Photos

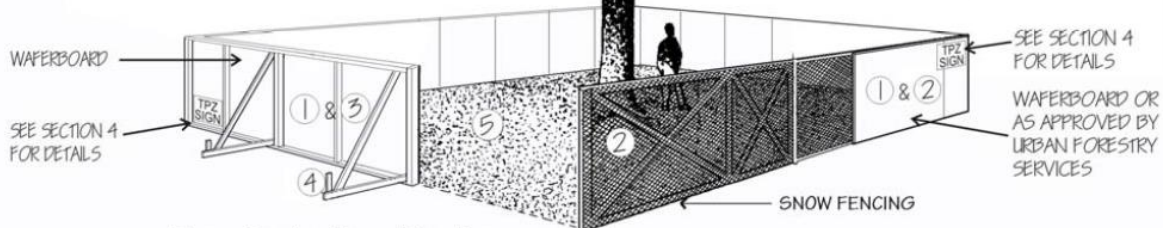
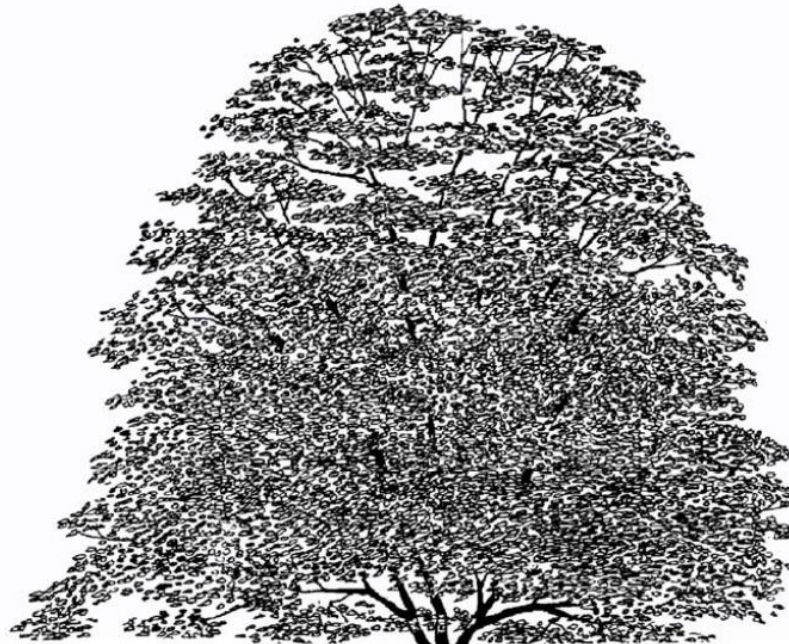






OAKVILLE

SCHEDULE 1 TREE PROTECTION BARRIER



Tree Protection Barriers

PLYWOOD

- ① Tree protection barriers must be 1.2m (4ft) high, waferboard hoarding or an equivalent approved by Urban Forestry Services.
- ② Tree protection barriers for trees situated on the Town road allowance where visibility must be maintained can be 1.2m (4ft.) high and consist of plastic web snow fencing on a wood frame made of 2"x 4"s .
- ③ Where some excavate or fill has to be temporarily located near a tree protection barrier, plywood must be used to ensure no material enters the Tree Protection Zone.
- ④ All supports and bracing should be outside the Tree Protection Zone. All such supports should minimize damaging roots outside the Tree Protection Barrier.
- ⑤ No construction activity, grade changes, surface treatment or excavations of any kind is permitted within the Tree Protection Zone.

Wildwood Tree Services Ltd. Favored Tree Species for Urban Settings.

Large Shade Trees.

- Sugar Maple, *Acer saccharum*
- Red Oak, *Quercus rubra*
- American Beech, *Fagus grandifolia*
- European Beech, *Fagus sylvatica*
- Tulip Tree, *Liriodendron tulipifera*
- Kentucky Coffeetree, *Gymnocladus dioicus*

Evergreens (Coniferous)

- Silver Fir, *Abies concolor*
- Canadian Hemlock, *Tsuga canadensis*
- Eastern White Pine, *Pinus strobus*
- Colorado Blue Spruce, *Picea pungens*
- Hicks Yew, *Taxus media hicksii*
- Black Cedar, *Thuja Occidentalis Nigra*

Small and Ornamental Trees.

- Hackberry, *Celtis occidentalis*
- River Birch, *Betula nigra*
- Chanticleer Pear, *Pyrus calleryana chanticleer*
- Bradford Pear, *Pyrus calleryana bradford*
- Paperbark Maple, *Acer griseum*
- Bloodgood Japanese Maple, *Acer palmatum bloodgood*
- Siberian Crab Tree, *Malus baccata*
- Pyramidal English Oak, *Quercus robur fastigiata*
- Dawyck Purple Beech, *Fagus Sylvatica dawyck purple*
- Tricoloured Beech, *Fagus sylvatica 'Tricolor'*
- Florida Dogwood, *Cornus florida Std.*

It is best to consult an arborist to ensure you are selecting a species that is suitable for its location. A well maintained and carefully selected tree will ensure a tree that is both beautiful and sustainable.

**"The true meaning of life is to plant trees,
under whose shade you do not expect to sit."
~Nelson Henderson**

Business Licence

23-110104

Licence type: Arborist, Arboricultural Company

Wildwood Tree
Service

Wildwood Tree
Services Ltd
(Jennifer Kreller)
3448 NINTH Line

Issue date:
May 03, 2023

Expiry Date:
Apr 30, 2024



OAKVILLE

Licensing Commissioner



The International Society of Arboriculture

Hereby Announces That

Mike Boulanger

Has Earned the Credential

ISA Certified Arborist ®

By successfully meeting ISA Certified Arborist certification requirements through demonstrated attainment of relevant competencies as supported by the ISA Credentialing Council

Caitlyn Pollihan
CEO & Executive Director

31 May 2003

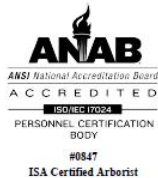
30 June 2024

ON-0893AT

Issue Date

Expiration Date

Certification Number



Mike Boulanger
ISA Certified Arborist ON-0893AT
Wildwood Tree Services Ltd.

Committee of Adjustment

Decision for: CAV A/051/2022


<u>Owner (s)</u>	<u>Agent</u>	<u>Location of Land</u>
BLAKE WEBB 119 FERNLEA CRES OAKVILLE ON, L6H 6B3	N/A	119 FERNLEA CRES PLAN M564 LOT 66

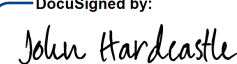
This notice is to inform you that the request for variance made under Section 45(1) of the *Planning Act* has been **Approved** to permit the construction of an outdoor swimming pool on the subject property proposing the following variance:

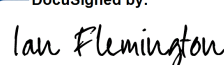
No.	Zoning By-law Regulation	Variance Request
1	Section 4.19.3 b) Notwithstanding any other provision of this By-law, no outdoor swimming pool shall be located any closer than 3.0 metres from the limit of the TransCanada Pipeline right-of-way.	To permit the outdoor swimming pool to be located 1.53 metres from the limit of the TransCanada Pipeline right-of-way.

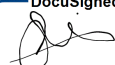
No written or oral submissions from the public were received. The Committee is of the opinion that the variance is considered minor in nature, desirable for the use of the land and in keeping with the general intent of the town's official plan – Livable Oakville Plan and the zoning by-law, subject to:

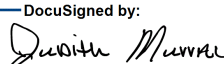
- That the proposed pool be built in general accordance with the submitted site plan dated January 19, 2022, subject to obtaining a pool permit from Transportation and Engineering; and
- That the approval expires two (2) years from the date of the decision if a Development Engineering (DENG) permit has not been issued for the proposed construction.

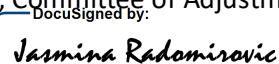
M. Telawski _____
DocuSigned by:

66F76254FCA647E...

_____ J. Hardcastle
DocuSigned by:

9982ADBE1B294F9...

I. Flemington _____
DocuSigned by:

E94D5CF9B2A34F2...

_____ S. Mikhail
DocuSigned by:

0CE5B1DD188544A...

J. Murray _____
DocuSigned by:

3E89AC8E9D1242C...

Chairperson, Committee of Adjustment
DocuSigned by:

2692D94F90ED442...
 J. Radomirovic
 Assistant Secretary-Treasurer

Dated at the meeting held on April 5, 2022.

Last date of appeal of decision is April 25, 2022.

NOTE: It is important that the sign(s) remain on the property until a **FINAL** decision has been rendered regarding your Application. **The sign shall be removed the day following the last date of appeal.**

This is a certified copy of the Committee of Adjustment final decision whereby no appeals filed.

 Jasmina Radomirovic
 Assistant Secretary-Treasurer

Committee of Adjustment

Decision for: CAV A/100/2022

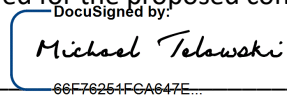
<u>Owner (s)</u>	<u>Agent</u>	<u>Location of Land</u>
MARY CEPO MILENKO CEPO 2068 WOODGATE DR OAKVILLE ON, L6M 4E1	N/A	2068 WOODGATE DR PLAN M807 LOT 53

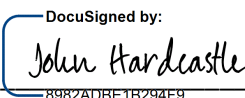
This notice is to inform you that the request for variance made under Section 45(1) of the *Planning Act* has been **Approved** to permit the construction of an accessory building (cabana/shed) and pool on the subject property proposing the following variance:

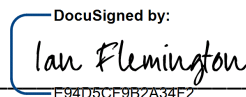
No.	Zoning By-law Regulation	Variance Request
1	Section 4.19.3 b) Notwithstanding any other provision of this By-law, no accessory structure, outdoor swimming pool, or hot tub shall be located any closer than 3.0 metres from the limit of the TransCanada Pipeline right-of-way.	To permit the pool to be located a minimum distance of 1.52m from the limit of the TransCanada Pipeline right-of-way and the <i>accessory building</i> to be located a minimum distance of 1.52m from the limit of the TransCanada Pipeline right-of-way.

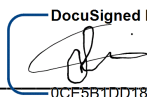
No written or oral submissions from the public were received. The Committee is of the opinion that the variance is considered minor in nature, desirable for the use of the land and in keeping with the general intent of the town's official plan – Livable Oakville Plan and the zoning by-law, subject to:

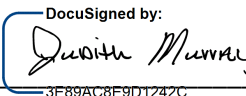
- That the accessory building (cabana/shed) and pool be built in general accordance with the submitted site plan and elevation drawings dated August 15, 2022; and
- That the approval expires two (2) years from the date of the decision if a building permit has not been issued for the proposed construction.

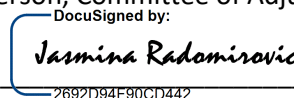
M. Telawski  DocuSigned by:
66F76254FCA647E...

 DocuSigned by:
8982ADBE1B294F9... J. Hardcastle

I. Flemington  DocuSigned by:
E94D5CF9B2A34F2...

 DocuSigned by:
0CE5B1DD188544A... S. Mikhail

J. Murray  DocuSigned by:
3E89AC8E9D1242C...

 DocuSigned by:
2692D94F90CD442... J. Radomirovic
Assistant Secretary-Treasurer

Dated at the meeting held on October 4, 2022.

Last date of appeal of decision is October 24, 2022.

NOTE: It is important that the sign(s) remain on the property until a **FINAL** decision has been rendered regarding your Application. **The sign shall be removed the day following the last date of appeal.**

This is a certified copy of the Committee of Adjustment final decision whereby no appeals filed.

Jasmina Radomirovic
Assistant Secretary-Treasurer