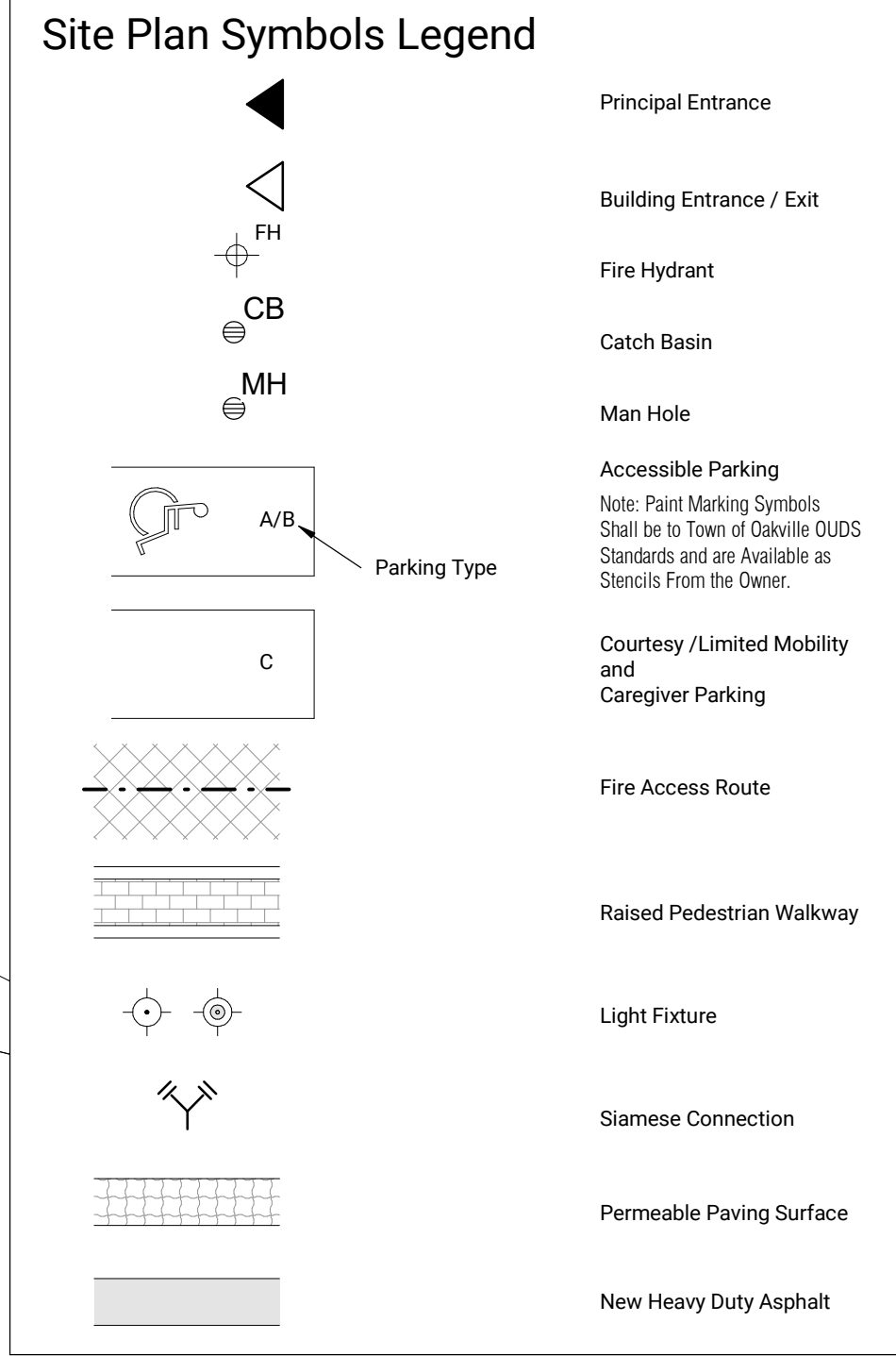
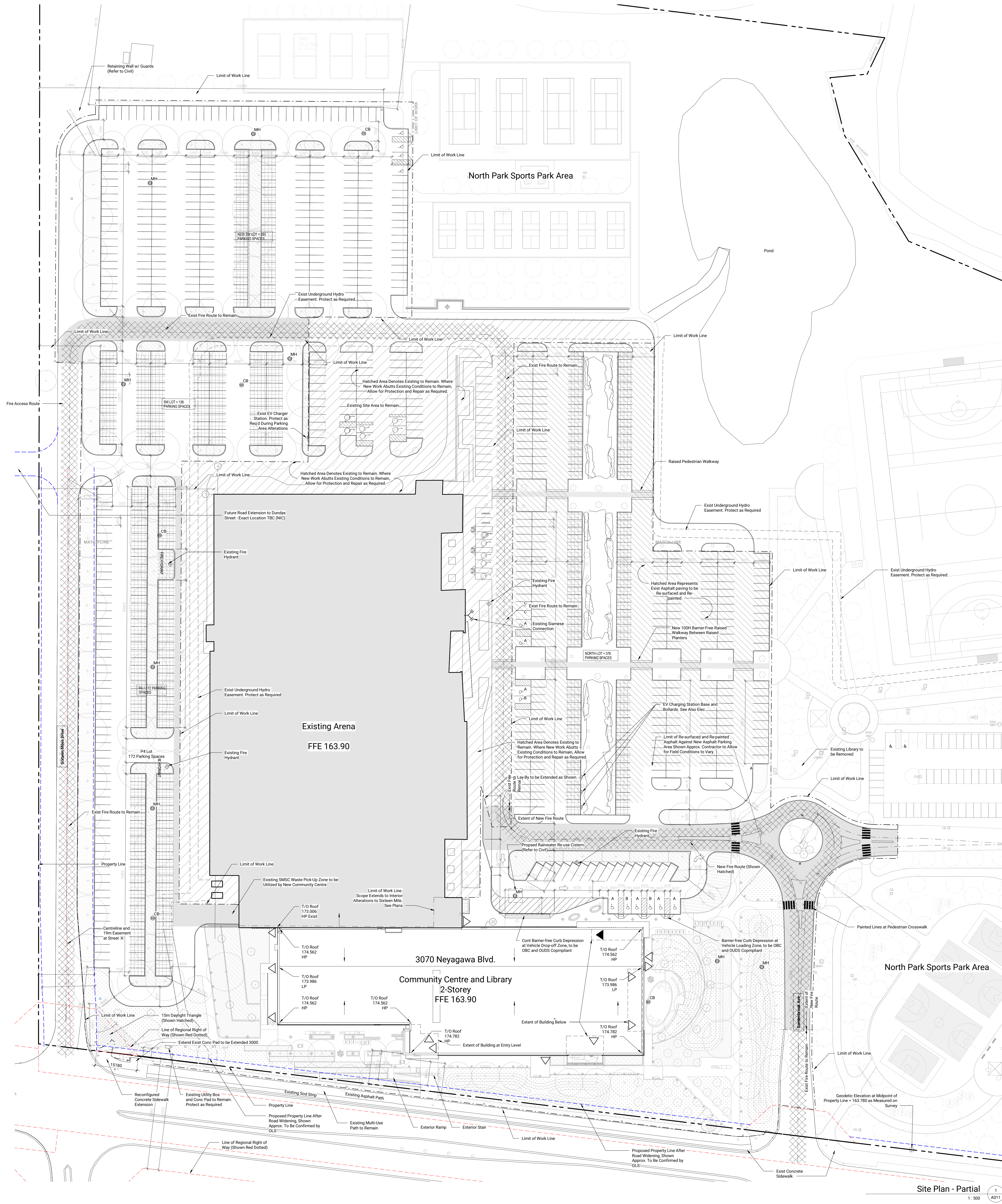


Overall Site Plan  
As indicated  
**A010**







Site Plan - Partial

<b>Firm Name:</b> Diamond Schmitt Architects <b>Certificate of Practice Number:</b> 384 Adelaide St. W. Suite 100 Toronto, ON M5V 1P7 1 (416) 862 8800 The Certificate of Practice Number of the Holder is the Holder's BCIN. <b>Name of the Project:</b> Enter Project Name <b>Location:</b> Enter Project Address <b>Date:</b> Enter Date		<b>Ontario Building Code Data Matrix</b> <b>Parts 3</b> 0 Reg. 332/12 Last Amendment 0 Reg. 191/14		<b>Building Code Reference 1</b>
3.00	Building Code Version:	0 Reg. 332/12 Last Amendment 0 Reg. 191/14		
3.01	Project Type:	<input type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Renovation <input type="checkbox"/> Change of Use <input type="checkbox"/> Addition and Renovation Description: A new community centre with double gym, natatorium, multi-purpose rooms and associated program and a library onto the existing Arena.		[A] 1.1.2.
3.02	Major Occupancy Classification:	Occupancy: Group A, Division 3 Use: Arena and Natatorium Group A, Division 2 Community Centre		3.1.2.1.(1)
3.03	Superimposed Major Occupancies:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Description: -		3.2.2.7.
3.04	Building Area (m²)	Description:	Existing New Total	[A] 1.4.1.2.
		Existing Arena	0 0 0	
		New Community Centre	0 0 0	
			0 0 0	
			0 0 0	
			0 0 0	
			0 0 0	
			0 0 0	
			0 0 0	
			0 0 0	
		Total	0 0 0	
3.05	Gross Area (m²)	Description:	Existing New Total	[A] 1.4.1.2.
		Basement	0 0 0	
		Level 1	0 0 0	
		Level 2	0 0 0	
			0 0 0	
			0 0 0	
			0 0 0	
			0 0 0	
			0 0 0	
			0 0 0	
		Total	0 0 0	
3.06	Mezzanine Area (m²)	Description:	Existing New Total	3.2.1.1.
			0 0 0	
			0 0 0	
			0 0 0	
			0 0 0	
			0 0 0	
			0 0 0	
			0 0 0	
			0 0 0	
			0 0 0	
		Total	0 0 0	
3.07	Building Height	2 Storeys Above Grade 10 (m) Above Grade		[A] 1.4.1.2. & 3.2.1.1.
3.08	High Building	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes		3.2.6.
3.09	Number of Streets/ Firefighter Access	2 Street(s)		3.2.2.10. & 3.2.5.
3.10	Building Classification: (Size and Construction Relative to Occupancy)	3.2.2.29 Group/Div: Group A, Division 3, Any Height, Any Area 3.2.2.24 Group/Div: Group A, Division 2, up to 6 Storeys		3.2.2.20. - 83.
3.11	Sprinkler System	<input checked="" type="checkbox"/> Required <input type="checkbox"/> Not Required Proposed: <input checked="" type="checkbox"/> Entire Building <input type="checkbox"/> Selected Compartments <input type="checkbox"/> Selected Floor Areas <input type="checkbox"/> Basement <input type="checkbox"/> In Lieu of Roof Rating <input type="checkbox"/> None		3.2.1.5. & 3.2.2.17.
3.12	Standpipe System	<input type="checkbox"/> Required <input checked="" type="checkbox"/> Not Required		3.2.9.
3.13	Fire Alarm System	<input checked="" type="checkbox"/> Required <input type="checkbox"/> Not Required Proposed: <input type="checkbox"/> Single Stage <input type="checkbox"/> Two stage <input type="checkbox"/> None		3.2.4.
3.14	Water Service / Supply is Adequate	<input type="checkbox"/> No <input checked="" type="checkbox"/> Yes		
3.15	Construction Type:	Restriction: <input type="checkbox"/> Combustible Permitted <input type="checkbox"/> Combustible <input type="checkbox"/> Heavy Timber Construction: <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> Non-Combustible Required <input type="checkbox"/> Non-Combustible <input type="checkbox"/> Combination		3.2.2.20. - 83. & 3.2.1.4.
3.16	Importance Category:	<input type="checkbox"/> Low <input type="checkbox"/> Normal <input checked="" type="checkbox"/> High <input type="checkbox"/> Low Human Occupancy <input type="checkbox"/> Minor Storage Building <input type="checkbox"/> Post-Disaster Shelter <input type="checkbox"/> Explosive or Hazardous Substances <input type="checkbox"/> Post-Disaster		4.1.2.1.(3) & 4.1.2.1.8
3.17	Seismic Hazard Index:	(IE Fa Sa (0.2)) = - Seismic Design Required for Table 4.1.8.18. Items 6 to 21: (IE Fa Sa (0.2)) = 0.35 or Post-Disaster <input type="checkbox"/> No <input type="checkbox"/> Yes		4.1.2.1.(3) & 4.1.8.18.(2)
3.17	Occupant Load	Floor Level/Area Occupancy Type Based On Occupant Load (Persons)		3.1.17.
		-	-	0
		-	-	0
		-	-	0
		-	-	0
		-	-	0
3.19	Barrier-Free Design	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Explanation: -		3.8.
3.20	Hazardous Substances	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Explanation: -		3.3.1.2. & 3.3.1.9.
3.21	Required Fire Resistance Ratings	Horizontal Assembly Rating Supporting Assembly (I) Non-Combustible in Lieu of Rating?		3.2.2.20. - 83. & 3.2.1.4.
		Floors Over Basement	2h 0 <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A	
		Floors	2h 0 <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A	
		Mezzanine	0 0 <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A	
		Roof	0 0 <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A	
3.22	Spatial Separation	Wall EBE Area (m²) or L.D. or L.H. Require (I) Construction Type Required Cladding Type Required		3.2.3.
		-	0 0 0 0 <input type="checkbox"/> Non-Combustible <input type="checkbox"/> Combination	
		-	0 0 0 0 <input type="checkbox"/> Non-Combustible <input type="checkbox"/> Combination	
		-	0 0 0 0 <input type="checkbox"/> Non-Combustible <input type="checkbox"/> Combination	
		-	0 0 0 0 <input type="checkbox"/> Non-Combustible <input type="checkbox"/> Combination	
		-	0 0 0 0 <input type="checkbox"/> Non-Combustible <input type="checkbox"/> Combination	
		-	0 0 0 0 <input type="checkbox"/> Non-Combustible <input type="checkbox"/> Combination	
		-	0 0 0 0 <input type="checkbox"/> Non-Combustible <input type="checkbox"/> Combination	
		-	0 0 0 0 <input type="checkbox"/> Non-Combustible <input type="checkbox"/> Combination	
		-	0 0 0 0 <input type="checkbox"/> Non-Combustible <input type="checkbox"/> Combination	
		-	0 0 0 0 <input type="checkbox"/> Non-Combustible <input type="checkbox"/> Combination	
3.23	Plumbing Fixture Requirements	Ratio: Floor Level/Area Occupant Load OBC Reference Fixtures Required Fixtures Provided		3.7.4.
		-	0 - 0 0	
		-	0 - 0 0	
		-	0 - 0 0	
		-	0 - 0 0	
		-	0 - 0 0	
3.24	Energy Efficiency	Compliance Path: - Climate Zone: -		
3.25	Notes:	-		

1 All References are to Division B of the OBC Unless Preceded by [A] for Division A and [C] for Division C.

Site Plan Symbols Legend	
	Principal Entrance
	Building Entrance / Exit
	Fire Hydrant
	Catch Basin
	Man Hole
	Accessible Parking Note: Part Marking Symbols Set in to Face of Curb/ISD Standards and are Available as Stencils From the Owner.
	Parking Type
	Courtesy / Limited Mobility and Caregiver Parking
	Fire Access Route
	Raised Pedestrian Walkway
	Light Fixture
	Stamess Connection
	Permeable Paving Surface
	New Heavy Duty Asphalt

North Park Development Parking Schedule	
Vehicle	Count
Existing Parking (SMSC)	560
New Parking - SMSC + Community Centre & Library	380
New Parking - North Park	290
<b>Total (incl. all barrier free parking):</b>	<b>1230</b>
Barrier Free Parking Type A & B - Community Centre & Library	10
Barrier Free Parking Type A & B (Existing non-conforming)	11
Barrier Free Parking Type A & B - North Park	12
<b>Barrier Free Parking Total (excluding courtesy/limited mobility and caregiver parking - Type C)</b>	<b>33</b>
Barrier Free Parking Type C	10
<b>Barrier Free Parking Total (A+B+C)</b>	<b>43</b>
Bicycle	Count
North Park 24 Rings	48
Community Centre and Library 22 Rings	44
<b>Total Bicycle Parking</b>	<b>92</b>

Community Centre and Library Building Areas - By Level	
Name	Area
Existing Arena Footprint	13875.59 m²
New Parking - SMSC + Community Centre & Library	13875.59 m²
New Community Centre and Library Footprint	5524.09 m²
Basement GFA	123.81 m²
Level 1 GFA	5170.31 m²
Level 2 GFA	2589.63 m²
	7884.15 m²

Context Plan N.T.S.

Key Plan N.T.S.

No. Date Description

- 1 Feb 9, 2022 Issued for SPA
- 2 Jun 10, 2022 Issued for Minor Zoning Variance
- 3 Jun 10, 2022 Re-issued for SPA
- 4 Jul 11, 2022 Issued for 30% CD
- 5 Aug 12, 2022 Re-issued for Minor Zoning Variance
- 6 Sep 21, 2022 Issued for 60% CD
- 7 Sep 23, 2022 Re-issued for Minor Zoning Variance

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NOT FOR CONSTRUCTION

Contractor Must Check & Verify all Dimensions on the Job.

Do Not Scale Drawings.

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This Drawing is Not to be Used for Construction Until Signed by the Architect.

North Park Community Centre and Public Library

3070 Neyagawa Blvd, Oakville, ON L6M 4L6

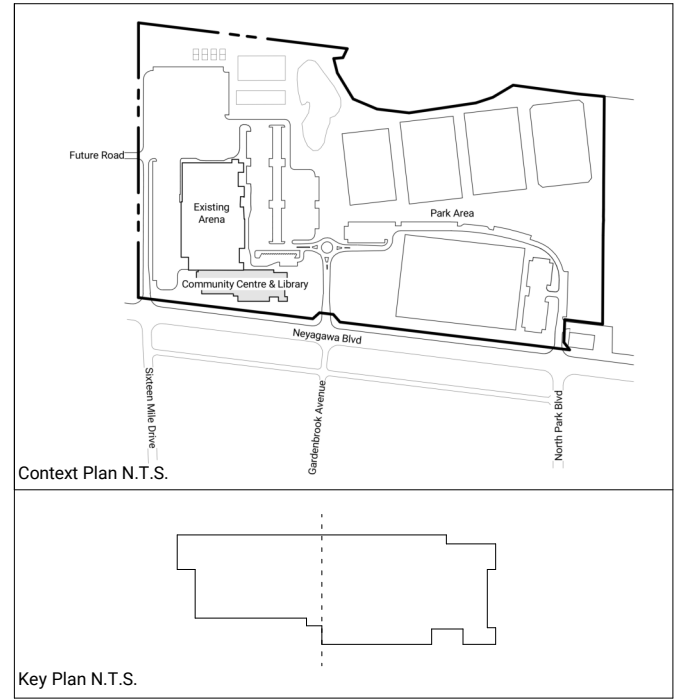
211030

Community Centre and Library Building Site Plan

As Indicated

A011

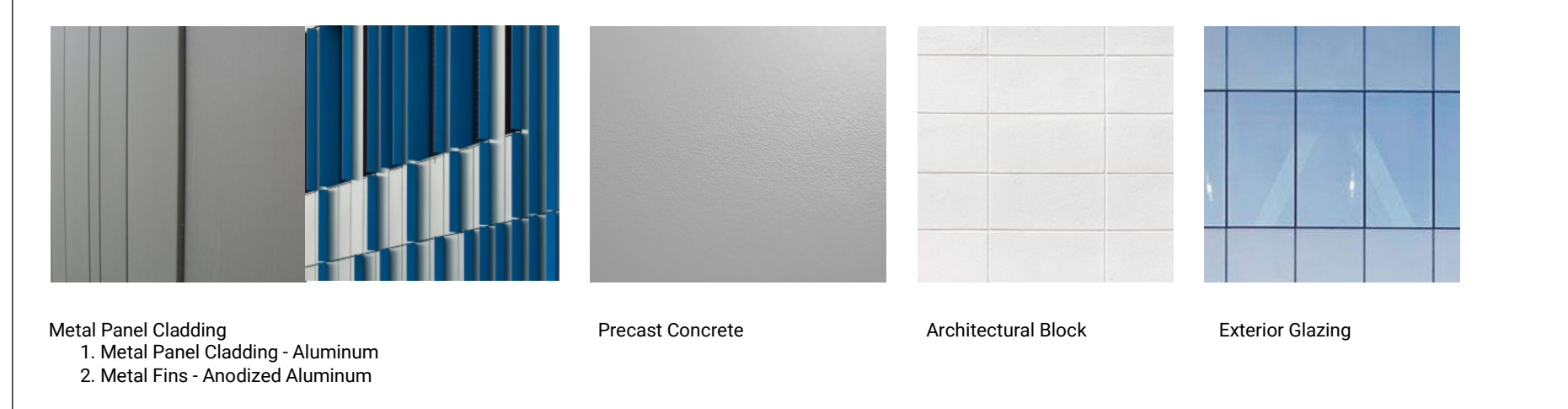




No.	Date	Description
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3	Sep 21, 2022	Issued for 60% CD
4	Sep 23, 2022	Re-issued for Minor Zoning Variance

ISSUED

Material Legend



Glass and Spandrel Types

GL1	Double Glazed IGU (Low-E), Tempered, Vision
GL2	Double Glazed IGU (Low-E), Tempered, Translucent
GL3	Double Glazed IGU (Low-E) at Skylights, Tempered
GL20	Tempered Vision
GL21	Laminated, Tempered
GL22	Firerated Glass Ceramic
SP1	Double Glazed IGU, Insulated Spandrel Unit (Solid Ceramic Frit/Acid Etched(T))
BF	Bird Friendly Ceramic Frit

Enlarged Partial Elevation - East

1 : 50 A300

Coloured Elevation - West

1 : 200 A300

Coloured Elevation - South

1 : 200 A300

Coloured Elevation - East

1 : 200 A300

Coloured Elevation - North

1 : 200 A300

North Park Community  
Centre and Public Library  
3070 Neysagawa Blvd, Oakville, ON L6M 4L6  
211030

Exterior Elevations - Coloured

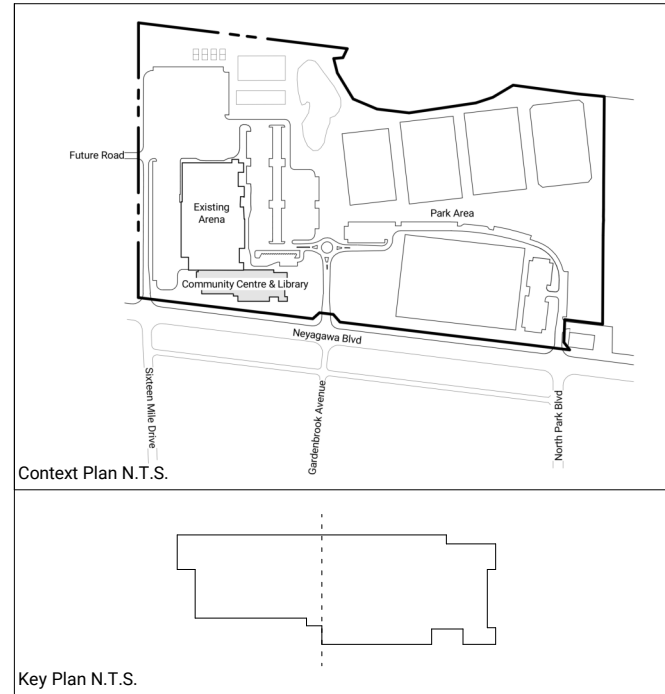
As Indicated

A300

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2022/09/22 2:17:55 PM



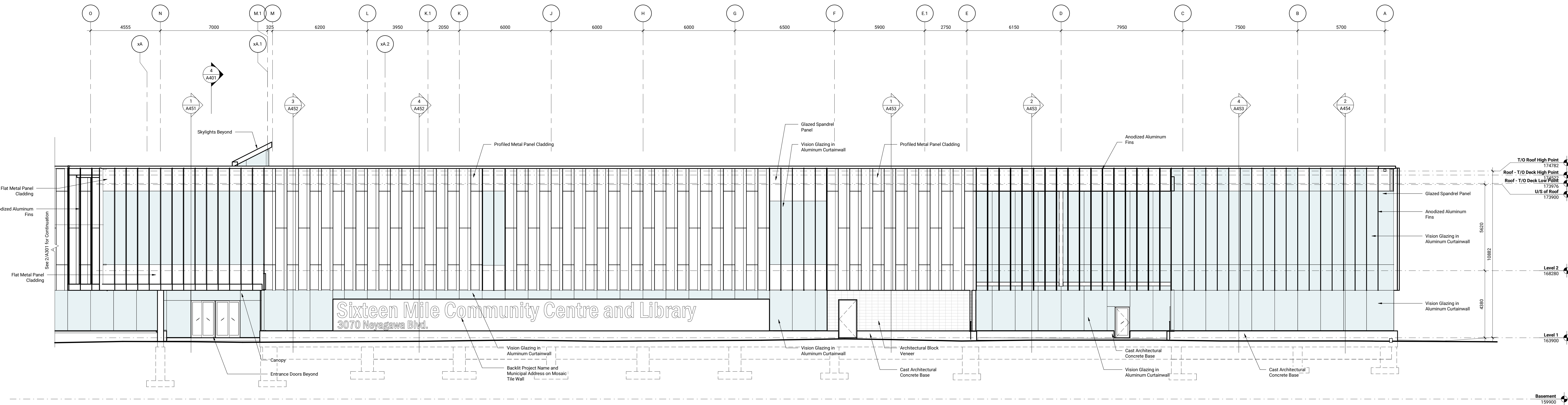


Context Plan N.T.S.

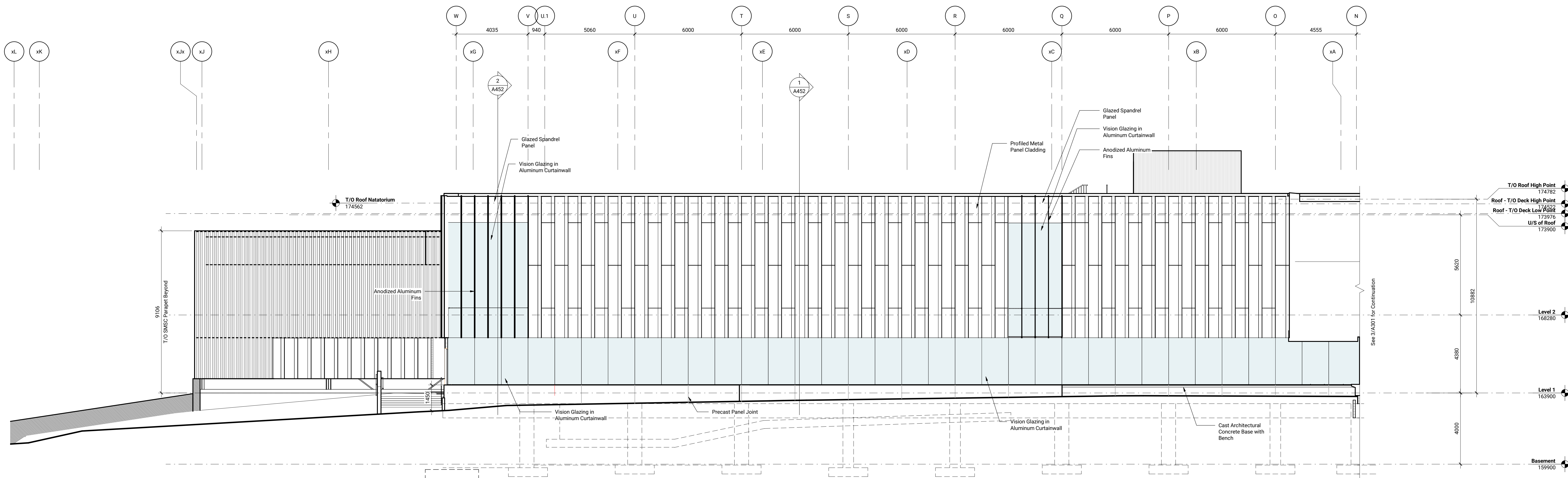
Key Plan N.T.S.

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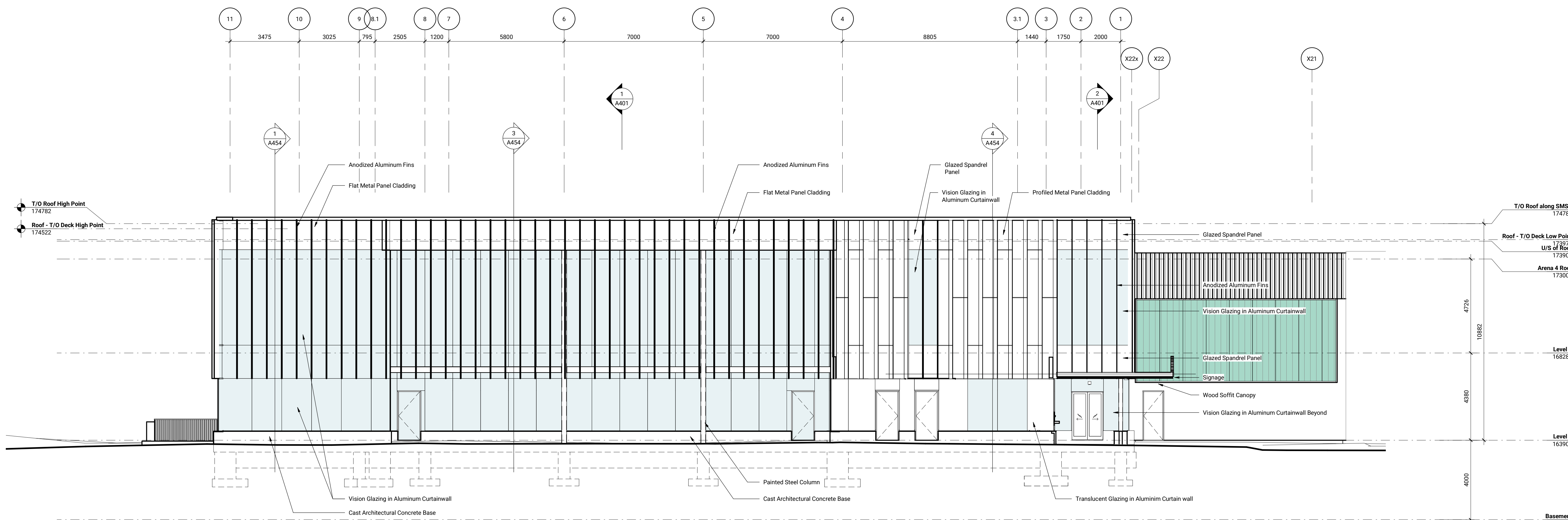
ISSUED



East Elevation - North  
1:100 A301



East Elevation - South  
1:100 A301



North Elevation  
1:100 A301

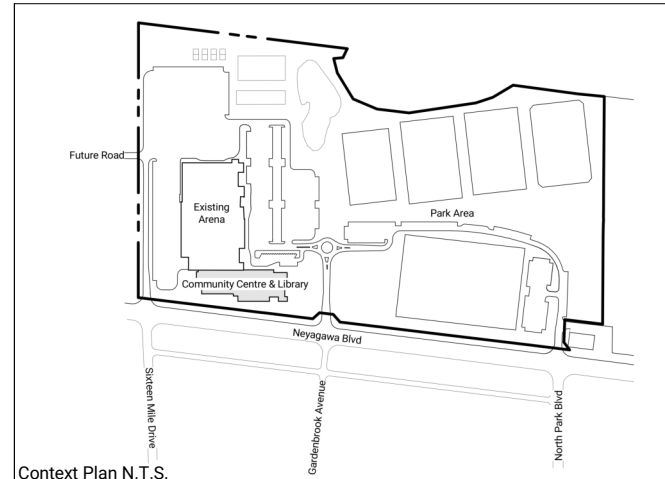
North Park Community  
Centre and Public Library  
3070 Nayagawa Blvd, Oakville, ON L6M 4L6  
211030

Exterior Elevations

1:100

A301

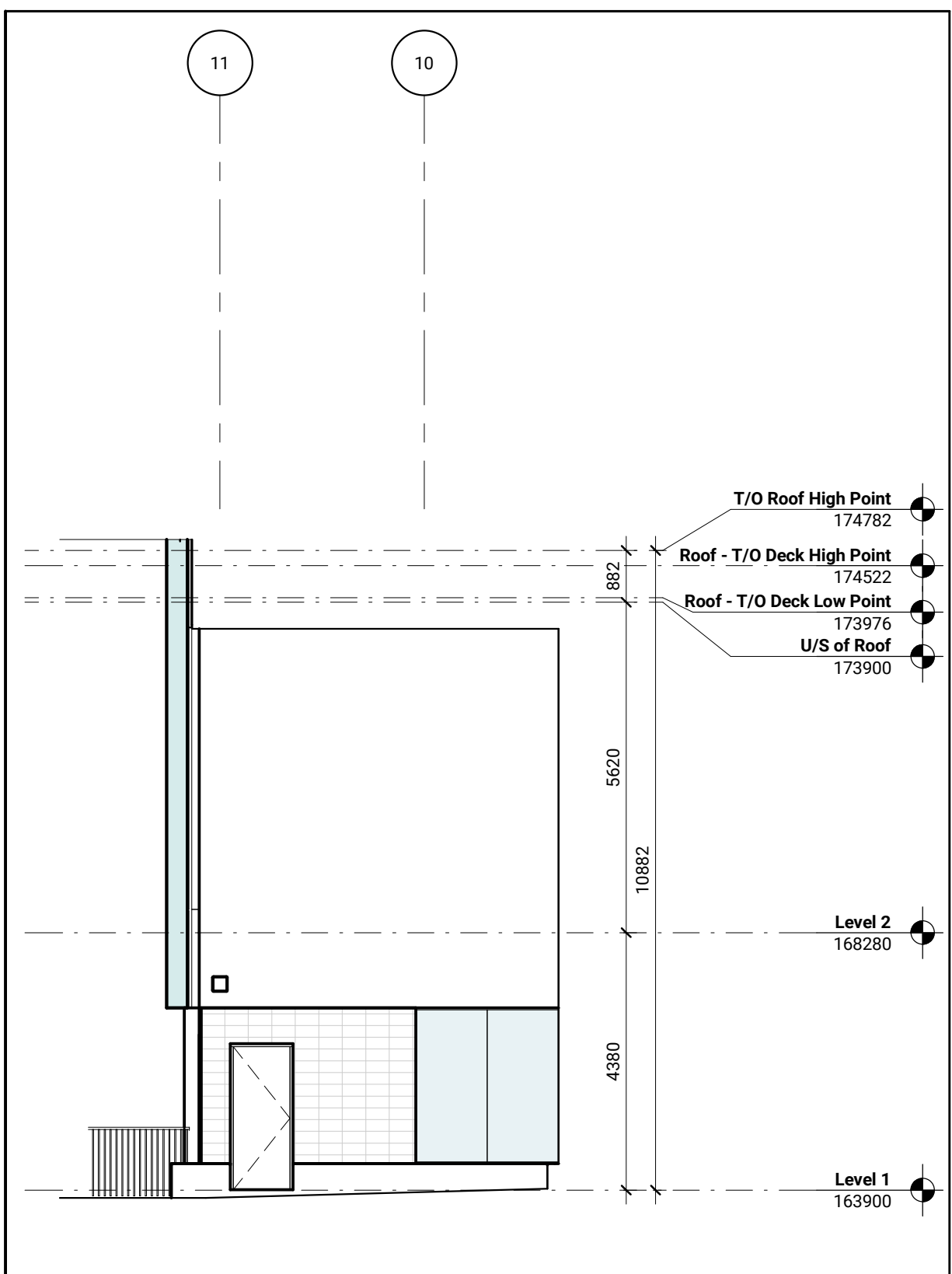




Key Plan N.T.S.

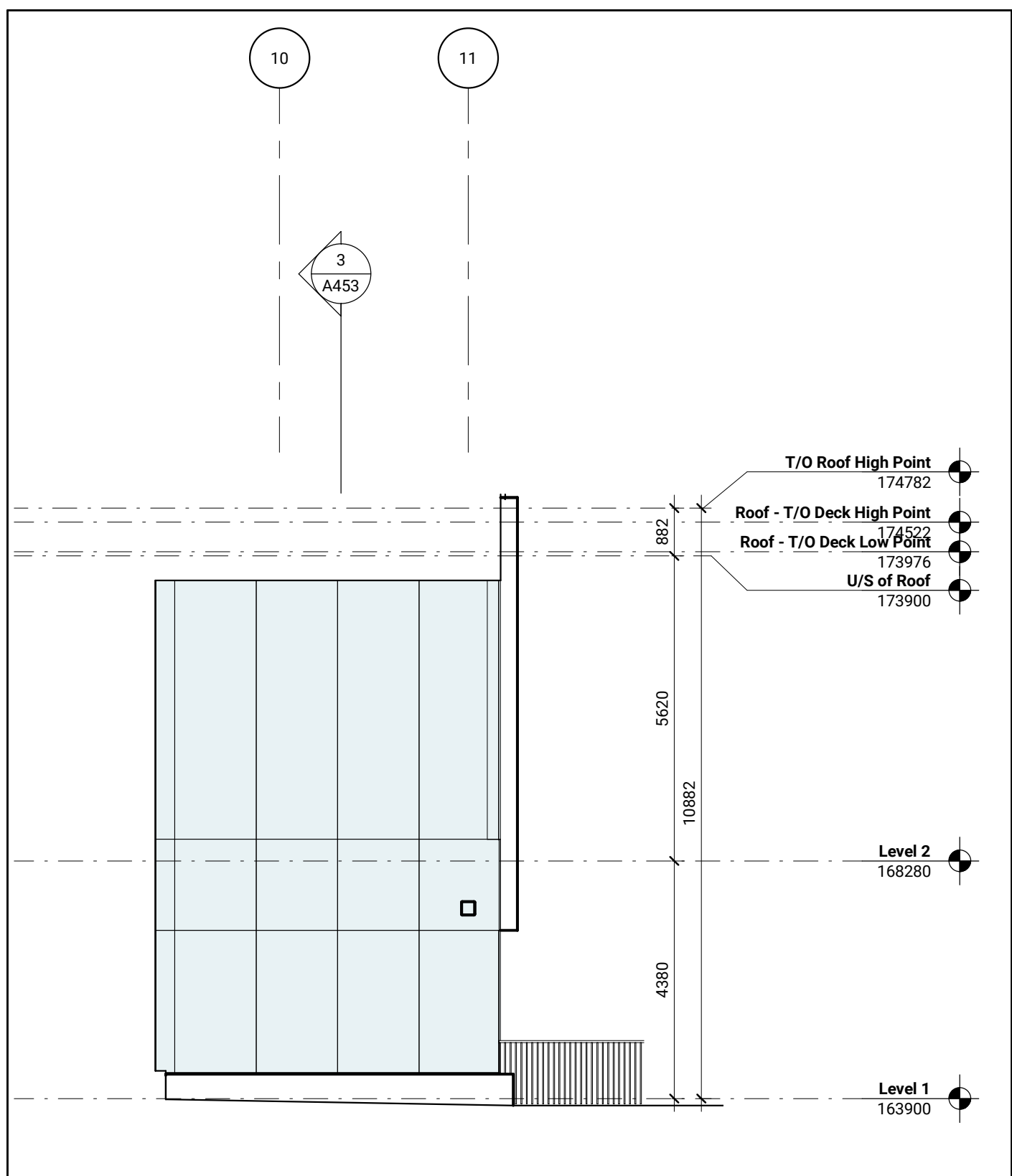
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ISSUED



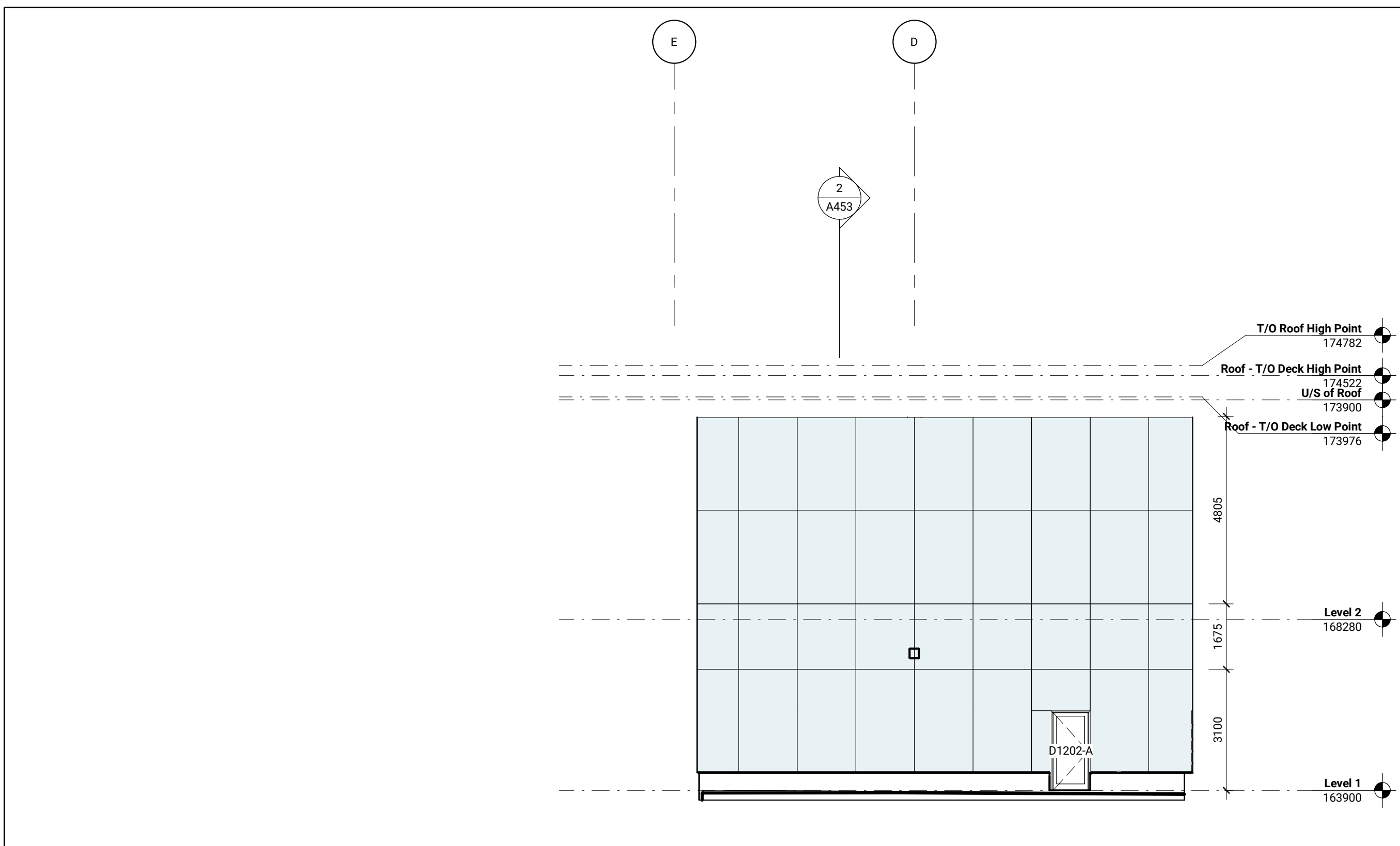
South Elevation - Play Area

1:100 A302



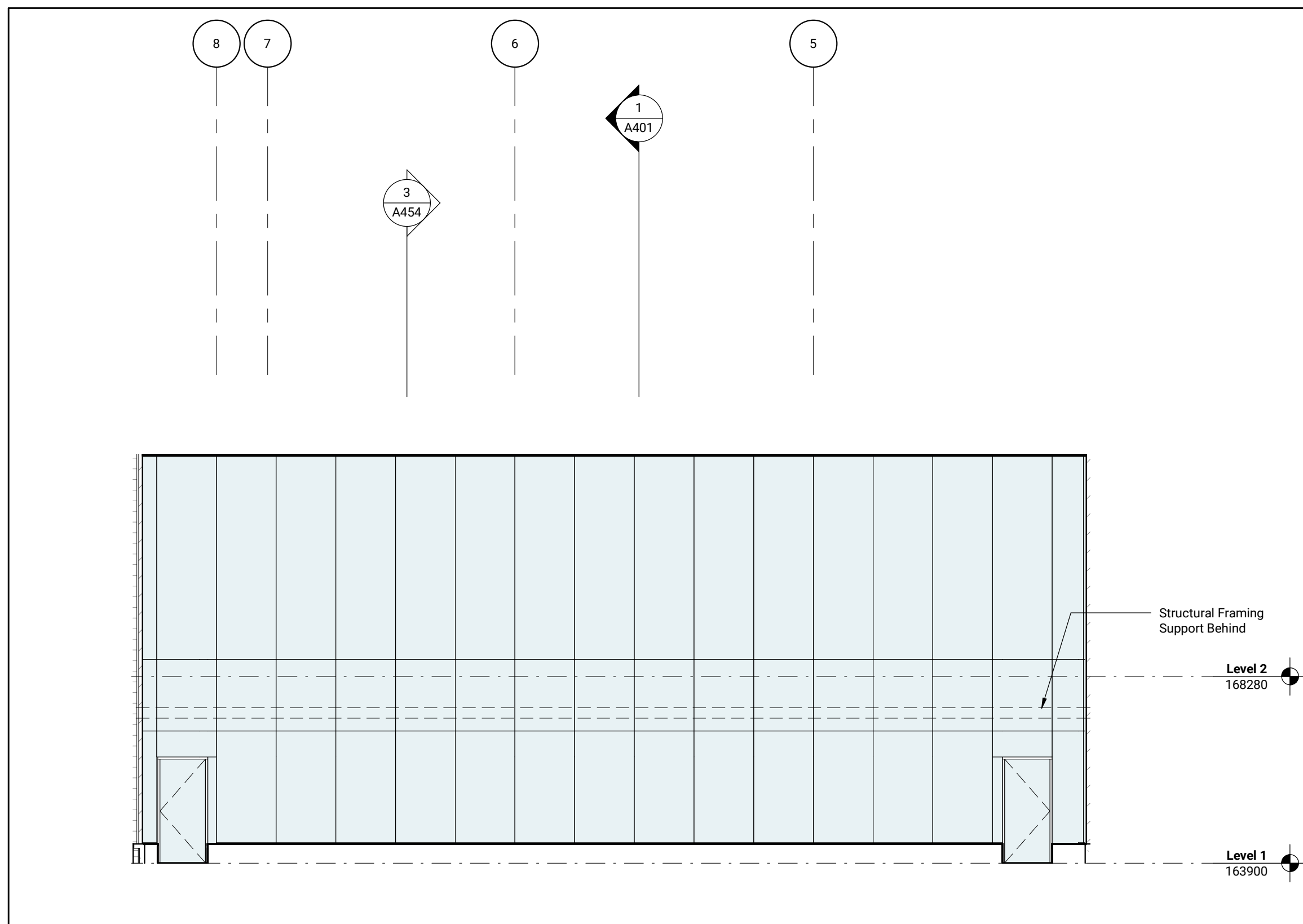
North Elevation - Play Area

1:100 A302



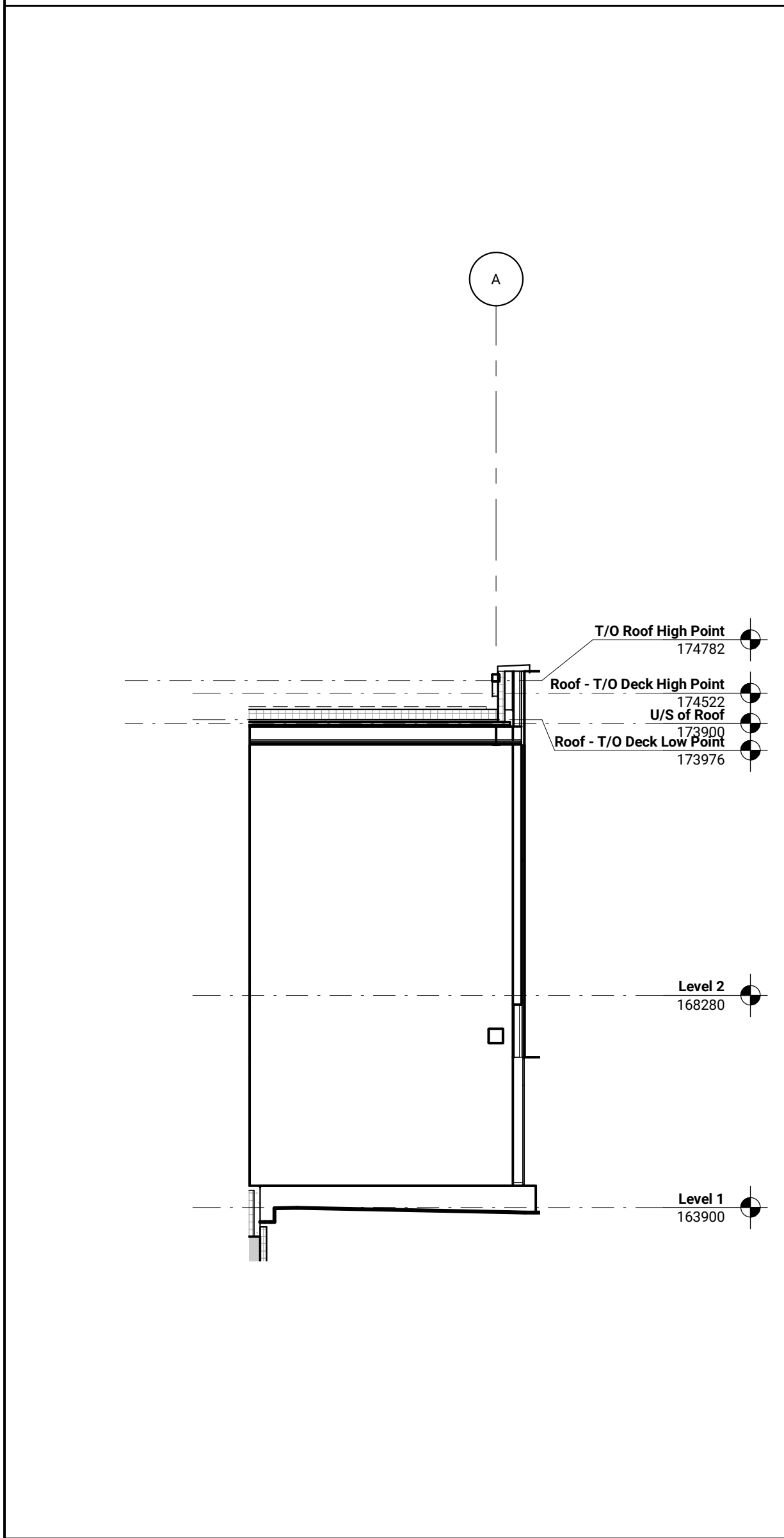
East Elevation - Play Area

1:100 A302



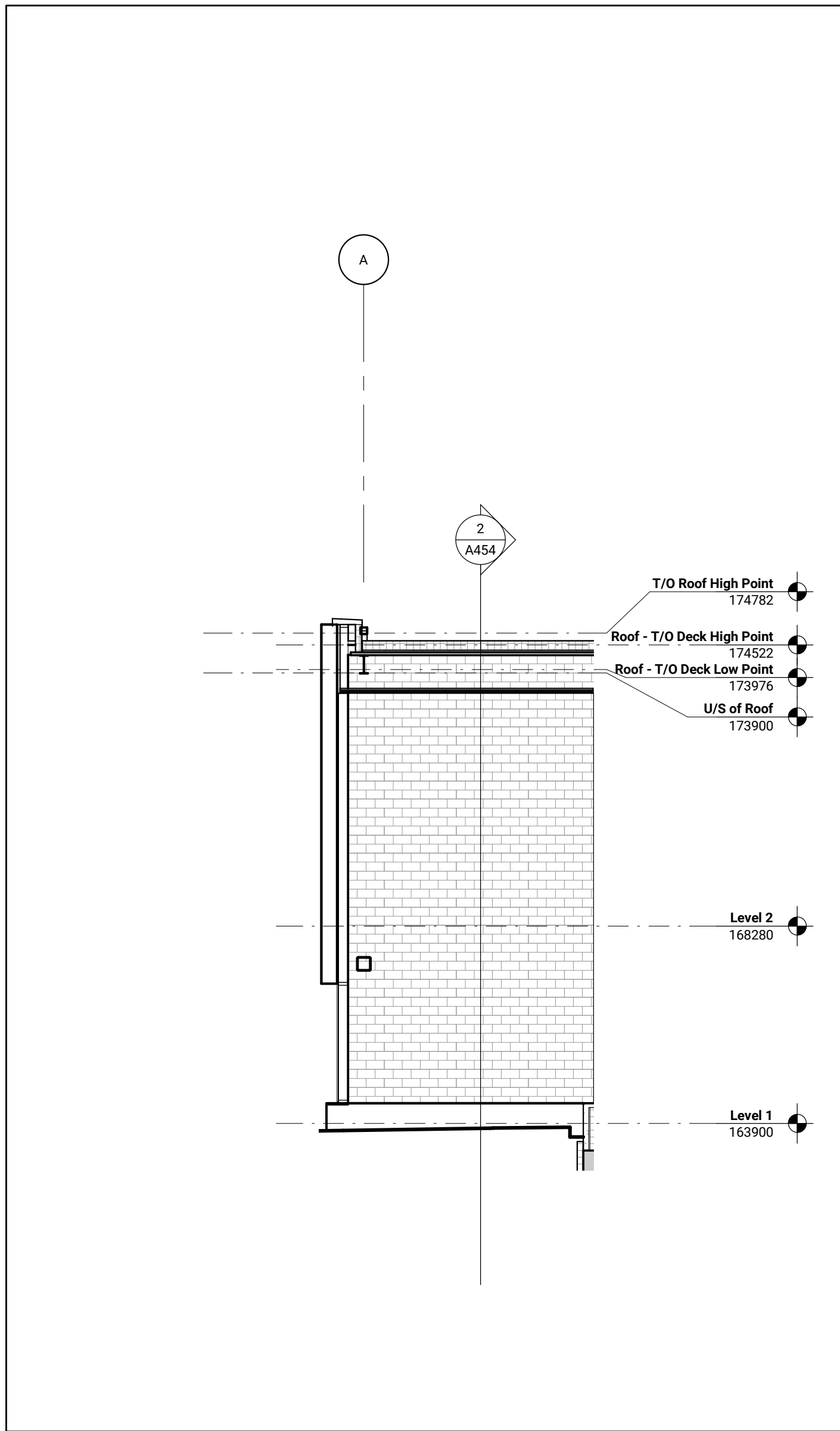
North Elevation - Terrace

1:100 A302



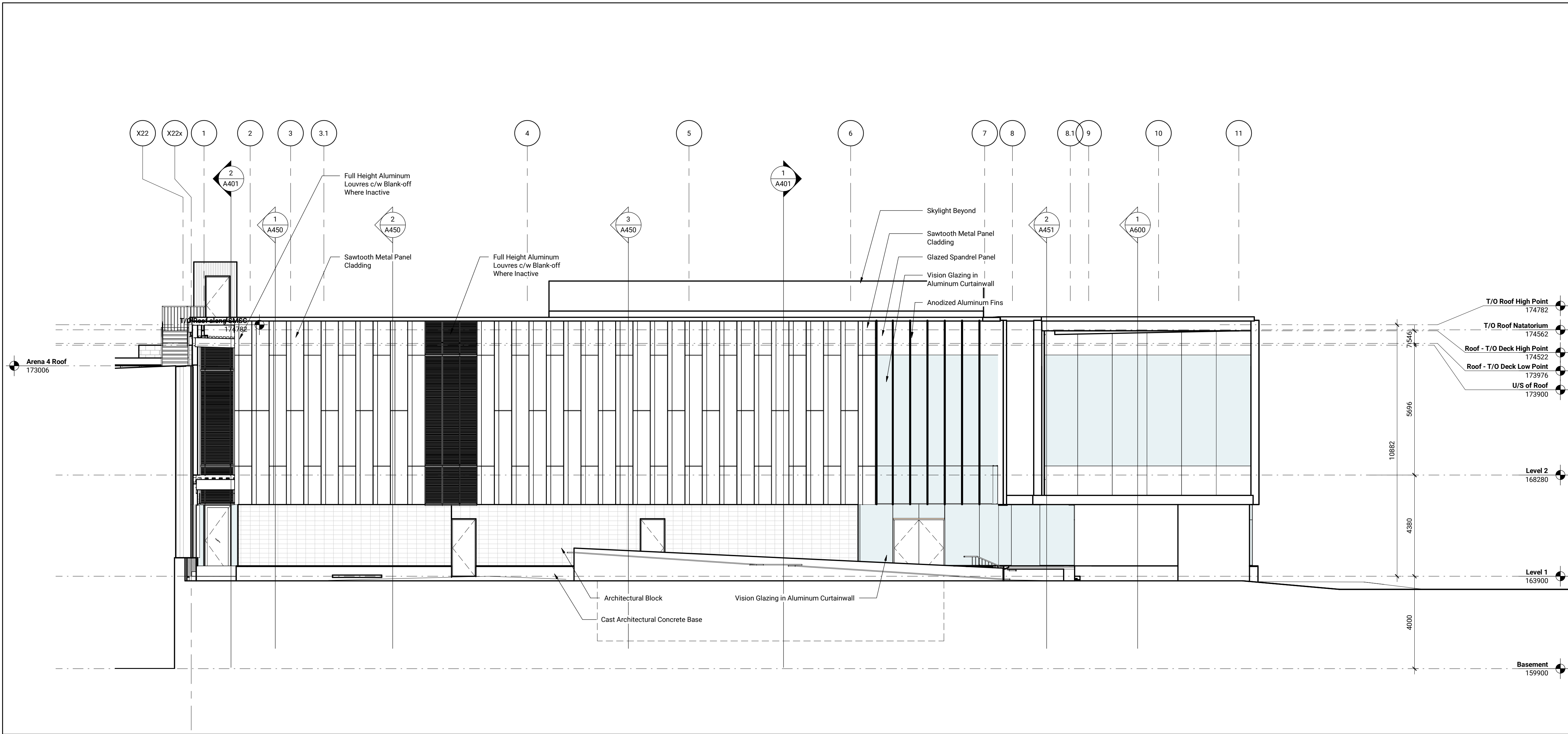
West Elevation - Terrace

1:100 A302



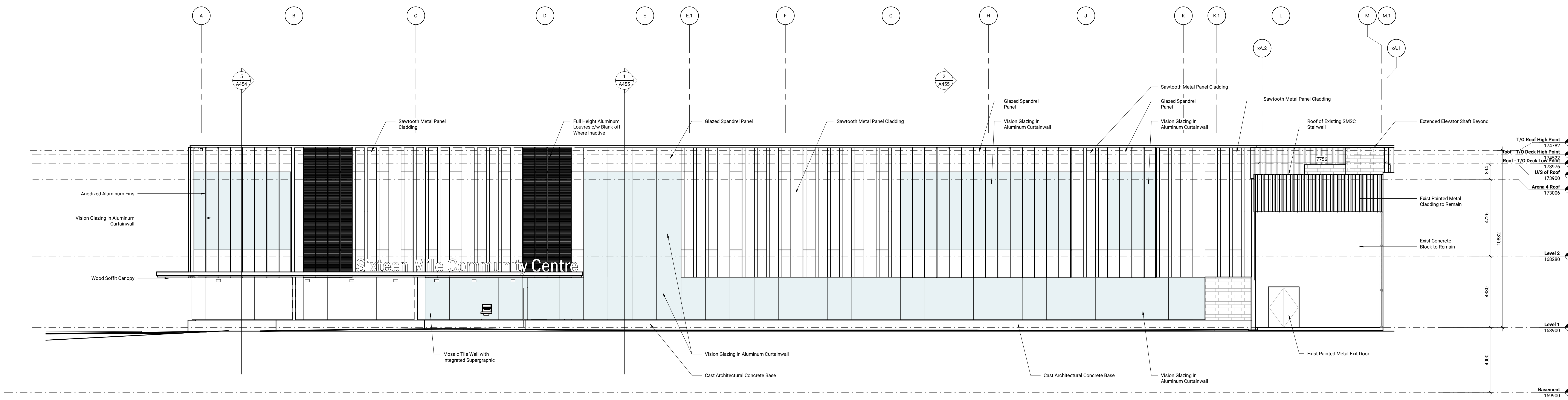
East Elevation - Terrace

1:100 A302



South Elevation

1:100 A302



West Elevation

1:100 A302

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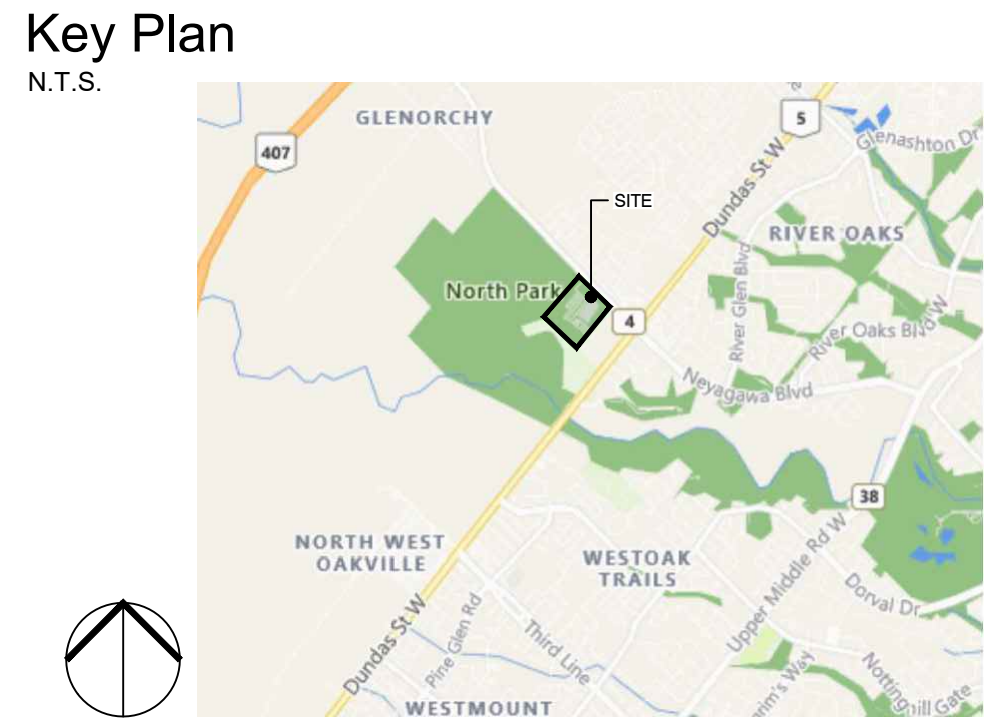
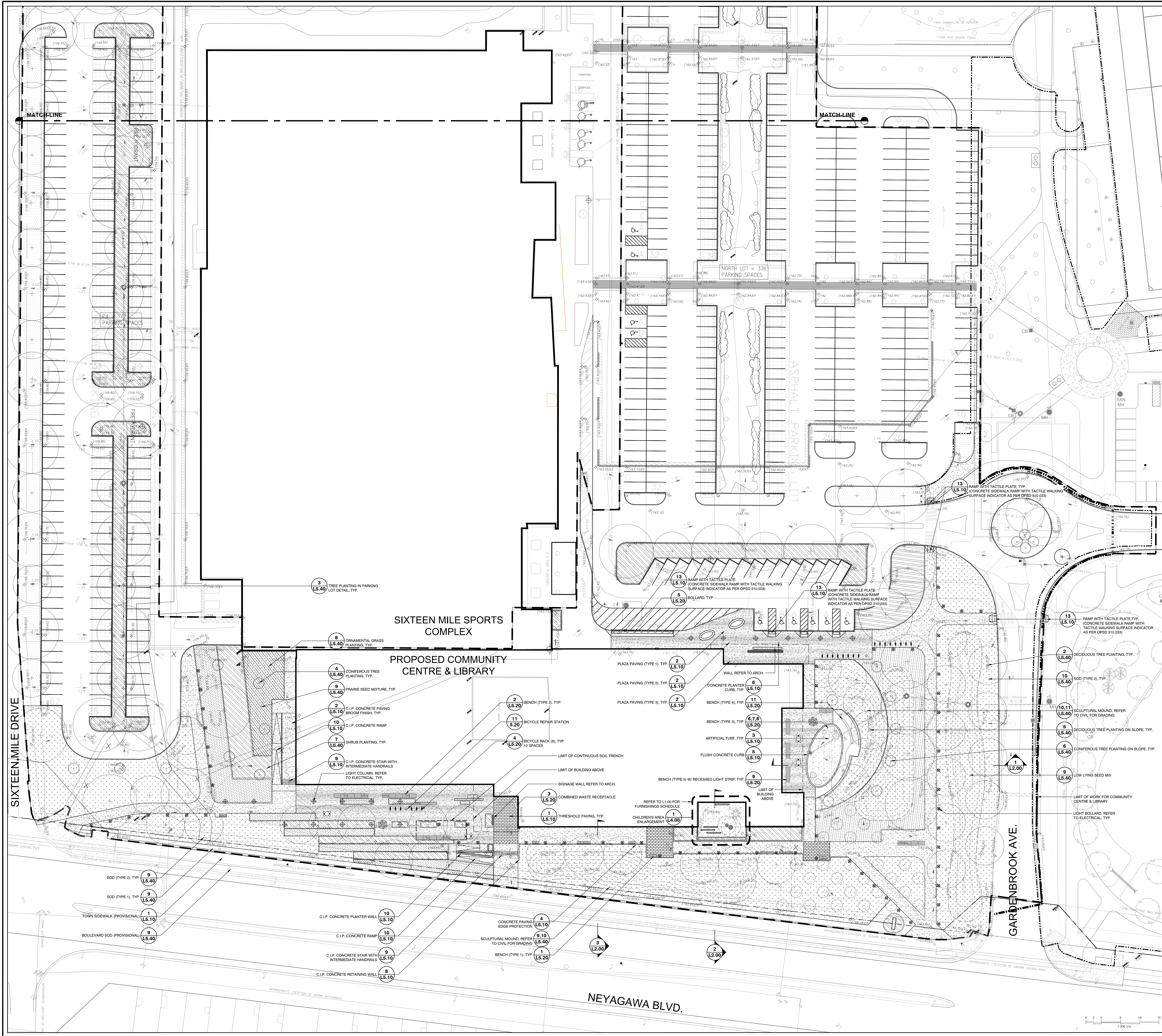
North Park Community  
Centre and Public Library  
3070 Neyagawa Blvd, Oakville, ON L6M 4L6  
211030

Exterior Elevations

1:100

A302





- Legend**
- PROPERTY LINE
  - LIMIT OF WORK
  - EXISTING TREES
  - PROPOSED TREES
  - SHRUB PLANTING
  - ORNAMENTAL GRASS PLANTING
  - SOD (TYPE 1)
  - SOD (TYPE 2)
  - UPLAND SEED MIX
  - LOW LYING SEED MIX
  - THRESHOLD PAVING
  - CONCRETE PAVING W/ BROOM FINISH
  - PLAZA PAVING (TYPE 1)
  - PLAZA PAVING (TYPE 2)
  - PLAZA PAVING (TYPE 3)
  - BENCH (TYPE 1)
  - BENCH (TYPE 2)
  - BENCH (TYPE 3)
  - BENCH (TYPE 4)
  - BENCH (TYPE 5)
  - BIKE RACK
  - COMBINED WASTE RECEPTACLE
  - GROUP TABLE & UMBRELLA
  - ACCESSIBLE GROUP TABLE
  - BICYCLE REPAIR STATION
  - BOLLARD
  - OVAL PLANTER / BENCH
  - LIGHT STANDARDS (REFER TO ELECTRICAL)

- REFERENCE NOTES**
- Survey provided by Town of Oakville, received on [redacted]
  - Refer to traffic consultant drawings for all lane crossings and accessible parking aisle treatments.
  - Grading and servicing shown for reference only. Refer to grading, servicing, cuts and each ramp information.
  - Lighting for reference only. Refer to electrical drawings for detailed lighting information.
  - Refer to park landscape drawings by MBTW for existing tree species and canopy cover plan.
- GENERAL NOTES:**
- Drawings not to be used for construction unless authorized by the Landscape Architect.
  - Contractor shall report any discrepancies between the drawings and site conditions prior to commencement of the work.
  - All utility locations are the responsibility of the Contractor. Hand dig within the limits recommended by the service utility. Utility conflicts with proposed tree locations must be reported immediately to the Landscape Architect.
  - Sixteen Mile Community Centre & Library base drawing provided by Diamond Schmitt Architects.
  - For Sixteen Mile Community Centre grading information refer to drawing by MTE Consultants.
  - North Park Sports Park base drawings provided by The MBTW Group.
  - Landscape drawings show engineering information for design purposes only. Do not construct engineering works from these drawings.

**LANDSCAPE SITE PLAN AREA A**  
North Park Development: Community Centre, Library and Sports Park, Oakville, ON

ISSUED FOR SITE PLAN APPROVAL, NOT FOR CONSTRUCTION.

**DATE** **ISSUE** **BY**

Feb 4 2022	Issued for Site Plan Application 1	BT
June 10 2022	Issued for Site Plan Application 2	BT
June 10 2022	Issued for Minor Variance	BT
July 11 2022	Issued for 30% CD	JH
Sept 12 2022	Issued for Committee of Adjustments	BT

**DATE** **REVISIONS** **BY**

Jan 26 2022	Issued for Coordination	BT
Jan 27 2022	Issued for Coordination	BT
May 2 2022	Issued for Coordination	MZ

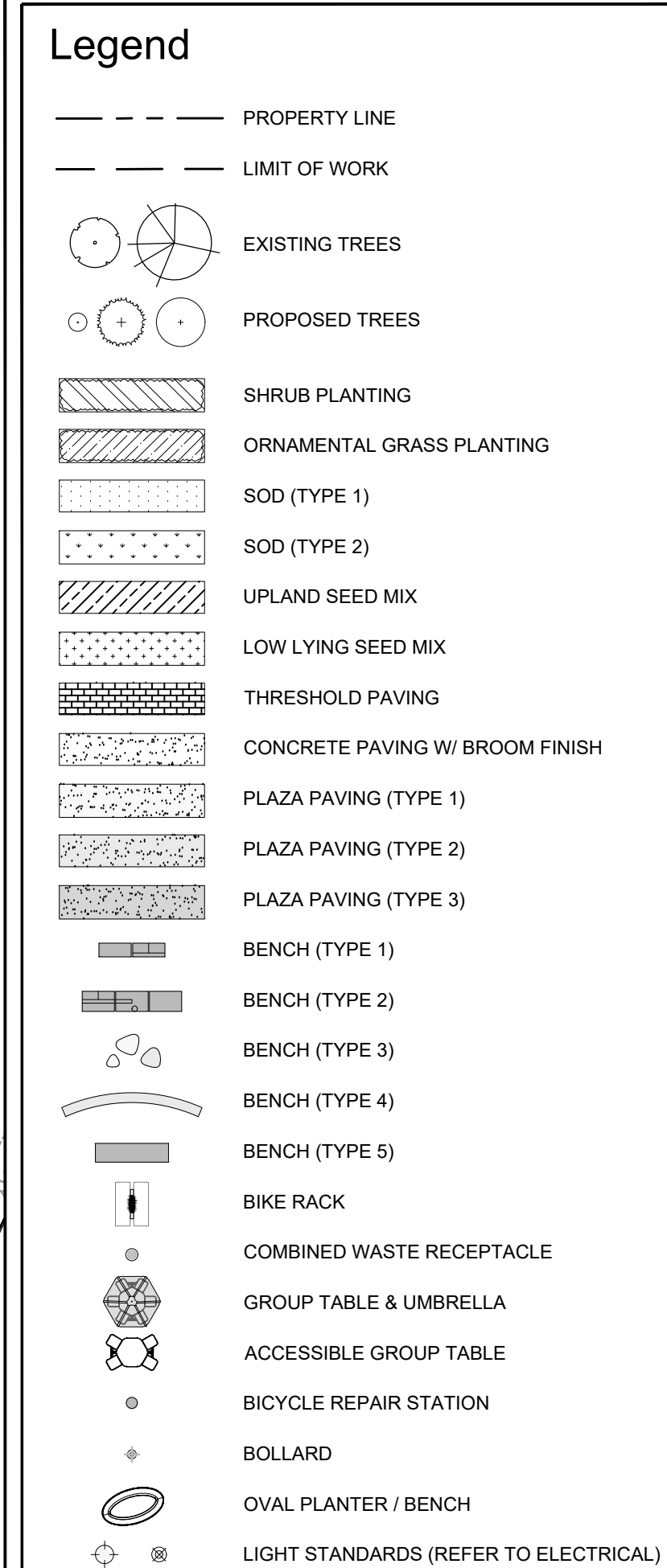
**GSP group**  
12 Humber Street South, Suite 101  
Oakville, Ontario L6M 4P6  
T: 905.846.1111  
www.gspgroup.ca

122 Cedar Street South, Suite 108  
Oakville, Ontario L6M 4P6  
T: 905.846.1111

Date: June 2022  
Scale: 1:300 @ 36x48  
Drawn By: MZ, BT  
Project No.: 21337

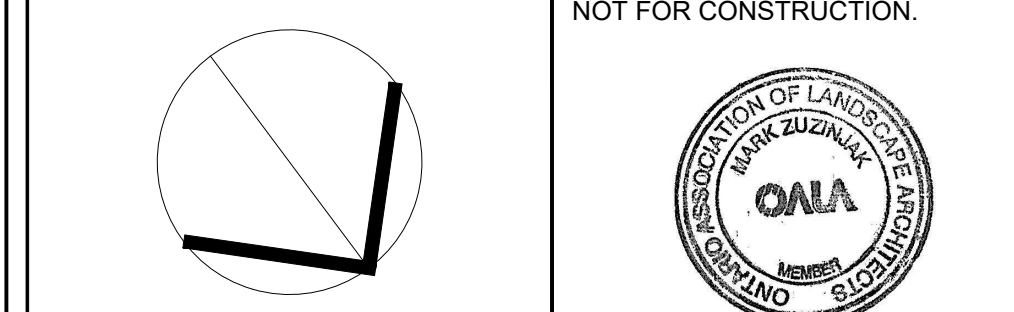
**L1.00**





# LANDSCAPE SITE PLAN AREA B

North Park Development: Community Centre,  
Library and Sports Park, Oakville, ON

[illegible]

L1.01