

Committee of Adjustment

Decision for: CAV A/062/2021

Applicant / Owner	Authorized Agent	Subject Property
367 DOUGLAS AVE OAKVILLE ON, L6J 3S8	DRAGAN ACIMOVIC D.A. DESIGN 1407 HURONTARIO ST MISSISSAUGA ON, L5G 3H4	367 DOUGLAS AVE PLAN 113 LOT 179

This notice is to inform you that the request for variance made under Section 45(1) of the *Planning Act* has been **Approved** to permit the construction of a one-storey rear addition on the subject property proposing the following variance(s):

No.	Zoning By-law Regulation	Variance Request
1	Table 6.3.1 (Row 4, Column RL3) The <i>minimum flankage yard</i> shall be 3.5 m.	To permit a <i>minimum flankage yard</i> of 3.14 m.
2	Section 15.10.1 c) The maximum <i>lot coverage</i> for a dwelling having two storeys shall be 19% (134.18 m ²) (Area of the lot is 706.19 m ²).	To permit the maximum <i>lot coverage</i> to be 26.06% (184.07 m ²)
3	Section 6.5.2 c) For an <i>accessory building</i> located in a <i>rear yard</i> , the <i>minimum yard</i> from any <i>lot line</i> shall be 0.6 metres, provided that the <i>accessory building</i> or <i>structure</i> has a minimum <i>separation distance</i> of 2.0 metres from the <i>dwelling</i> .	To permit the existing <i>accessory building</i> (detached garage) to remain in its present location with a minimum <i>rear yard</i> of 0.35 m.

The Committee of Adjustment considered written submissions from the public in support to the application. The Committee is of the opinion that the variance is considered minor in nature, desirable for the use of the land and in keeping with the general intent of the town's official plan – Livable Oakville Plan and the zoning by-law, subject to:

- That the additions be constructed and the garage be permitted in general accordance with the submitted site plan and elevation drawings No. 01 dated ARP/21; and
- That the approval expires two (2) years from the date of the decision if a building permit has not been issued for the proposed construction.

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Chairperson, Committee of Adjustment
Assistant Secretary-Treasurer

Dated at the meeting held on May 4, 2021.

Last date of appeal of decision is May 24, 2021.

NOTE: It is important that the sign(s) remain on the property until a **FINAL** decision has been rendered regarding your Application. **The sign shall be removed the day following the last date of appeal.**

This is a certified copy of the Committee of Adjustment final decision whereby no appeals filed.

Jasmina Radomirovic
Assistant Secretary-Treasurer