

DRAWING LIST

PROJECT DATA

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A0.03	FLOOR AREA CALCULATIONS
A0.04	FLOOR AREA CALCULATIONS

FLOOR PLANS

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ELEVATIONS

A2.01	EAST & WEST ELEVATIONS
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A3.01	SECTION A-A & B-B

CABANA FLOOR PLANS

A4.01	FOUNDATION PLAN
A4.02	GROUND FLOOR PLAN
A4.03	ROOF PLAN

CABANA ELEVATIONS

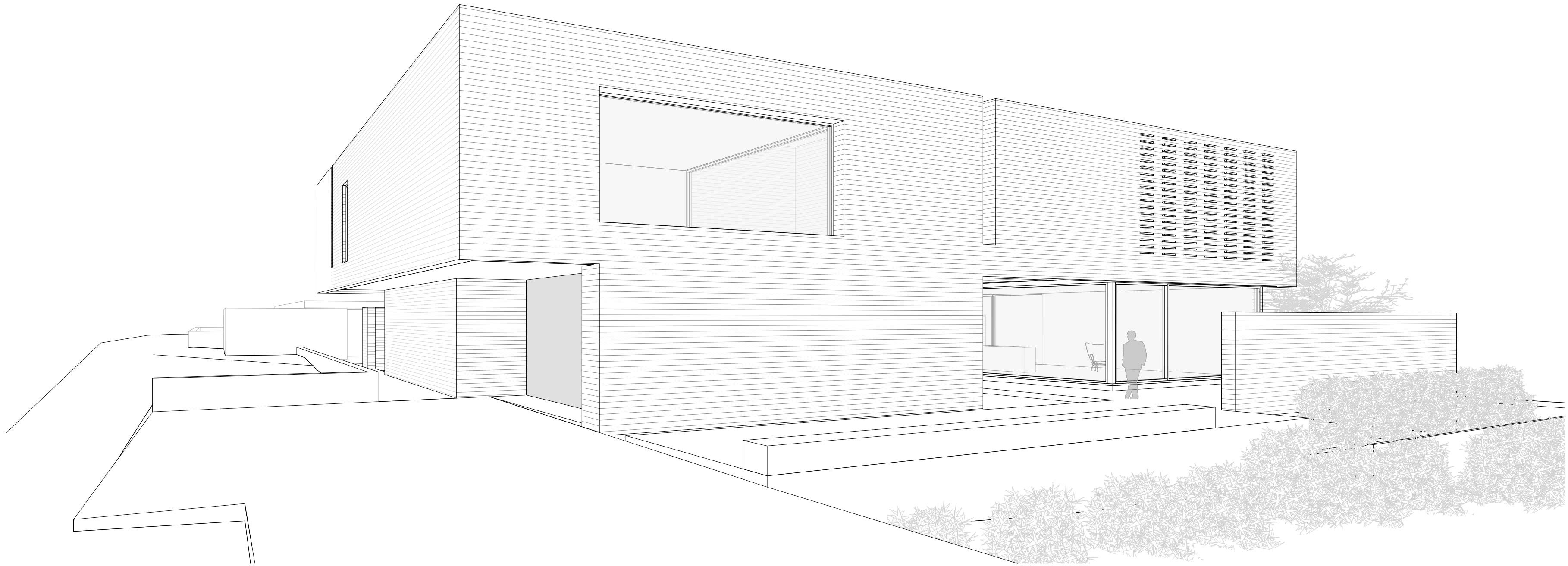
A5.01	EAST & WEST ELEVATIONS
A5.02	SOUTH & NORTH ELEVATIONS

BUILDING MATRIX

ITEM	ONTARIO'S BUILDING CODE DATA MATRIX PART 3 OR 9					BUILDING CODE REFERENCE						
1	PROJECT DESCRIPTION:		X NEW ADDITION ALTERATION CHANGE OF USE			REFERENCES ARE TO DIVISION B UNLESS NOTED (A) FOR DIVISION A OR (C) FOR DIVISION C						
						PART 3	PART 9		PART 11			
						1.1.2. (A)	1.1.2. (A) & 9.10.1.3.		11.1 TO 11.4			
2	MAJOR OCCUPANCY (S): C					3.1.2.1.(1)		9.10.2.				
3	BUILDING AREA (M²):		EXISTING 0.0	NEW	567.18 SQ.M.	TOTAL	567.18 SQ.M.	1.4.1.2. (A)		1.4.1.2. (A)		
4	GROSS AREA (M²):		EXISTING 0.0	NEW	1013.70 SQ.M.	TOTAL	1013.70 SQ.M.	1.4.1.2. (A)		1.4.1.2. (A)		
5	NUMBER OF STORIES:		ABOVE GRADE	2	BELOW GRADE	1		1.4.1.2. (A) & 3.2.1.1.		1.4.1.2. (A) & 9.10.4.		
6	NUMBER OF STREETS / FIRE FIGHTER ACCESS 1					3.2.2.10 & 3.2.5.		9.10.20.				
7	BUILDING CLASSIFICATION C					3.2.2.20 - 83		9.10.2.				
8	SPRINKLER SYSTEM PROPOSED:		ENTIRE BUILDING			3.2.2.20 - 83		9.10.8.2.				
			SELECTED COMPARTMENTS			3.2.1.5.						
			SELECTED FLOOR AREAS			3.2.2.17.						
			BASEMENT IN LIEU OF ROOF RATING			INDEX		INDEX				
		X NOT REQUIRED										
9	STANDPIPE REQUIRED:		YES	X NO		3.2.9.		N/A				
10	FIRE ALARM REQUIRED:		YES	X NO		3.2.4.		9.10.18				
11	WATER SERVICE / SUPPLY IS ADEQUATE:		X YES	NO		3.2.5.7.		N/A				
12	HIGH BUILDING:		YES	X NO		3.2.6.		N/A				
13	CONSTRUCTION RESTRICTIONS:		COMBUSTIBLE PERMITTED	NON-COMBUSTIBLE REQUIRED		X BOTH		3.2.2.20 - 83		9.10.6		
	ACTUAL CONSTRUCTION:		COMBUSTIBLE	NON-COMBUSTIBLE		X BOTH						
14	MEZZANINE(S) AREA M² 0					3.2.1.1. (3)-(8)		9.10.4.1				
15	OCCUPANT LOAD BASED ON		M² / PERSON	X DESIGN OF BUILDING		3.1.17.		9.9.1.3.				
	BASEMENT		OCCUPANCY	LOAD	- PERSONS							
	1ST FLOOR		OCCUPANCY	LOAD	- PERSONS							
	2ND FLOOR		OCCUPANCY	LOAD	5 PERSONS							
16	BARRIER FREE DESIGN		YES	X NO (EXPLAIN) SINGLE FAMILY RES		3.8.		9.5.2.				
17	HAZARDOUS SUBSTANCES		YES	X NO		3.3.1.2. & 3.3.1.19.		9.10.1.3.(4)				
18	REQUIRED FIRE RESISTANCE RATING (FRR)		HORIZONTAL ASSEMBLIES			LISTED DESIGN NO.		3.2.2.20 - 83 & 3.2.1.4.		9.10.8		
			FRR (HOURS)			OR DESCRIPTION(SG-2)				9.10.9.		
			FLOORS			- HOURS						
			ROOF			- HOURS						
		FRR OF SUPPORTING MEMBERS			LISTED DESIGN NO.							
		FLOORS			- HOURS							
		ROOF			- HOURS							
19	SPACIAL SEPARATION OF EXTERIOR WALLS											
	WALL	AREA OF EBF (M²)	LD (M)	L/H OR H/L	PERMITTED MAX % OPNGS	PROPOSED % OPNGS	FRR (HOURS)	LISTED DESIGN OR DESCRIPTION	COMB CONSTR.	COMB CONSTR NON COMB CLADDING	NON - COMB CONSTR.	
	NORTH	INFORMATION SHOWN ON ELEVATIONS DRAWING # A2.02										
	SOUTH	INFORMATION SHOWN ON ELEVATIONS DRAWING # A2.02										
	EAST	INFORMATION SHOWN ON ELEVATIONS DRAWING # A2.01										
	WEST	INFORMATION SHOWN ON ELEVATIONS DRAWING # A2.01										
21	OTHER (DESCRIBE)											

ZONING RL1-0

		ALLOWANCE	PROPOSED	VARIANCE REQUIRED
LOT AREA			3,940 SQ.M. [42,410 SQ.FT.]	
LOT FRONTAGE			38.80 M [127.29 FT]	
ESTABLISHED GRADE		FROM CENTERLINE OF FRONT LOT LINE 83.33 M		
SETBACKS	FRONT YARD (ABOVE GRADE)	10.50 M [35.10 FT]	15.93 M [52.26 FT]	NO
	FRONT YARD (BELOW GRADE)	-	12.20 M [40.03 FT]	NO
	REAR YARD (ABOVE GRADE)	10.50 M [35.10 FT]	52.32 M [171.65 FT]	NO
	REAR YARD (BELOW GRADE)	-	46.52 M [152.62 FT]	NO
	INT. SIDE YARD (NORTH)	4.2 M [13.78 FT]	5.88 M [19.29 FT]	NO
	INT. SIDE YARD (LIGHTWELL - SOUTH)	4.2 M [13.78 FT]	2.73 M [8.96 FT]	YES
	INT.SIDE YARD (HOUSE - SOUTH)	-	4.77 M [15.65 FT]	NO
DWELLING HEIGHT	TOP OF SKYLIGHT	9.0 M [29.52 FT]	9.54 M [31.30 FT]	YES
	TOP OF PARAPET	9.0 M [29.52 FT]	8.96 M [29.40 FT]	NO
NUMBER OF STOREYS		2 MAXIMUM	2	NO
DWELLING DEPTH	ABOVE GRADE	20 M [65.61 FT]	24.07 M [78.97 FT]	YES
	BELOW GRADE		35.33 M [115.91 FT]	
MAX. GARAGE SIZE	GARAGE - GROUND FLOOR	56 SQ.M.	66.52 SQ.M. [716.02 SQ.FT.]	YES
	GARAGE - BASEMENT		157.63 SQ.M. [1,696.72 SQ.FT.]	YES
FINISHED BASEMENT			691.06 SQ.M. [7,438.51 SQ.FT.]	
RESIDENTIAL FLOOR AREA RATIO	GROUND FLOOR		427.75 SQ.M. [4,604.26 SQ.FT.]	
(REFER TO RED-LINE DRAWING FOR GRAPHIC REPRESENTATION OF SPECIFIED AREAS. SEE PAGE A0.03)	SECOND FLOOR		519.43 SQ.M. [5,591.10 SQ.FT.]	
	TOTAL		947.18 SQ.M. [10,195.36 SQ.FT.]	
FLOOR AREA RATIO / LOT AREA = %		29 %	950 / 3,940 = 24.11 %	NO
LOT COVERAGE	DWELLING		430.52 SQ.M. [4,634.08 SQ.FT.]	
(REFER TO RED-LINE DRAWING FOR GRAPHIC REPRESENTATION OF SPECIFIED AREAS. SEE PAGE A0.04)	BASEMENT BELOW WITH PAD ABOVE GRADE		89.85 SQ.M. [967.14 SQ.FT.]	
	SECOND FLOOR OVERHANG		127.52 SQ.M. [1,372.61 SQ.FT.]	
	GARAGE		73.15 SQ.M. [787.38 SQ.FT.]	
	CABANA		77.39 SQ.M. [833.02 SQ.FT.]	
	CABANA ROOF OVERHANG		57.03 SQ.M. [613.87 SQ.FT.]	
	TOTAL		855.46 SQ.M. [9,208.09 SQ.FT.]	
	AREA / LOT AREA = %	25%	855 / 3,940 = 21.71 %	NO
G.F.A.	GROUND FLOOR		427.75 SQ.M. [4,604.26 SQ.FT.]	
	SECOND FLOOR		510.88 SQ.M. [5,499.07 SQ.FT.]	
	TOTAL GROSS FLOOR AREA		938.63 SQ.M. [10,103.33 SQ.FT.]	
MINIMUM & MAXIMUM FRONT YARD		MINIMUM OF 50% OF FRONT FACADE TO FALL WITHIN SPECIFIED ZONE	YES NOT ABLE TO COMPLY TO ACCOMMODATE DRAINAGE PITS & SALVAGE IMPORTANT TREES ON SITE	



RENDERING



PROJECT CONSULTANTS

STRUCTURAL	CONTACT ENGINEERING TIM JOYCE / 647-366-9776
MECHANICAL	RM ENGINEERING MATKO RAGUZ / 416-726-1648
ELECTRICAL	-

CONSTRUCTION

-

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER. QUALIFICATION INFORMATION: REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.175.1 OF THE BUILDING CODE.

NAME: GUIDO COSTANTINO

SIGNATURE:

BCIN/BCDN: 37844

REGISTRATION INFORMATION: REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.4.1 OF THE BUILDING CODE.

COSTANTINO STUDIO BCIN/BCDN: 37844

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1	SITE PLAN APPROVAL SUBMISSION V.2	JAN./16/ 22
NO.	ITEM	DATE

PROJECT
BURGUNDY RESIDENCE

119 BURGUNDY DRIVE
OAKVILLE, ON.

DRAWN BY: E.K.

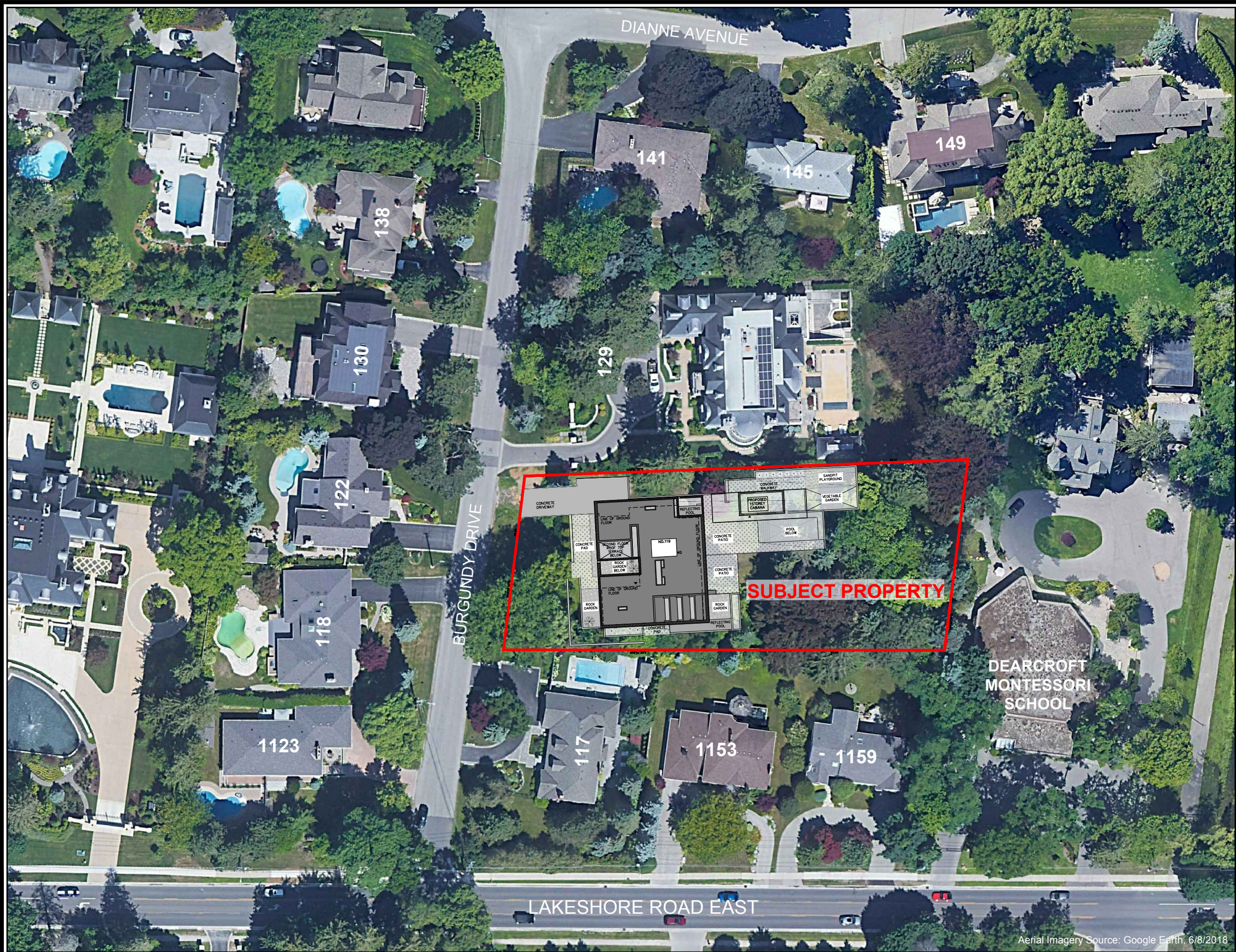
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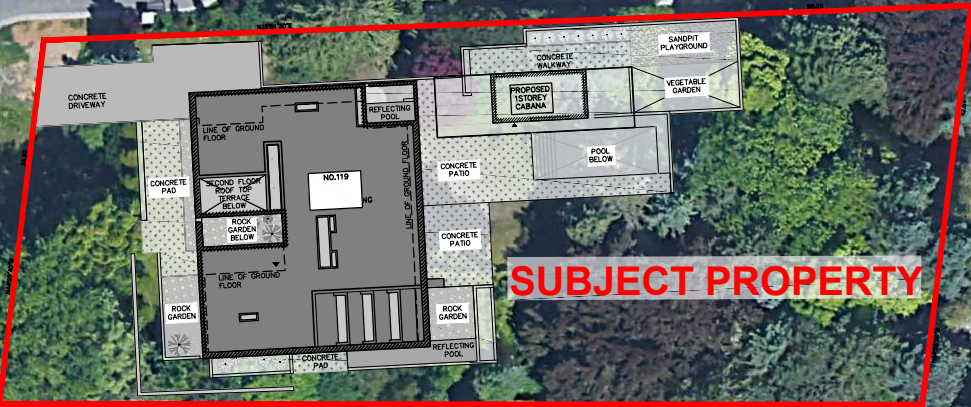
PAGE AND DRAWING TITLE

DRAWING LIST &
O.B.C. MATRIX &
ZONING STATISTICS



119 Burgundy Drive

Aerial Image



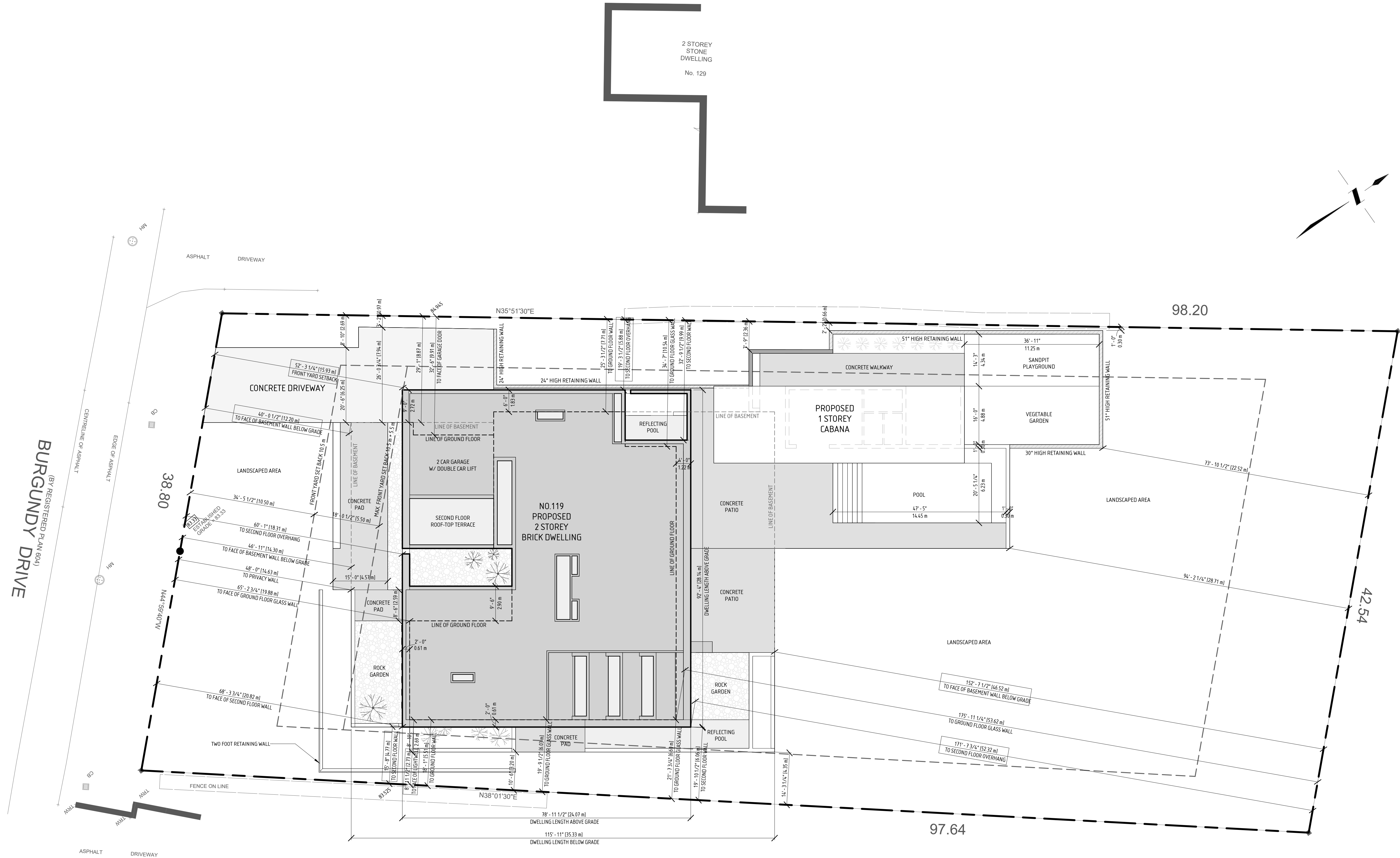
DEARCROFT
MONTESSORI
SCHOOL

Scale 1:800
August 29, 2022

KORSIAK Urban
Planning
206-277 Lakeshore Road East
Oakville, Ontario L6J 1H9
T: 905-257-0227
info@korsiak.com



Aerial Imagery Source: Google Earth, 6/8/2018



(BY REGISTERED PLAN 604)
BURGUNDY DRIVE



GUIDO COSTANTINO

DESIGN OFFICE INC

226 - 401 READING ST W TORONTO ON M5V 3A9

416.999.2788

MESH 28 ARCHITECTS

310 VILLAGE PARK AVE

VANHOUSA ON L4T 1C5



ONTARIO ASSOCIATION
OF
ARCHITECTS
MICHAEL GUIDO
LICENCE
1738

PROJECT CONSULTANTS

STRUCTURAL	CONTACT ENGINEERING TIM JOYCE / 647-366-9776
MECHANICAL	RM ENGINEERING MATKO RAGUZ / 416-726-1648
ELECTRICAL	-
CONSTRUCTION	-

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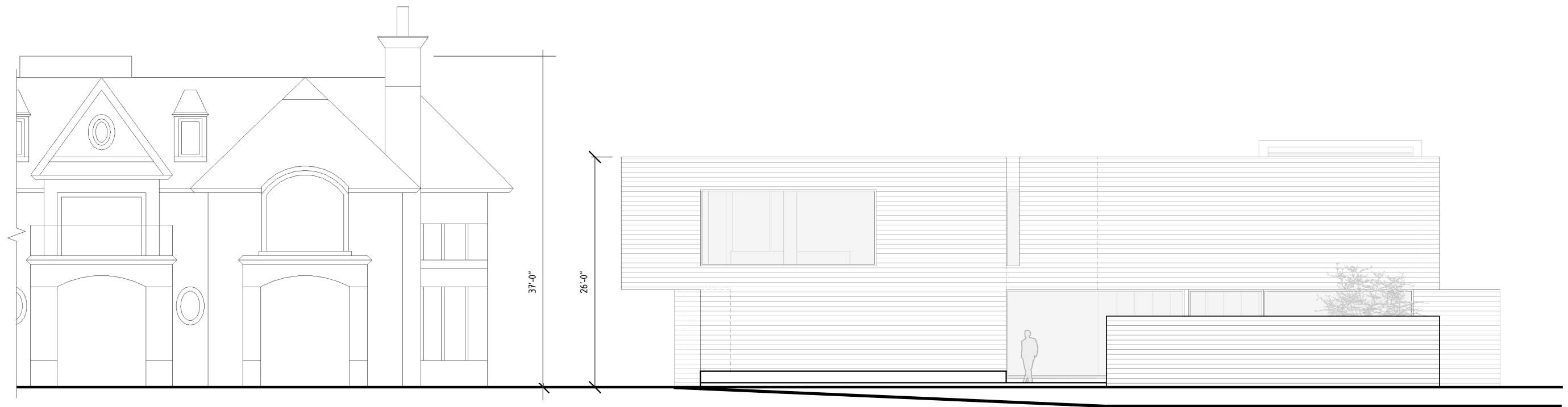
PROJECT
BURGUNDY RESIDENCE

119 BURGUNDY DRIVE
OAKVILLE, ON.

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PROJECT NO.	-
DATE	6/17/2022 5:26:08 PM
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PAGE AND DRAWING TITLE	

SITE PLAN

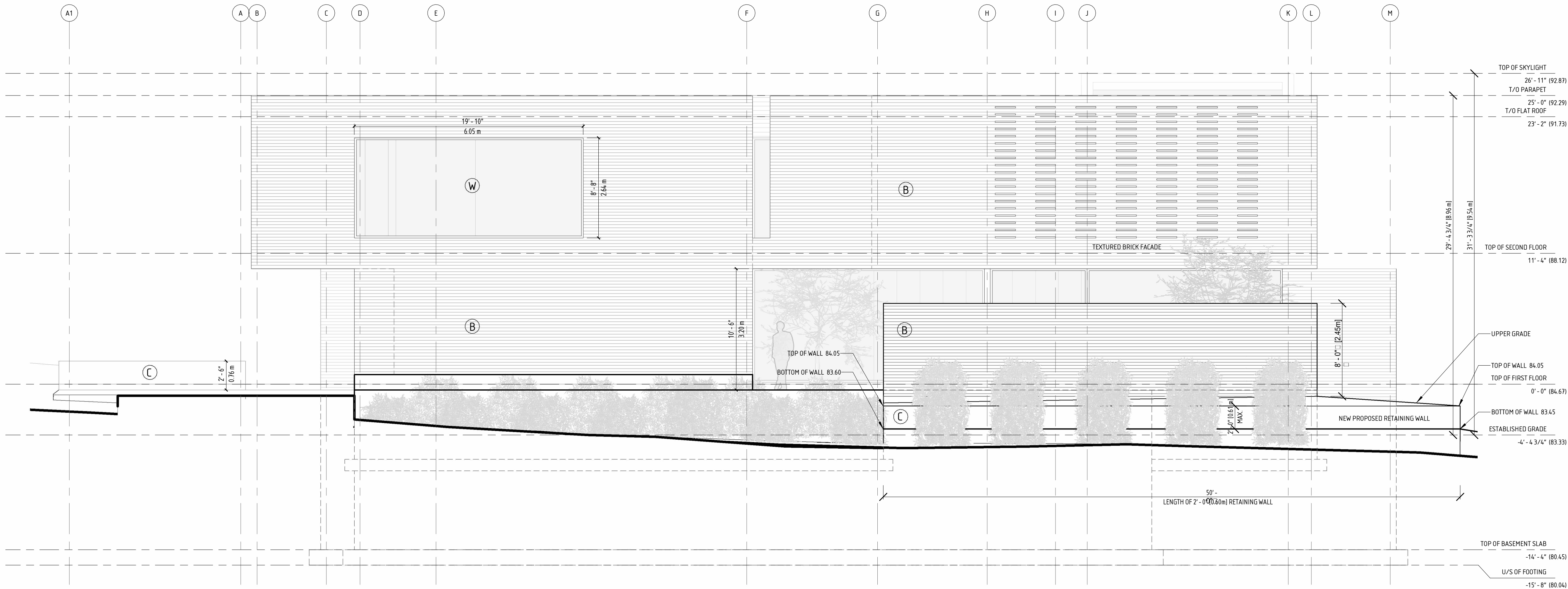
A0.02



SCALE

PROPOSED DWELLING IS RESTRAINT AND RESPECTFUL OF
STREET AND HUMAN SCALE

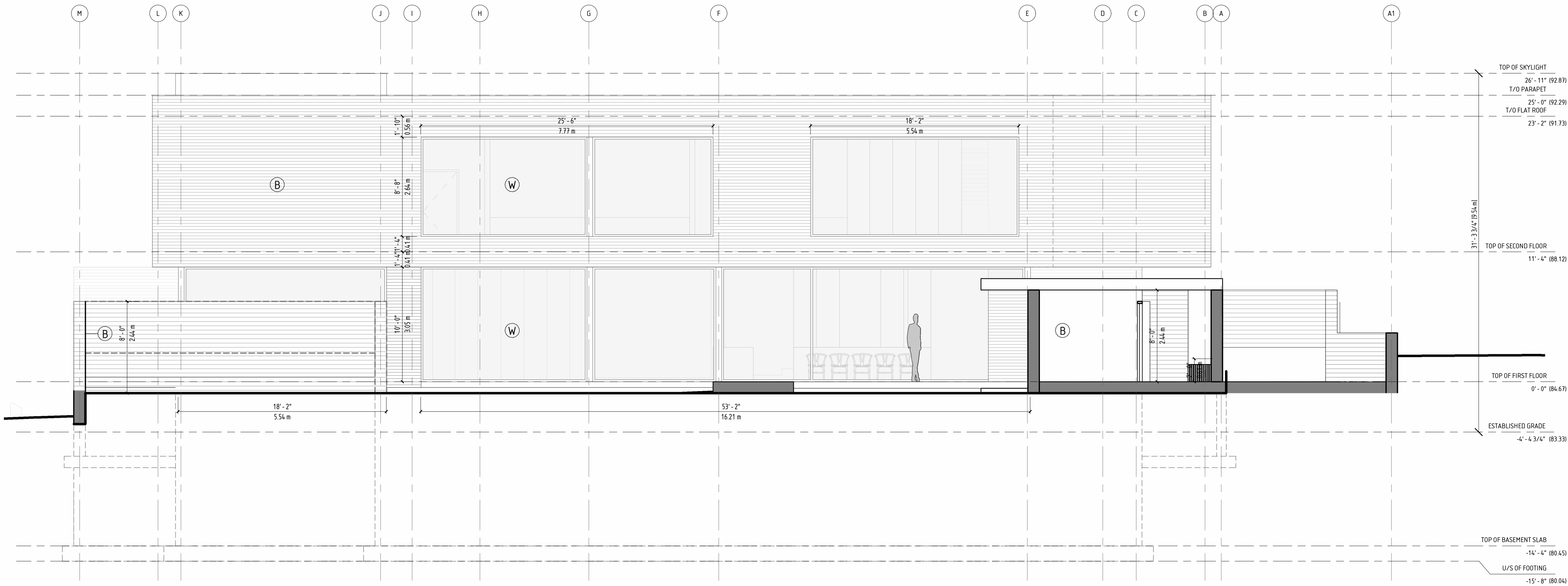
THE NEIGHBOUR JUST NORTH OF OUR PROPERTY HAS A DWELLING
HEIGHT OF 37'-0" WHILE WE ARE PROPOSING ONLY 26'-0"



UNPROTECTED OPENINGS CALCULATIONS AS PER 9.10.15.4.

EXPOSED BUILDING FACE	188 SQ.M.
LIMITING DISTANCE	15.93 m @ 90%
MAX. ALLOWABLE OPENINGS	169 SQ.M.
TOTAL OPENINGS PROVIDED	40.6 SQ.M.

EAST ELEVATION



UNPROTECTED OPENINGS CALCULATIONS AS PER 9.10.15.4.

EXPOSED BUILDING FACE	207 SQ.M.
LIMITING DISTANCE	52.32 m @ 100%
MAX. ALLOWABLE OPENINGS	207 SQ.M.
TOTAL OPENINGS PROVIDED	101 SQ.M.

WEST ELEVATION



PROJECT CONSULTANTS

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MECHANICAL	RM ENGINEERING MATKO RAGUZ / 416-726-1648
ELECTRICAL	-

CONSTRUCTION

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NAME: GUIDIO COSTANTINO

SIGNATURE:

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MATERIAL PALETTE:

B KOLUMBA BRICK
MANUFACTURER: PETERSEN TEGEL
HANDMADE LONG-SHAPED BRICKS
MANUFACTURED TO CENTURIES-OLD CRAFTSMANSHIP TRADITIONS

W SKY-FRAME WINDOWS / BLACK
MANUFACTURER: SKY-FRAME
WORLD LEADER IN WINDOW SYSTEMS.
COMMITMENT TO QUALITY AND TECHNICAL EXPERTISE.

C POLISHED CONCRETE

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1	SITE PLAN APPROVAL SUBMISSION V.2	JAN./16/22
NO.	ITEM	DATE

PROJECT
BURGUNDY RESIDENCE

119 BURGUNDY DRIVE
OAKVILLE, ON.

DRAWN BY: E.K.

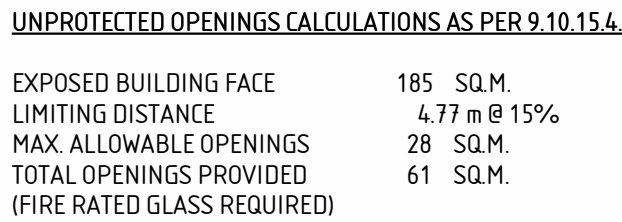
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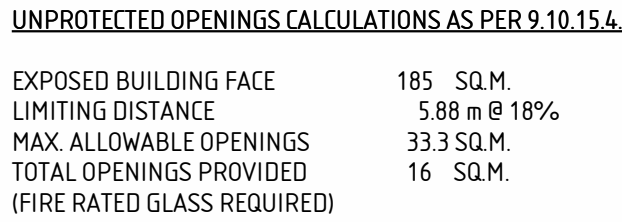
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PAGE AND DRAWING TITLE

EAST & WEST ELEVATIONS



SOUTH ELEVATION



NORTH ELEVATION


PROJECT CONSULTANTS

STRUCTURAL	CONTACT ENGINEERING TIM JOYCE / 647-366-9776
MECHANICAL	RM ENGINEERING MATKO RAGUZ / 416-726-1648
ELECTRICAL	-

CONSTRUCTION |

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NAME: GUIDO COSTANTINO

SIGNATURE: 

BCIN/BCDN: 37844 11

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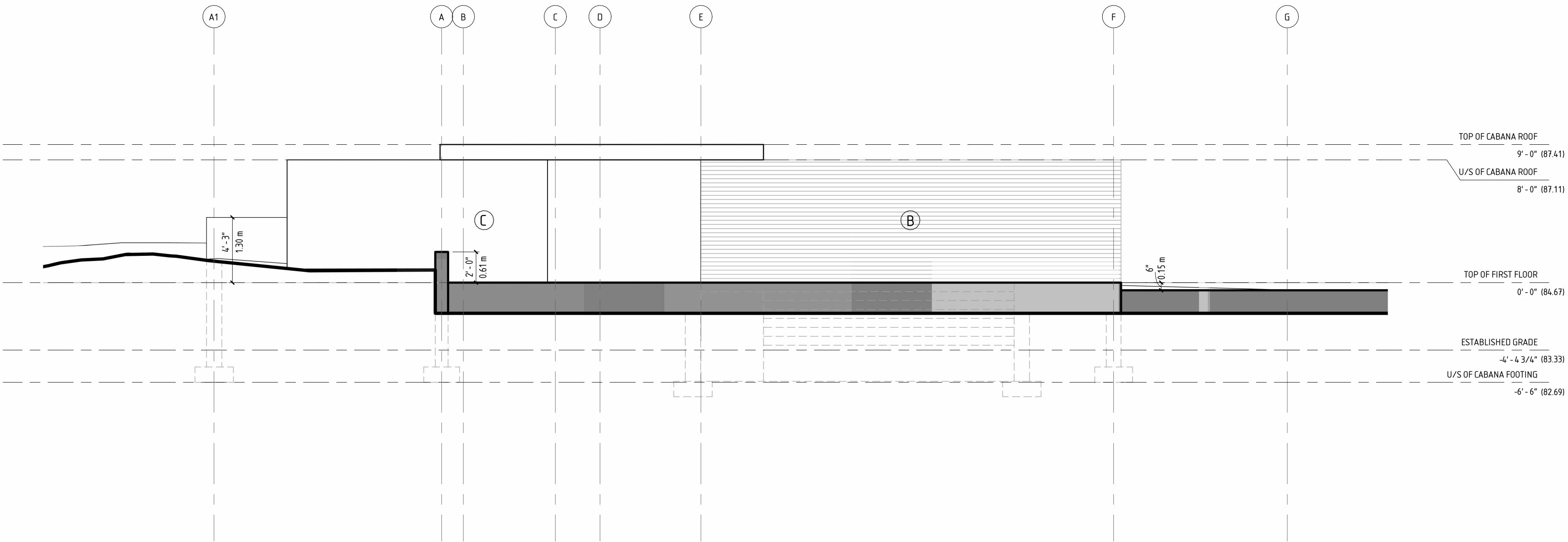
PROJECT
BURGUNDY RESIDENCE

119 BURGUNDY DRIVE
OAKVILLE, ON.

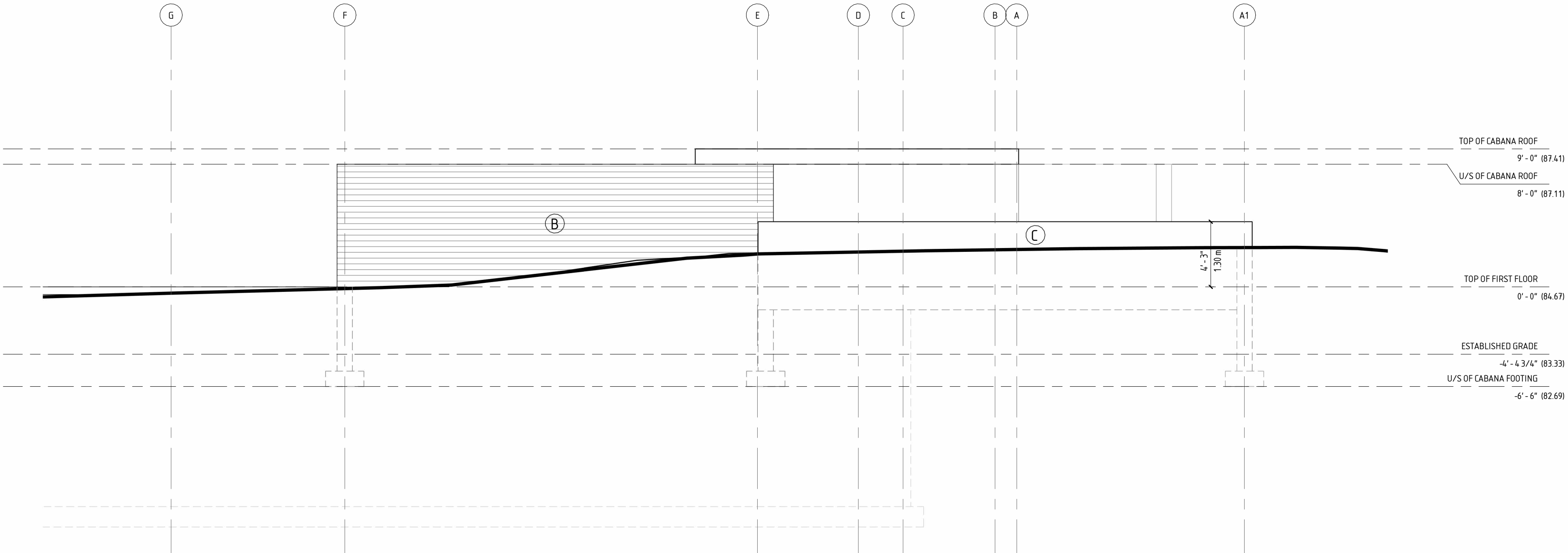
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PROJECT NO.	-
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PAGE AND DRAWING TITLE

SOUTH & NORTH
ELEVATIONS



EAST ELEVATION



WEST ELEVATION

PROJECT CONSULTANTS

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ELECTRICAL	-

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C POLISHED CONCRETE

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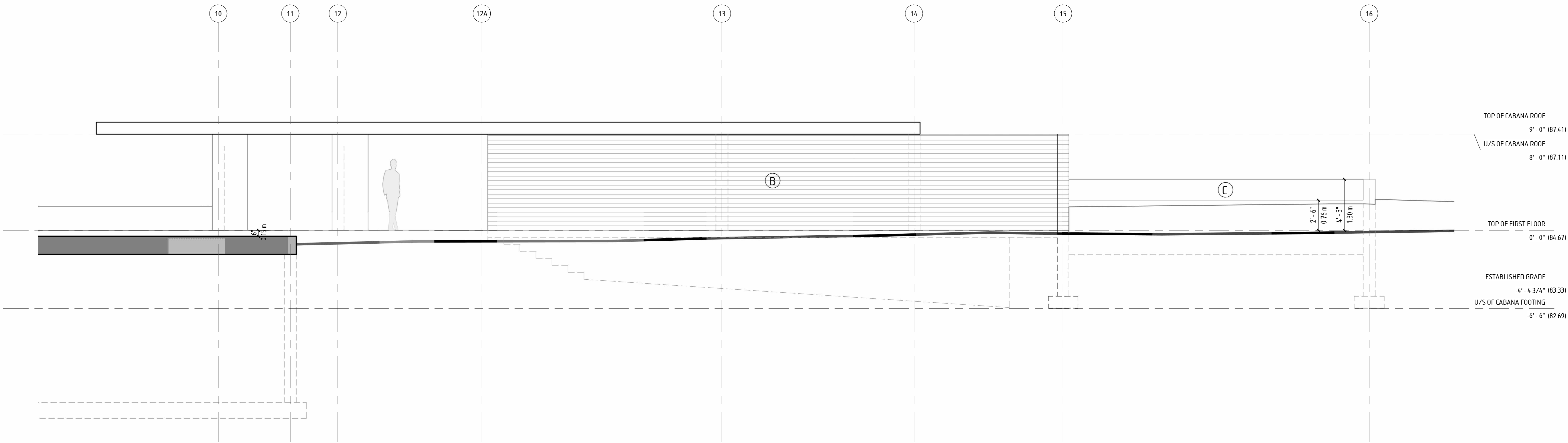
PROJECT
BURGUNDY RESIDENCE

119 BURGUNDY DRIVE
OAKVILLE, ON.

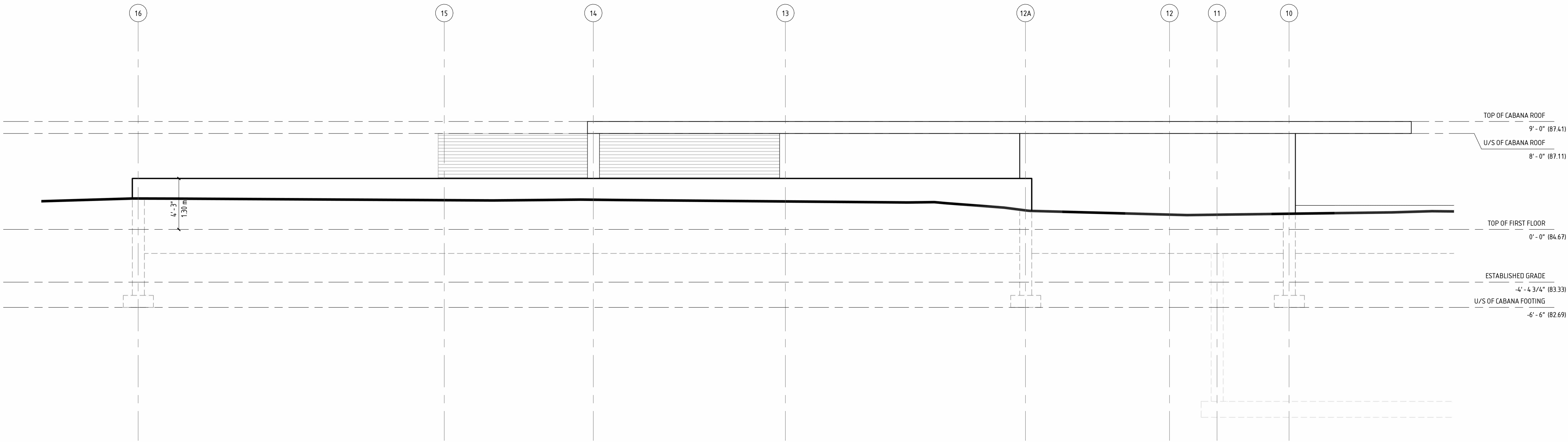
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PROJECT NO.	-
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PAGE AND DRAWING TITLE

CABANA - EAST & WEST
ELEVATIONS



SOUTH ELEVATION



NORTH ELEVATION

PROJECT CONSULTANTS

STRUCTURAL	CONTACT ENGINEERING TIM JOYCE / 647-366-9776
MECHANICAL	RM ENGINEERING MATKO RAGUIZ / 416-726-1648
ELECTRICAL	-

CONSTRUCTION -

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B KOLUMBA BRICK
MANUFACTURER: PETERSEN TEGEL
HANDMADE LONG-SHAPED BRICKS
MANUFACTURED TO CENTURIES-OLD CRAFTSMANSHIP TRADITIONS

W SKY-FRAME WINDOWS / BLACK
MANUFACTURER: SKY-FRAME
WORLD LEADER IN WINDOW SYSTEMS.
COMMITMENT TO QUALITY AND TECHNICAL EXPERTISE.

C POLISHED CONCRETE

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NO.	ITEM	DATE

PROJECT
BURGUNDY RESIDENCE

119 BURGUNDY DRIVE
OAKVILLE, ON.

DRAWN BY: E.K.

PROJECT NO.: -

DATE: 6/17/2022 5:26:41 PM

SCALE: 3/16" = 1'-0"

PAGE AND DRAWING TITLE

CABANA - SOUTH & NORTH
ELEVATIONS

August 30, 2022

Via Digital Submission

Town of Oakville
Committee of Adjustment
1225 Trafalgar Road
Oakville, ON L6H 0H3

Attention: Secretary-Treasurer to the Committee of Adjustment

Re: Application for Minor Variance
Marija & Chad Moldenhauer
119 Burgundy Drive
Town of Oakville
CAV A/118/2020
Related City File SP.1609.023/01

We are pleased to submit revised minor variance application on behalf of Marija and Chad Moldenhauer for the above noted property. The proposed development consists of a 1013 m² two-storey dwelling with a cabana structure.

The subject lands are located on the east side of Burgundy Drive, north of Lakeshore Road East, south of Lavender Lane. The rear of the property abuts Dearcroft Montessori School. Historically the subject lands were part of a larger land holding that was occupied by St. Michael's Anglican Convent. The property (127 Burgundy Road) was sold in November 2005 and was severed into two parcels (129 & 119 Burgundy Road) in 2006 through Consent Application B06/19. A new dwelling was constructed on 129 Burgundy Road, the subject lands remain vacant.

A minor variance application was submitted in 2020. A deferral was requested to provide the opportunity to work with staff and advance the application through the site plan process. The site plan application has been significantly advanced we would now like to proceed with the minor variance application.

A number of variances are required to facilitate the development of the proposed two storey dwelling, these include:

- 1. To permit a rooftop terrace on a lot in a Residential Low- 0 Suffix Zone; whereas Section 4.27.a) does not permit roof top terraces in a Residential Low- 0 Suffix Zone.**

A rooftop terrace has been proposed as an outdoor amenity space to complement the residential design as well as to provide an additional living space for the homeowners. The rooftop terrace has been strategically located behind the building face, so that is not visible from the public realm and will not adversely impact adjacent properties as there are no overlook possibilities. The rooftop terrace has been designed with a built form that is sensitive to the surrounding context while supporting the functionality of the space.

2. **To permit 3 roof openings that are 1.2 m in width and 5.6 m length and are 0.54 m above the maximum roof height; whereas *Section 4.6.5.b)* requires that roof openings that are 0.6m or less above the maximum building height have a maximum size of 2.4 m in length and 2.4 in width.**

While the skylights are longer than permitted, there is no impact on the street as they have been thoughtfully integrated into the rear of the building and the roofline has been lowered. The skylights are integral to maintaining the architectural lines and proportions of the residence as well as the aesthetic value of the home. The skylights are an architectural feature of the residence that have been elegantly proportioned to complement the overall size and design of the dwelling.

3. **To permit a garage with a maximum total floor area of 66.5 m²; whereas *Section 5.8.6.c)* permits a maximum total floor area of 56 m².**

The homeowners have a collection of cars but wanted to minimize the size of the garage to preserve the character of the residence and prevent the garage from being a visually dominant feature. The solution was to introduce a car lift to allow stacking of cars that mitigates the footprint of the structure. The specifications of the car lift require a larger garage footprint to implement. The garage has also been oriented to the side yard, with a side access point, to minimize the visual impact from the street. The proposed increase in the garage floor area upholds the intent of the Zoning By-law as it is not a visually prominent feature of the dwelling and does not adversely impact the streetscape.

4. **To permit a minimum interior side yard of 2.7 m; whereas *Table 6.3.1* requires a minimum interior side yard of 4.2 m.**

The interior side yard setback measured from the westerly lot line to the main wall of the two-storey dwelling exceeds the minimum required interior side yard setback. However, the light wells, that extend out from the building encroach into the required interior side yard setback. The large wells are only 1.09 m in height and will have no impact to the adjacent property. The intent of the larger light wells is to increase natural light into the basement where the homeowners have their home-based business.

5. **To permit a maximum dwelling depth of 24.06 m above grade and 33.33m below grade, whereas *Table 6.3.1* permits a maximum dwelling depth of 20 m.**

The general purpose of the lot depth regulations is to ensure that the dwellings scale is appropriate for the lot as well as the surrounding context. However, the maximum dwelling depth outlined in *Table 6.3.1* was established for a minimum lot depth of approximately 45.7 m. The subject lot is greater than 97 m deep. Further, the larger than average lot can accommodate the longer dwelling depth. The increased dwelling depth will not have any impact on the surrounding properties or the streetscape as there is proportionality between the dwelling and the lot.

6. To permit 0% of the length of the main walls within the minimum and maximum front yards; whereas *Section 6.4.4.a*) require a minimum of 50% of the length of all main walls oriented toward the front lot line to be located within the minimum and maximum front yards.

In an effort to preserve existing large significant trees in the front yard and to accommodate a cistern, the house was strategically moved back. Through shifting the residence back to accommodate the large trees, the development is supporting the established character of the community as well as preserving the integrity of the public realm. Further, the proposed cistern is not a Town requirement but an enhanced environmental feature that the homeowners would like to implement. The proposed setback is consistent with the adjacent properties and will have no impact on the streetscape.

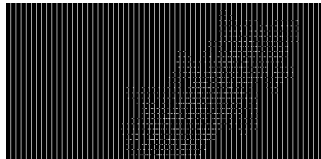
In support of the revised application, we are pleased to enclose digital copies of the following items:

- Revised page 5 from Minor Variance application form and Appendix I, prepared by Korsiak Urban Planning, dated 2022-08-30;
- Aerial photograph, prepared by Korsiak Urban Planning, dated 2022-08-29;
- Minor Variance Sketches (A100, A101, A200, A201, A300, A400, A500, A501, A600), prepared by Costantino Architects, dated 2022-08-25;
- Site Plan and Statistics (A0.01, A0.02), prepared by Costantino Architects, dated 2022-06-17;
- Floor Area Calculations (A0.03, A0.04), prepared by Costantino Architects, dated 2022-06-17;
- Floor Plans (A1.01, A1.02, A1.03, A1.04), prepared by Costantino Architects, dated 2022-06-17;
- Elevations and Sections (A2.01, A2.02, A3.01), prepared by Costantino Architects, dated 2022-06-17;
- Cabana Plans (A4.01, A4.02, A4.03), prepared by Costantino Architects, dated 2022-06-17;
- Cabana Elevations (A5.01, A5.02), prepared by Costantino Architects, dated 2022-06-17;
- Streetscape Plan, prepared by Costantino Architects, dated 2022-08-30;

Please feel free to contact me directly at 905-580-5687 if you require any further information.

Sincerely yours,

KORSIAK URBAN PLANNING



Catherine McEwan
Encl.

Copy: Marija & Chad Moldenhauer, Owner (via email)

