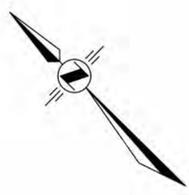


NO	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	2022/09/07

ASSOCIATION OF ONTARIO  
LAND SURVEYORS  
PLAN SUBMISSION FORM  
V-29948

THIS PLAN IS NOT VALID  
UNLESS IT HAS AN EMBOSSED  
ORIGINAL COPY  
ISSUED BY THE SURVEYOR  
In accordance with  
Regulation 1026, Section 29(3)



**WOLFDAL AVENUE**  
(BY REGISTERED PLAN 1005)  
PIN 24770-0067(LT)

**METRIC**  
DISTANCES SHOWN ON THIS PLAN ARE  
IN METRES AND CAN BE CONVERTED  
TO FEET BY DIVIDING BY 0.3048.

**SURVEYOR'S REAL PROPERTY REPORT**  
PART 1) PLAN AND TOPOGRAPHIC DETAIL OF  
**LOT 4**  
**REGISTERED PLAN 1005**  
**TOWN OF OAKVILLE**  
**REGIONAL MUNICIPALITY OF HALTON**  
**SCALE 1:200**

**VLADIMIR DOSEN SURVEYING, O.L.S.**

NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR ALTER THIS  
PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION  
OF VLADIMIR DOSEN, O.L.S.

- NOTES AND LEGEND**
- DENOTES SURVEY MONUMENT PLANTED
  - DENOTES SURVEY MONUMENT FOUND
  - IB DENOTES IRON BAR
  - M DENOTES MEASURED
  - OU DENOTES ORIGIN UNKNOWN
  - MH DENOTES MANHOLE
  - UP DENOTES UTILITY POLE
  - WV DENOTES WATER VALVE
  - Ø DENOTES DIAMETER
  - FD DENOTES TIES TO FOUNDATION
  - BF DENOTES BOARD FENCE
  - CLF DENOTES CHAIN LINK FENCE
  - 760 DENOTES MCCONNELL MAUGHAN LTD., O.L.S.
  - PL DENOTES REGISTERED PLAN 1005
  - D DENOTES INSTRUMENT No. 110943
  - D1 DENOTES INSTRUMENT No. 112793
  - P1 DENOTES PLAN BY CUNNINGHAM MCCONNELL LTD., O.L.S.  
DATED FEBRUARY 28TH, 2022
  - P2 DENOTES PLAN BY YOUNG & YOUNG SURVEYING, O.L.S.  
DATED MARCH 7TH, 2007
  - N/E/S/W DENOTES NORTH/EAST/SOUTH/WEST
  - ☉ DENOTES DECIDUOUS TREE
  - ☎ DENOTES CONIFEROUS TREE

**BENCHMARK:**  
ELEVATIONS ARE GEODETIC AND ARE DERIVED FROM  
TOWN OF OAKVILLE BENCHMARK No. 190  
HAVING AN ELEVATION OF 85.897 METRES.

**PART 2) SURVEY REPORT**  
DESCRIPTION OF LAND:  
LOT 4, REGISTERED PLAN 1005, PIN 24770-0070(LT)  
REGISTERED EASEMENTS AND/OR RIGHT OF WAYS:  
SUBJECT TO EASEMENT OVER THE REAR 1.83m AS IN INSTRUMENTS  
No. 110943 AND 112793  
BOUNDARY FEATURES:  
POSITION OF FENCES AS SHOWN ON PLAN  
COMPLIANCE WITH MUNICIPAL ZONING BY-LAWS:  
THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING  
BY-LAWS.

**BEARING NOTE:**  
BEARINGS ARE ASTRONOMIC AND ARE  
DERIVED FROM THE SOUTHERLY  
LIMIT OF WOLFDAL AVENUE  
AS SHOWN ON REGISTERED PLAN 1005  
HAVING A BEARING OF N44°52'00"W

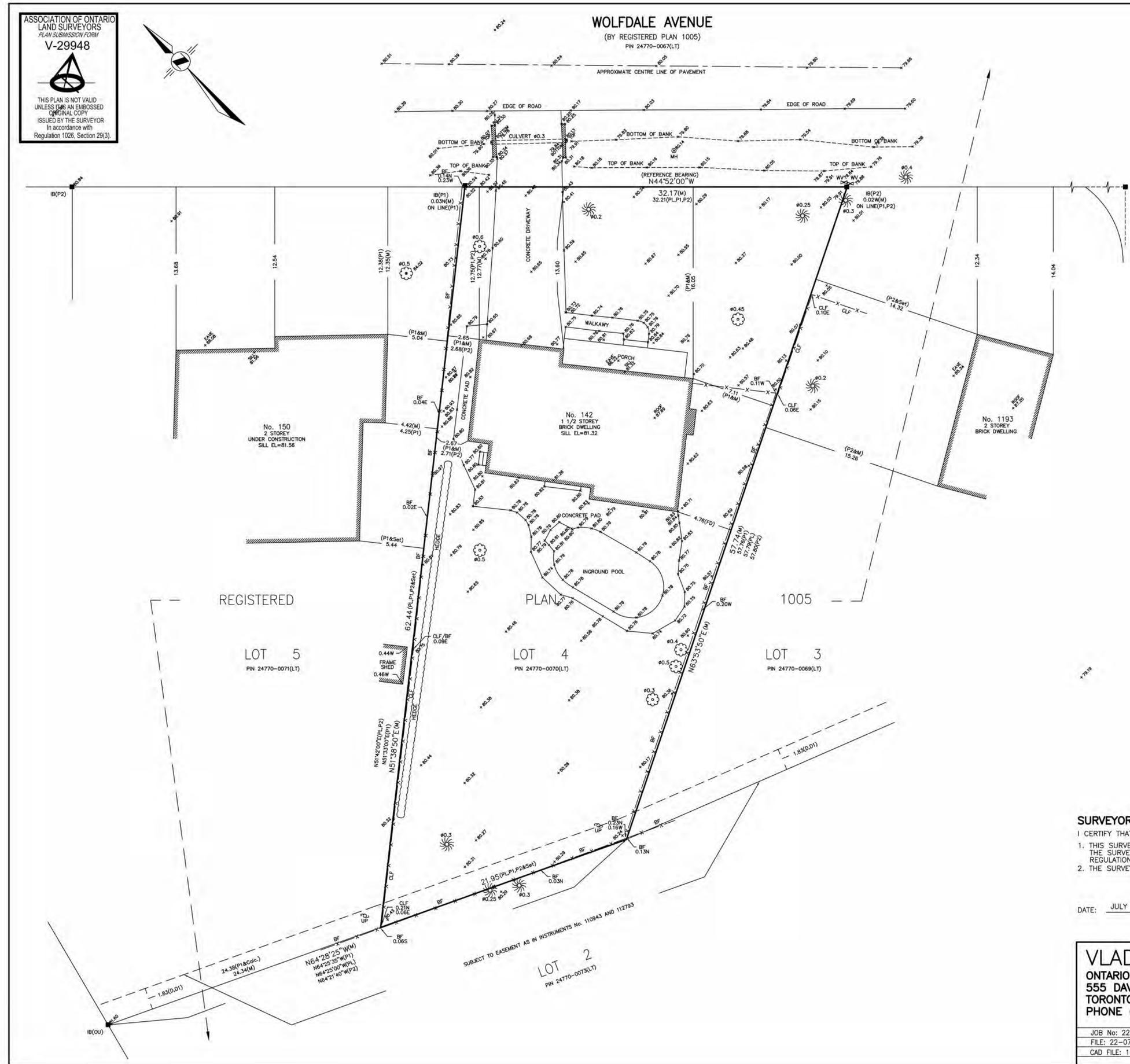
THIS REPORT WAS PREPARED FOR  
RED STUDIO  
AND THE UNDERSIGNED ACCEPTS NO  
RESPONSIBILITY FOR USE BY  
OTHER PARTIES.

**SURVEYOR'S CERTIFICATE**  
I CERTIFY THAT:  
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH  
THE SURVEYS ACT, THE SURVEYORS ACT AND THE  
REGULATIONS MADE UNDER THEM.  
2. THE SURVEY WAS COMPLETED ON THE 28th DAY OF JUNE, 2022

DATE: JULY 6th, 2022  
VLADIMIR DOSEN, B.Sc.  
ONTARIO LAND SURVEYOR

**VLADIMIR DOSEN SURVEYING**  
ONTARIO LAND SURVEYORS  
555 DAVISVILLE AVENUE  
TORONTO, ONTARIO M4S 1J2  
PHONE (416) 466-0440 EMAIL: vladdosen@rogers.com

JOB No: 22239	FIELD BY: FK
FILE: 22-071	DRAWN BY: EGON
CAD FILE: 142 WOLFDAL AVENUE	CHECKED BY: VLAD



COFA

CONTRACTOR MUST CHECK + VERIFY ALL DIMENSIONS ON SITE.  
DO NOT SCALE DRAWINGS.  
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CONSTRUCTION.

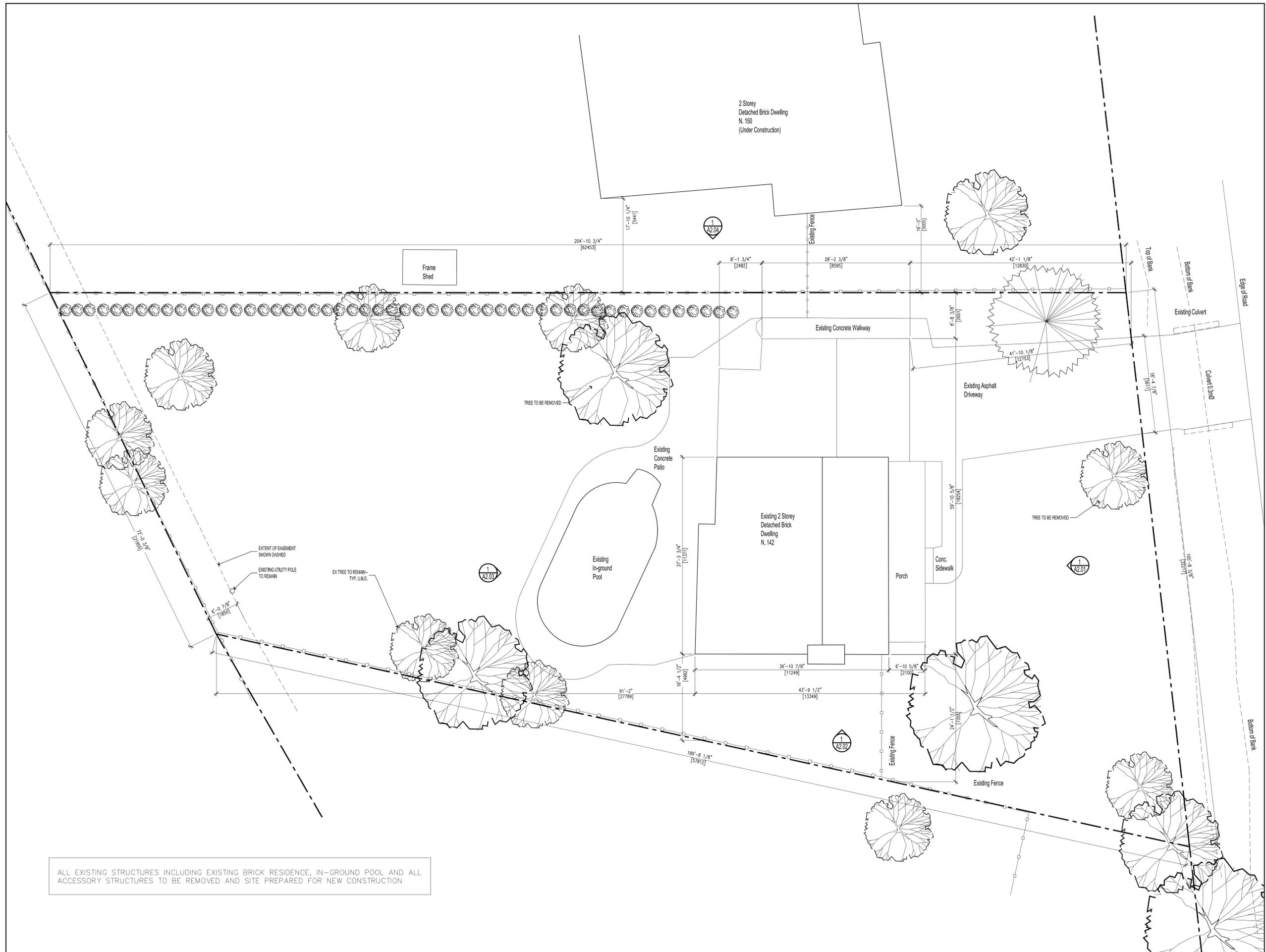
PROJECT INFORMATION 142 Wolfdale Ave, Oakville, ON

DRAWING  
Site Survey

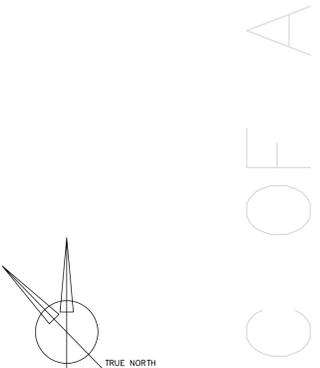
PROJECT NO. 2197  
DATE: 2022/05/27  
SCALE:  
DRAWN EGON  
REVIEWED VLAD  
BY:

**A0.01**

NO.	DESCRIPTION	DATE
1	ISSUED FOR INFORMATION	2022/04/15
2	ISSUED FOR COORDINATION	2022/07/22
3	ISSUED FOR COORDINATION	2022/08/08
4	ISSUED FOR C OF A	2022/10/14
5	ISSUED FOR C OF A RESUBMISSION	2022/11/02



ALL EXISTING STRUCTURES INCLUDING EXISTING BRICK RESIDENCE, IN-GROUND POOL AND ALL ACCESSORY STRUCTURES TO BE REMOVED AND SITE PREPARED FOR NEW CONSTRUCTION



CONTRACTOR MUST CHECK + VERIFY ALL DIMENSIONS ON SITE.  
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 THE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL PERMISSION HAS BEEN GRANTED BY THE ARCHITECT OR THE DRAWING IS ISSUED AS 'ISSUED FOR CONSTRUCTION'.

PROJECT INFORMATION  
 PRIVATE RESIDENCE  
 142 WOLFDALE AVE.  
 OAKVILLE, ON  
 L6L4S1

DRAWING TITLE  
**EXISTING SITE PLAN**

PROJECT NO.: 21-2197  
 DATE: 22/04/2022  
 SCALE: 1/8" = 1'-0"

DRAWN BY: DS  
 REVIEWED BY: AS



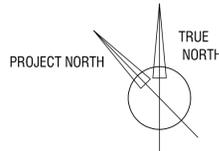
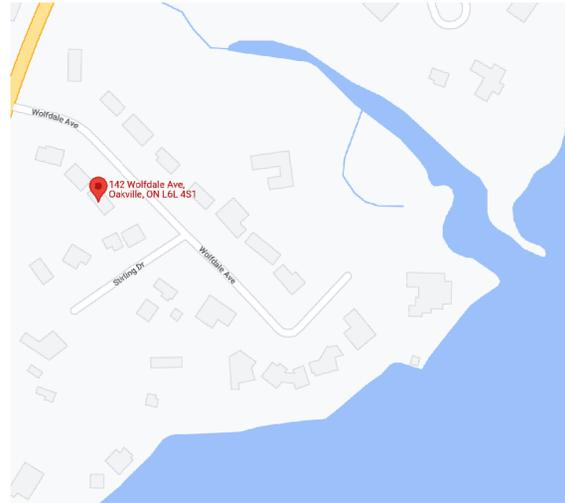
# 142 WOLFDAL AVENUE

OAKVILLE, ONTARIO, L6L 4S1

# RED

RED STUDIO INC. ARCHITECTS  
354 DAVENPORT ROAD, SUITE 300  
TORONTO, ONTARIO, M5R1K6

T 416.962.1996  
F 416.962.5028  
WWW.RED-STUDIO.CA



SITE STATISTICS_142 WOLFDAL AVENUE, OAKVILLE, ON L6L 4S1 - LOT 4, PL 1005, PIN 24770-0070 (LT)		
town of oakville zoning designation RL 1-0 single family residential		
	allowed	proposed
FRONTAGE	30.5m (100')	32.17m (105'-09")
FRONT YARD SETBACK	11.75m (38'-9")	11.76m (38'-7")
REAR YARD SETBACK	10.5m (34'-9")	22.12m (72'-7")
NORTH YARD SETBACK	4.2m (13'-9") 1.2m at attached garage	4.2m (13'-9")
SOUTH YARD SETBACK	4.2m (13'-9")	4.2m (13'-9")
ESTABLISHED AVERAGE GRADE		80.54 + 79.89 / 2 = +80.21 8.88m (29'-5.3'-4")
HEIGHT - MAIN HOUSE (TOP OF PEAK)	9m (29'-6")	
HEIGHT - ACCESSORY (TOP OF PEAK)	4m (13'-2")	3.99m (13'-1")
DEPTH OF BUILDING	20m (65'-7")	20m (65'-7")
MAX FLOOR AREA	29%	Ground Floor + Second Floor: 235.33 + 255.85 = 491.18 m <sup>2</sup> Accessory Structures: 17.49 m <sup>2</sup>
FLOOR AREA RATIO	29%	(491.18 / 1,496.64) = 32.82%
LOT AREA	1,393.5m <sup>2</sup> (minimum)	1,496.64m <sup>2</sup> (existing)
COVERAGE	25%	Ground Floor + Garage + Roof Overhangs + Accessory Structures (235.33 + 61.36 + 37.6 + 17.49 = 351.78 m <sup>2</sup> / 1,496.64 m <sup>2</sup> ) = 23.50%

NOTE: All site information taken from survey drawing by Vladimir Dosen Surveying, Ontario Land Surveyors, dated 6 July 2022.

1  
A0.00  
KEY MAP  
NTS

2  
A0.00  
SITE STATISTICS  
NTS

## DRAWING LIST:

### ARCHITECTURAL DRAWINGS BY RED STUDIO INC. ARCHITECTS

- A0.00 COVER & NOTES
- A0.01 SITE SURVEY
- A0.11 EXISTING SITE PLAN
- A0.12 PROPOSED SITE PLAN
- A1.01 EXISTING BASEMENT PLAN
- A1.02 EXISTING GROUND FLOOR PLAN
- A1.03 EXISTING SECOND FLOOR PLAN
- A1.04 EXISTING ROOF PLAN
- A1.05 PROPOSED BASEMENT PLAN
- A1.06 PROPOSED GROUND FLOOR PLAN
- A1.07 PROPOSED SECOND FLOOR PLAN
- A1.08 PROPOSED ROOF PLAN
- A1.09 PROPOSED ACCESSORY STRUCTURE PLANS
- A2.01 EXISTING EAST ELEVATION
- A2.02 EXISTING SOUTH ELEVATION
- A2.03 EXISTING WEST ELEVATION
- A2.04 EXISTING NORTH ELEVATION
- A2.05 PROPOSED EAST ELEVATION
- A2.06 PROPOSED SOUTH ELEVATION
- A2.07 PROPOSED WEST ELEVATION
- A2.08 PROPOSED NORTH ELEVATION
- A2.09 PROPOSED ACCESSORY STRUCTURE ELEVATION
- A2.10 PROPOSED ACCESSORY STRUCTURE ELEVATION
- A2.11 PROPOSED ACCESSORY STRUCTURE ELEVATION
- A2.12 PROPOSED ACCESSORY STRUCTURE ELEVATION
- A2.13 PROPOSED ACCESSORY STRUCTURE ELEVATION
- A2.14 PROPOSED ACCESSORY STRUCTURE ELEVATION
- A3.01 BUILDING SECTIONS
- A3.02 BUILDING SECTIONS
- A3.03 BUILDING SECTIONS

## GENERAL NOTES

- CONTRACTOR IS RESPONSIBLE TO READ AND COORDINATE WITH ALL PROJECT DOCUMENTS INCLUDING BUT NOT LIMITED TO DRAWINGS, SPECIFICATIONS, MUNICIPAL DOCUMENTS, ETC. PRIOR TO COMMENCING WORK.
- DESIGNER HAS APPLIED FOR PERMIT. CONTRACTOR MUST OBTAIN ALL CONSTRUCTION PERMITS REQUIRED BY ALL RELEVANT AUTHORITIES PRIOR TO COMMENCING ANY WORK.
- CONTRACTOR SHALL NOTIFY DESIGNER OF ANY DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS AND SITE CONDITIONS PRIOR TO COMMENCING ANY WORK.
- CONTRACTOR SHALL COORDINATE ALL SITE WASTE BIN DROP-OFF AND PICKUP LOCATIONS WITH LANDLORD PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT THE SITE IS KEPT FREE OF ALL CONSTRUCTION AND MATERIAL DEBRIS AT ALL TIMES.
- CONTRACTOR SHALL MAINTAIN A CLEAN SITE, FREE FROM ANY DANGER IN ORDER FOR CONSULTANTS TO COMPLETE ANY SITE REMEDS.
- CONTRACTOR SHALL BE RESPONSIBLE TO DRECT AND MAINTAIN ALL NECESSARY HOARDING AND SAFETY PRECAUTIONS IN ACCORDANCE WITH THE LATEST EDITION OF THE JOB REGULATIONS. CONTRACTOR SHALL PROVIDE THE CLIENT WITH WRITTEN DOCUMENTATION FOR REVIEW PERTAINING TO THE TYPE, LOCATION, AND PHYSICAL REQUIREMENTS OF ANY HOARDING OR SAFETY PRECAUTIONS THAT MAY BE USED DURING THE COURSE OF THE WORK.
- CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL CITY REQUIRED SITE INSPECTIONS ARE COORDINATED, COMPLETED AND SIGNED-OFF BY ALL BUILDING INSPECTORS. FAILURE TO COMPLETE ANY BUILDING INSPECTION AND FINAL OCCUPANCY CLEARANCE MAY RESULT IN PERMIT HOLD BACKS.
- CONTRACTOR TO COORDINATE ALL MATERIAL DELIVERY AND REMOVAL, SCHEDULING OF ELEVATORS, ETC. WITH PROJECT MANAGER/LANDLORD.
- THESE DRAWINGS TO BE READ IN CONJUNCTION WITH MECHANICAL AND ELECTRICAL ENGINEERING DRAWINGS AND SPECIFICATIONS. REPORT ANY DISCREPANCIES BETWEEN CONSULTANT'S DRAWINGS TO THE DESIGNER FOR CLARIFICATION.
- REFER TO SPECIFICATIONS, SCHEDULES AND PLANS FOR PRODUCTS AND COLOUR INFORMATION FOR ALL FLOOR FINISHES.
- REFER TO PLANS FOR ALL CEILING HEIGHTS. CONTRACTOR SHALL REPORT TO CONSULTANT ANY DISCREPANCIES IN CEILING HEIGHTS PRIOR TO COMMENCING ANY WORK.
- CONTRACTOR SHALL ENSURE THAT NO WORK IS PERFORMED THAT MAY PENETRATE THE BASE BUILDING ENCLOSURES IN ANY WAY WITHOUT THE APPROVAL OF THE CONSULTANT. PARTITIONS THAT MAY ADJUT PERIMETER WALLS OR BUILDING SHALL BE SECURED WITH ADHESIVE FACED CLOSED CELL FOAM GASKETS.
- PROTECT ALL SURFACES INDICATED TO REMAIN DURING DEMOLITION AND CONSTRUCTION.

## GENERAL LEGEND

- AREA NOT IN CONTRACT REFER TO PLANS. TYPICAL
- REPRESENTS EXISTING WALLS TO REMAIN

## DEMOLITION NOTES

- CONTRACTOR TO ENSURE THAT ALL SURFACES ARE PROPERLY CLEANED AND PREPARED TO RECEIVE FINISHES.
- PATCH AND REPAIR ALL EXISTING SURFACES AFFECTED BY THE WORK AND PREPARE TO ACCEPT NEW FINISHES AS PER DOCUMENTS.
- CONTRACTOR SHALL PROTECT ALL CEILING FINISHES AND ACOUSTICAL TILES FROM DIRT AND DEBRISHES WHEN PERFORMING WORK ASSOCIATED WITH CEILING AND/OR ABOVE CEILING FINISHES.
- PROTECT ALL SURFACES INDICATED TO REMAIN DURING DEMOLITION AND CONSTRUCTION.
- PROVIDE HILTI CPC9035 ELASTOMERIC FIRESTOP SEALANT AT ALL LOCATIONS WHERE EXISTING SERVICES HAVE BEEN REMOVED AS A RESULT OF THIS WORK AT ALL FLOOR AND CEILING WALL LOCATIONS. TYPICAL.
- WHERE ORPHANED BAFFLES EXIST IN PLENUM, REMOVE AND DISPOSE OF.

## MILLWORK GENERAL NOTES

- CONTRACTOR TO PROVIDE MILLWORK SHOP DRAWINGS TO DESIGNER FOR REVIEW PRIOR TO FABRICATION OF MILLWORK.
- ALL CABINET INTERIORS TO BE M-1 WHITE MELAMINE, UNLESS OTHERWISE NOTED.
- ALL COUNTERTOPS AND EXPOSED SURFACES OF CABINETS AND EDGES TO BE PLASTIC LAMINATE UNLESS OTHERWISE NOTED.
- SECURE ALL MILLWORK TO WOOD BLOCKING WITHIN PARTITION AS NECESSARY TO SUPPORT ALL LOADS. SHIM AND ANCHOR AS REQUIRED.
- CONTRACTOR TO CONFIRM DIMENSIONS OF ALL APPLIANCES PRIOR TO FABRICATION OF MILLWORK.
- ALL MILLWORK CONSTRUCTION TO BE 3/4" PLYWOOD CONSTRUCTION UNLESS OTHERWISE NOTED.
- PROVIDE SAMPLES FOR ALL THE FINISHES FOR THE APPROVAL OF THE DESIGNER.
- PROVIDE FULL EXTENSION GLIDES AND CONCEALED HINGES FOR ALL CABINET DOORS AND DRAWERS.

## GENERAL PARTITION LEGEND

- SYMBOL DENOTES NEW PARTITION
- SYMBOL DENOTES PARTITION TYPE
- SYMBOL DENOTES ROOM NAME AND NUMBER
- SYMBOL DENOTES DOOR NUMBER
- SYMBOL DENOTES PLYWOOD BLOCKING 32-84"x4" (UNLESS OTHERWISE NOTED) WITHIN PARTITION TO SUPPORT MILLWORK, WHITEBOARDS, TV, ETC.

## REFLECTED CEILING LEGEND

- DRYWALL CEILING
- LIGHT FIXTURE
- POT LIGHT FIXTURE
- LINEAR DIFFUSER
- CEILING HEIGHT ABOVE FINISHED FLOOR (A.F.F.) TO UNDERSIDE OF FINISHED CEILING
- NEW LIGHT SWITCH LOCATION
- NEW DIMMER SWITCH LOCATION

## REFLECTED CEILING PLAN NOTES

- REFER TO ELECTRICAL AND MECHANICAL DRAWINGS FOR COMPLETE SPECIFICATIONS, INCLUDING COLOUR AND FINISHES OF DEVICES AND COVER PLATES.
- CONTRACTOR SHALL ADVISE CONSULTANT OF ANY DISCREPANCIES, INTERFERENCE, AND CONFLICTS PRESENTED BY SITE CONDITIONS THAT MAY IMPACT REFLECTED CEILING LAYOUT PRIOR TO COMMENCING WITH ANY WORK.
- RECESSED FIXTURES LOCATED IN ACOUSTICAL CEILING TILE ARE TO BE CENTERED ON TILE UNLESS DIMENSIONED OTHERWISE.
- CONTRACTOR SHALL ADVISE CONSULTANT OF ANY DISCREPANCIES WITH THE LOCATIONS OF ALL CEILING ACCESS PANELS AND HATCHES PRIOR TO COMMENCING ANY WORK.
- ALL EXPOSED, PAINTABLE SURFACES SUCH AS ACCESS PANELS, GRILLES AND LINEAR DIFFUSERS ARE TO BE PAINTED TO MATCH THE CEILING COLOUR UNLESS OTHERWISE NOTED.
- ALL BASE BUILDING OPSYSM BOARD SURFACES ON PERIMETER SOFFITS AND BULKHEADS ARE TO BE PAINTED TO MATCH THE ROOM OR AREA THEY ARE PART OF UNLESS OTHERWISE NOTED.
- REFER TO MECHANICAL ENGINEER'S DRAWINGS FOR LOCATION OF LINEAR DIFFUSERS AND RELOCATION OF DIFFUSERS AS REQUIRED.
- REFER TO ENGINEER DRAWINGS FOR LOCATIONS OF LIGHTS, RELOCATIONS OF EXISTING LIGHTS, LOCATION OF SWITCHES AND EXIT SIGNS.
- REFER TO FINISHES PLAN, NOTES AND LEGEND FOR ALL FINISH SPECIFICATIONS.
- CONFIRM LOCATIONS OF PENDANT LIGHTS ON SITE W/ DESIGNER PRIOR TO INSTALLATION OF JUNCTION BOXES/POWER.
- ALL NEW DRYWALL PARTITIONS TO BE PARTITION TYPE 1 (P1) UNLESS OTHERWISE NOTED.
- REFER TO SECTIONS FOR PARTITION TYPES.

## REFLECTED CEILING LEGEND

- DRYWALL CEILING
- LIGHT FIXTURE
- POT LIGHT FIXTURE
- LINEAR DIFFUSER
- CEILING HEIGHT ABOVE FINISHED FLOOR (A.F.F.) TO UNDERSIDE OF FINISHED CEILING
- NEW LIGHT SWITCH LOCATION
- NEW DIMMER SWITCH LOCATION

## POWER AND COMMUNICATIONS NOTES

- THIS DRAWING IS FOR THE LOCATION AND DIMENSIONS OF OUTLETS AND OTHER EQUIPMENT AND DEVICES. IT IS NOT INTENDED TO INDICATE THE COMPLETE SCOPE OF ELECTRICAL AND COMMUNICATIONS WORK. REFER TO ENGINEER'S DRAWINGS. REPORT ANY DISCREPANCIES BETWEEN THIS DRAWING AND ENGINEER'S DRAWINGS TO THE CONSULTANT IMMEDIATELY.
- DIMENSIONS ARE TO THE CENTERLINE OF OUTLETS, SWITCHES, EQUIPMENT AND DEVICES UNLESS INDICATED OTHERWISE.
- LAYOUT ACCURATELY AND MARK CLEARLY THE LOCATIONS OF FLOOR MONUMENTS. OBTAIN CONSULTANT'S APPROVAL OF LOCATIONS PRIOR TO CORING, DRILLING OR CHASING.
- FURNITURE CONNECTIONS: COORDINATE W/ FURNITURE INSTALLER FOR POWER & COMMUNICATION.
- PROVIDE ADEQUATE LENGTH OF DATA AND COMMUNICATIONS CABLE TO CONNECT THE EQUIPMENT FARTHEST FROM THE DATA/COMMUNICATIONS ENTRY POINT TO THE WORKSTATION GROUPING. MAKE TERMINATIONS AND CONNECT TO EQUIPMENT AFTER EQUIPMENT INSTALLATION.
- ALL RECEPTABLES AND OUTLETS TO BE MOUNTED AT 18" AFF TO CENTERLINE UNLESS OTHERWISE NOTED.
- THE CONTRACTOR IS RESPONSIBLE FOR THE SUPPLY AND INSTALLATION OF VOICE AND DATA CHASING, CABLE TV CHASING AND VOICE/DATA COVER PLATES UNLESS OTHERWISE NOTED.
- PROVIDE CONDUIT TO CEILING LEVEL FOR ALL NEW VOICE/DATA AND CABLE TV OUTLETS C/W PULL STRINGS WITHIN ALL NEW PARTITIONS.
- CONTRACTOR TO CONFIRM POWER REQUIREMENTS FOR COPPER EQUIPMENT PRIOR TO INSTALLATION.
- ALL OUTLETS INSTALLED ABOVE COUNTERS TO BE MOUNTED HORIZONTALLY.

## POWER AND COMMUNICATIONS LEGEND

- VOICE/DATA OUTLET
- WALL MOUNTED DUPLEX RECEPTACLE, MOUNTED VERTICALLY AT 18" AFF, UNLESS OTHERWISE NOTED.
- NEW QUADPLEX RECEPTACLE ON SEPARATE CIRCUIT, MOUNTED AT 18" AFF
- NEW SPLIT CIRCUIT OUTLETS
- ON GROUND FAULT INTERRUPTER MOUNTED HORIZONTALLY @ 42" AFF.
- NEW LIGHT SWITCH LOCATION
- SEPARATE CIRCUIT OUTLET
- EXISTING
- 42-60 42" AFF. / 60" AFF.
- NEW HARDWARE BASE TIEED FOR CONNECTION TO SYSTEMS FURNITURE. PROVIDE POWER, VOICE AND DATA FOR EACH STATION UNLESS OTHERWISE NOTED.
- FLAT WIRE (VOICE/DATA/ELECTRICAL) TO FLOOR BOX FOR HARDWARE CONNECTION TO SYSTEMS FURNITURE
- NEW FLOOR MOUNTED ELECTRICAL RECEPTACLE
- NEW FLOOR MOUNTED DATA RECEPTACLE

## FINISHES GENERAL NOTES

- IT IS THE CONTRACTOR'S AND ALL SUBTRADE'S RESPONSIBILITY TO VISIT THE PROPOSED SITE AND VERIFY ALL SITE CONDITIONS AND NOTIFY THE DESIGNER IMMEDIATELY OF ANY DISCREPANCIES BETWEEN SITE CONDITIONS AND THE DRAWINGS, AS WELL AS ANY DISCREPANCIES WITHIN THE DRAWINGS THEMSELVES PRIOR TO PROCEEDING WITH WORK. DESIGNER WILL ISSUE A SITE INSTRUCTION FOR CLARIFICATION. NO EXTRA WILL BE GIVEN FOR ANY VISIBLE EXISTING SITE CONDITIONS OR OBVIOUS DISCREPANCIES WITHIN THE DRAWINGS.
- PROVIDE ALL LABOUR, MATERIALS, PRODUCTS, EQUIPMENT AND SERVICES REQUIRED AND/OR INDICATED ON THE DRAWINGS AND SPECIFIED HEREIN FOR THE INSTALLATION OF FINISHES.
- ALL EXCESS FINISHES TO BE RETAINED BY TENANT, ROLL WRAFF & LABEL.
- REFER TO PRODUCT AND COLOUR SCHEDULES FOR ALL FINISH SPECIFICATIONS.
- REFER TO DRAWINGS FOR ALL FINISHES ALLOCATION.
- REFER TO DOOR SCHEDULE FOR ADDITIONAL FINISHES ALLOCATION.
- PAINT FINISHES ON VARIOUS SURFACES:  
FINISHES ON NEW DRYWALL SURFACES:  
1ST COAT: TEXTURED PRIMER  
2ND & 3RD COAT: ACRYLIC SEMI-GLOSS  
OUT PAINTER ON PREVIOUSLY PAINTED SURFACES  
FINISHES ON METAL SURFACES:  
1ST COAT: TEXTURED PRIMER  
2ND & 3RD COAT: ACRYLIC SEMI-GLOSS  
FINISHES ON WOOD SURFACES:  
1ST COAT: TEXTURED PRIMER  
2ND & 3RD COAT: ACRYLIC SEMI-GLOSS  
NOTE: WHERE EXISTING SURFACES ARE ALREADY PRIME SURFACE PRIOR TO COATING WITH ACRYLIC PAINT.
- ALL NEW OPSYSM BOARD TO BE PAINTED SHALL RECEIVE ONE COAT OF SEALER PRIOR AND TWO COATS OF FINISH PAINT.
- CONTRACTOR SHALL PROVIDE CARE AND MAINTENANCE MANUALS TO TENANT.
- REFER TO MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR INSTALLATION OF ALL NEW MATERIALS.
- PROVIDE DESIGNER WITH A SAMPLE OF EACH MATERIAL FOR APPROVAL PRIOR TO INSTALLATION.
- ALL FINISHING MATERIALS, PAINTS, GLUES, ETC. SHALL BE LOW VOC ENVIRONMENTALLY SAFE PRODUCTS WITH LOW OFF-GASING ODORS.
- CONTRACTOR TO ALLOW FOR PAINT TOUCH-UPS AFTER CLIENT HAS MOVED IN.
- CONTRACTOR TO SUPPLY CLIENT WITH 1 LITRE OF EACH PAINT COLOUR USED ON THIS PROJECT FOR FUTURE TOUCH-UPS.
- MANUFACTURER SUBSTITUTIONS WILL NOT BE PERMITTED WITHOUT THE WRITTEN CONSENT FROM THE DESIGNER.
- ALL NEW OPSYSM BOARD TO BE PAINTED SHALL BE MADE GOOD AND PRIMED AS REQUIRED FOR TWO COATS OF FINISH PAINT. REFER TO DEMO AND PARTITION PLAN FOR SURFACES REQUIRING PREPARATION PRIOR TO APPLICATION OF NEW FINISH.

## POWER AND COMMUNICATIONS LEGEND

- VOICE/DATA OUTLET
- WALL MOUNTED DUPLEX RECEPTACLE, MOUNTED VERTICALLY AT 18" AFF, UNLESS OTHERWISE NOTED.
- NEW QUADPLEX RECEPTACLE ON SEPARATE CIRCUIT, MOUNTED AT 18" AFF
- NEW SPLIT CIRCUIT OUTLETS
- ON GROUND FAULT INTERRUPTER MOUNTED HORIZONTALLY @ 42" AFF.
- NEW LIGHT SWITCH LOCATION
- SEPARATE CIRCUIT OUTLET
- EXISTING
- 42-60 42" AFF. / 60" AFF.
- NEW HARDWARE BASE TIEED FOR CONNECTION TO SYSTEMS FURNITURE. PROVIDE POWER, VOICE AND DATA FOR EACH STATION UNLESS OTHERWISE NOTED.
- FLAT WIRE (VOICE/DATA/ELECTRICAL) TO FLOOR BOX FOR HARDWARE CONNECTION TO SYSTEMS FURNITURE
- NEW FLOOR MOUNTED ELECTRICAL RECEPTACLE
- NEW FLOOR MOUNTED DATA RECEPTACLE

## WALL / CEILING FINISHES NOTES

- REFER TO REFLECTED CEILING FINISHES FOR ALLOCATION OF FINISHES OF ALL CEILINGS, BULKHEADS, AND SOFFITS.
- ALL DRYWALL PARTITIONS TO BE PT-1 UNLESS OTHERWISE NOTED.
- ALL DOORS TO BE PAINTED TO MATCH PT-2 UNLESS OTHERWISE NOTED.
- ALL OPSYSM BOARD CEILINGS TO BE PT-3 UNLESS OTHERWISE NOTED.
- ALL WALLS SPECIFIED TO RECEIVE PAINT SHALL BE PAINTED IN AN EGGSHELL FINISH.
- ALL OPSYSM BOARD CEILINGS TO RECEIVE PAINT SHALL BE PAINTED IN A FLAT FINISH.
- ALL OPSYSM BOARD SURFACES ON INTERIOR FACE OF PERIMETER WALLS AND COLUMNS ARE TO BE FINISHED TO MATCH THE ROOM OR AREA THEY ARE PART OF UNLESS OTHERWISE NOTED.
- EXPOSED SURFACES OF PAINTABLE GRILLES AND LINEAR DIFFUSERS ARE TO BE PAINTED TO MATCH THE WALL OR CEILING COLOUR.
- SMOOTH COAT ROUGH COLUMNS FOR SMOOTH PAINT FINISH APPLICATION. WHERE WALLCOVERING HAS BEEN REMOVED, ENSURE WALL IS SMOOTH AND READY FOR NEW FINISH APPLICATION. SMOO COAT AS REQUIRED FOR OPTIMUM APPEARANCE.
- ENSURE ALL JUNCTIONS BETWEEN DRYWALL AND ADJACENT SURFACES ARE SEAMLESS. PROVIDE CALKING AT WOOD FRAME AND BASEBOARD JOINTS WHEN ADJACENT TO DRYWALL.
- ENSURE ALL JOINTS/GAPS WHERE LAMINATE SURFACES ABUT DRYWALL ARE CALKED READY TO RECEIVE PAINT.
- PAINT ALL SURFACES OF AREAS AFFECTED BY DEMOLITION AND NEW CONSTRUCTION.
- APPLICATION OF PRIME COATS AND FINISH COATS SHALL FOLLOW THE HIGHEST INDUSTRY STANDARDS AND PROCEDURES.
- CONTRACTOR TO SUBMIT 89" X 11" PAINT DRAWINGS OF EACH COLOUR LISTING THE MANUFACTURER, NAME, COLOUR, AND SHEEN TO DESIGNER FOR APPROVAL. MINIMUM 48 HOURS PRIOR TO COMMENCEMENT OF PAINTING. ALTER AND REFINISH DRAWINGS AND SAMPLES UNTIL SATISFACTORY TO THE DESIGNER.
- ALL DRYWALL CEILINGS & ACCESS PANELS SHALL BE PAINTED TO MATCH THE SURFACE IN WHICH THEY OCCUR.
- FOR WOOD STAIN SAMPLES, CONTRACTOR TO PROVIDE WOOD STAIN SAMPLE ON SPECIFIED WOOD FOR APPROVAL.

## FLOOR FINISHES NOTES

- ALL FLOOR FINISH MATERIAL CHANGES OCCURRING AT DOOR OPENINGS SHALL TRANSITION UNDER THE CENTERLINE OF DOORS UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL LAYOUT FLOOR FINISH PATTERNS FOR CONSULTANT REVIEW PRIOR TO COMMENCING ANY WORK.
- ALL BASE TO BE B1 UNLESS OTHERWISE NOTED.
- REFER TO MANUFACTURER'S RECOMMENDATIONS FOR APPLICATION AND INSTALLATION OF NEW FLOOR FINISHES, INCLUDING PREPARATION TO THE FLOOR SLAB TO ACCEPT NEW MATERIAL.
- CARPET INSTALLER SHALL BE APPROVED BY CARPET MANUFACTURER. CONTRACTOR SHALL ORDER OR PURCHASE ATIC-STRIP FOR CARPET TILE.
- PREPARATION:
- WHERE EXISTING SLAB IS AFFECTED BY DEMOLITION, SLAB TO BE MADE GOOD TO ACCEPT NEW FLOOR FINISH.
- THE FLOOR MUST BE DRY AND FREE FROM CONTAMINANTS WHICH WOULD PREVENT GOOD ADHESION. SURFACES SHALL BE VACUUMED AND THOROUGHLY CLEANED PRIOR TO THE APPLICATION OF THE ADHESIVE.
- RESIDENTIAL FLOOR
- ALL NEW VOT FLOORS TO BE CLEANED AND WAXED BY CONTRACTOR PRIOR TO TENANT MOVE IN. 2 COATS OF WAX REQUIRED.
- TAKE ALL NON-CARPET FLOORING TO DOOR JAMB, WHERE APPLICABLE.

3  
A0.00  
GENERAL NOTES  
NTS

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## PROJECT INFORMATION

PRIVATE RESIDENCE  
142 WOLFDAL AVENUE,  
OAKVILLE, ON  
L6L4S1

## DRAWING TITLE

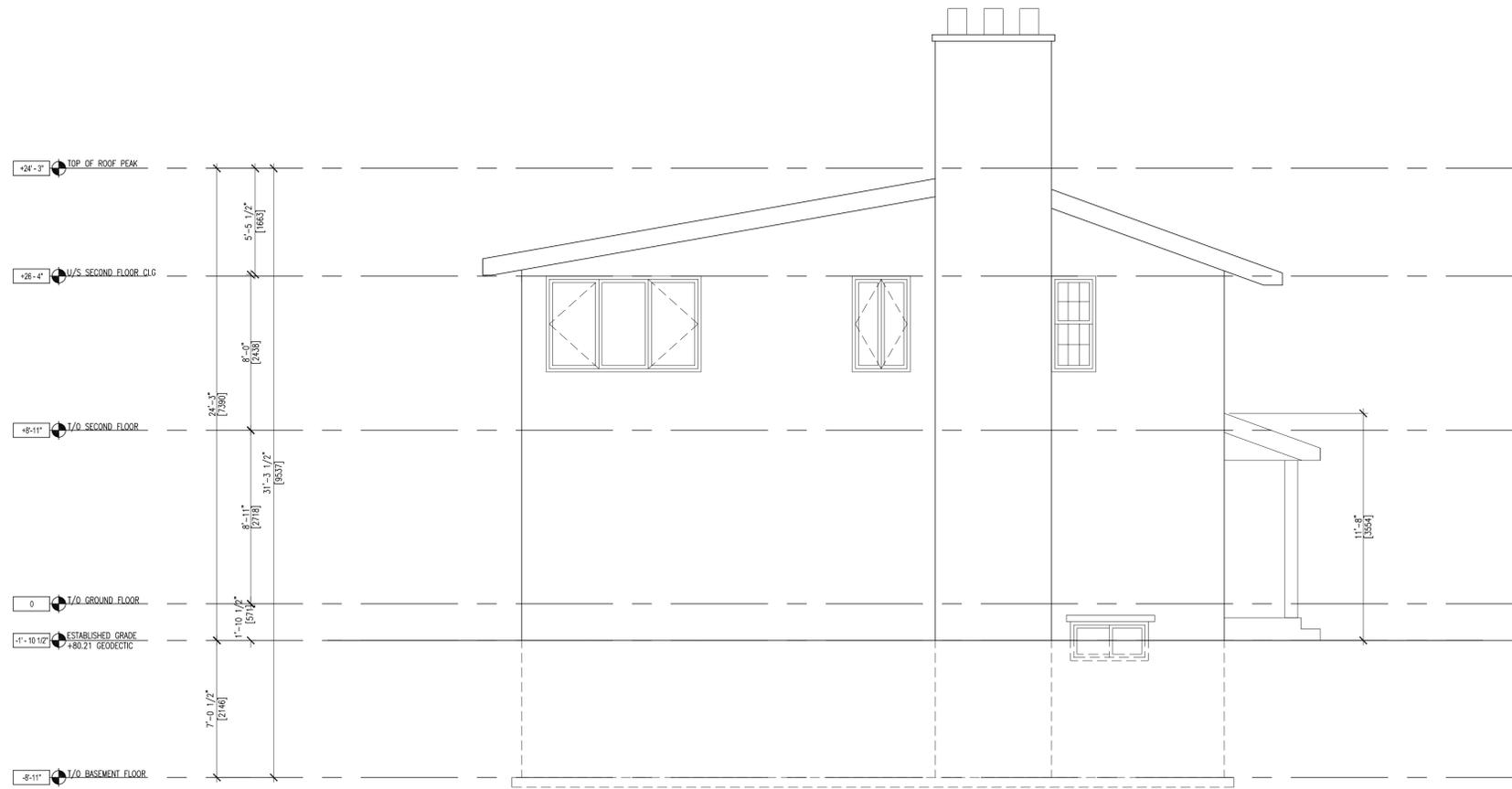
COVER & NOTES

PROJECT NO.: 21-2197  
DATE: 22/04/2022  
SCALE:

DRAWN BY: DS  
REVIEWED BY: AS

# A0.00

NO.	DESCRIPTION	DATE
1	ISSUED FOR INFORMATION	2022/04/15
2	ISSUED FOR COORDINATION	2022/07/22
3	ISSUED FOR COORDINATION	2022/08/08
4	ISSUED FOR C OF A	2022/10/14
5	ISSUED FOR C OF A RESUBMISSION	2022/11/02



1  
A2.02  
EXISTING SOUTH ELEVATION  
1/4" = 1'-0"

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PROJECT INFORMATION  
PRIVATE RESIDENCE  
142 WOLFDALE AVE,  
DARVILLE, ON  
L6L 4S1

DRAWING TITLE  
EXISTING SOUTH ELEVATION

PROJECT NO.: 21-2197  
DATE: 22/04/2022  
SCALE: AS SHOWN

DRAWN BY: DS  
REVIEWED BY: AS

NO.	DESCRIPTION	DATE
1	ISSUED FOR INFORMATION	2022/04/15
2	ISSUED FOR COORDINATION	2022/07/22
3	ISSUED FOR COORDINATION	2022/08/08
4	ISSUED FOR C OF A	2022/10/14
5	ISSUED FOR C OF A RESUBMISSION	2022/11/02



1 EXISTING WEST ELEVATION  
A2.03 1/4" = 1'-0"

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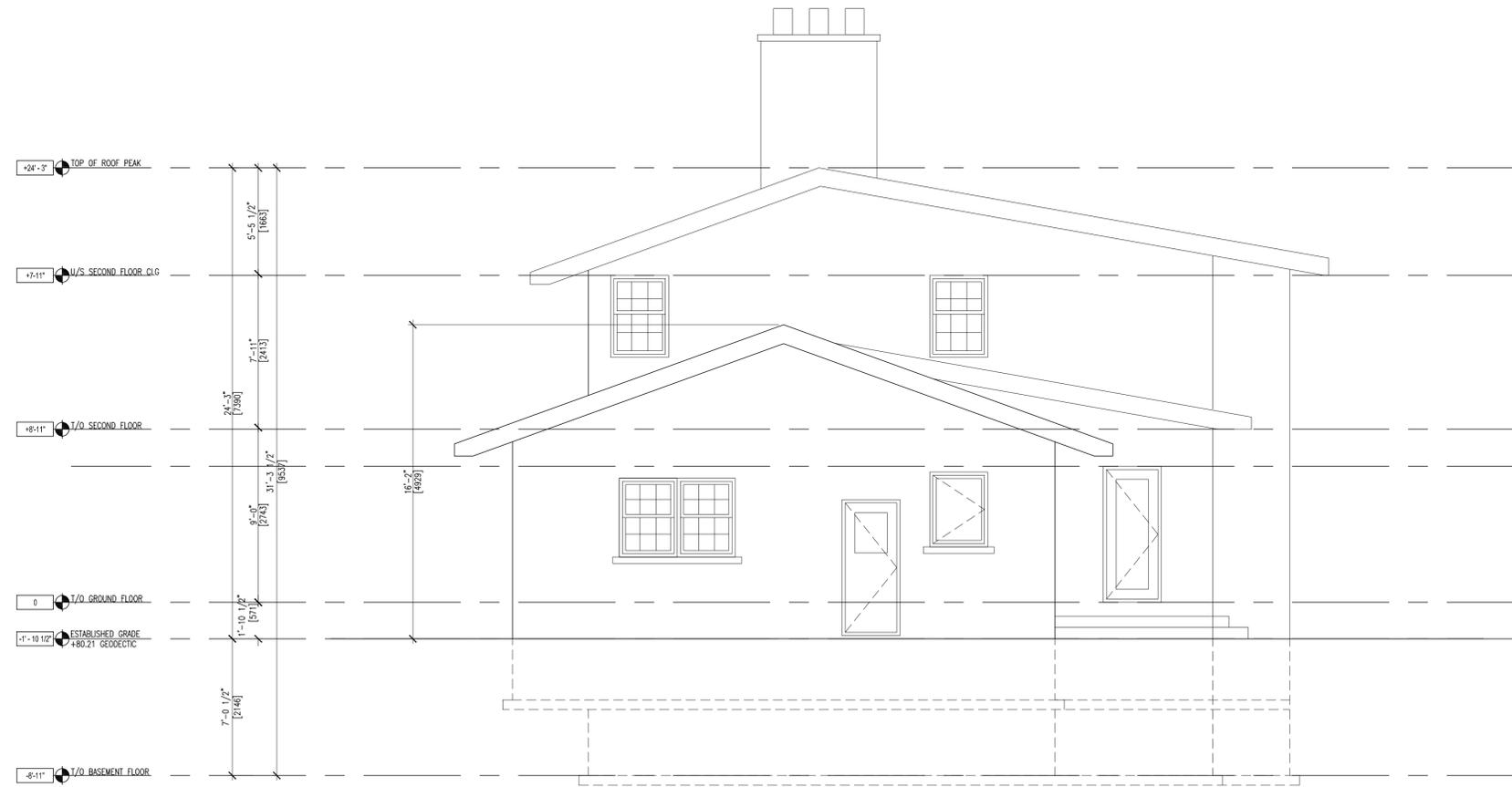
PROJECT INFORMATION  
PRIVATE RESIDENCE  
142 WOLFDALE AVE,  
OAKVILLE, ON  
L6L4S1

DRAWING TITLE  
EXISTING WEST ELEVATION

PROJECT NO.: 21-2197  
DATE: 22/04/2022  
SCALE: AS SHOWN

DRAWN BY: DS  
REVIEWED BY: AS

NO.	DESCRIPTION	DATE
1	ISSUED FOR INFORMATION	2022/04/15
2	ISSUED FOR COORDINATION	2022/07/22
3	ISSUED FOR COORDINATION	2022/08/08
4	ISSUED FOR C OF A	2022/10/14
5	ISSUED FOR C OF A RESUBMISSION	2022/11/02



1  
A2.04 EXISTING NORTH ELEVATION  
1/4" = 1'-0"

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PROJECT INFORMATION  
PRIVATE RESIDENCE  
142 WOLFDALE AVE.  
DARVILLE, ON  
L6L 4S1

DRAWING TITLE  
EXISTING NORTH ELEVATION

PROJECT NO.: 21-2197  
DATE: 22/04/2022  
SCALE: AS SHOWN

DRAWN BY: DS  
REVIEWED BY: AS

NO	DESCRIPTION	DATE
1	ISSUED FOR INFORMATION	2022/05/27
2	ISSUED FOR CLIENT REVIEW	2022/05/31
3	ISSUED FOR CLIENT REVIEW	2022/06/07
4	ISSUED FOR CLIENT REVIEW	2022/06/19
5	ISSUED FOR COORDINATION	2022/06/29
6	ISSUED FOR COORDINATION	2022/07/22
7	ISSUED FOR COORDINATION	2022/08/17
8	ISSUED FOR COMMITTEE OF ADJUSTMENT	2022/10/14
9	ISSUED FOR C OF A RESUBMISSION	2022/11/02

C O F A



2 East  
 A2.05 1/4" = 1'-0"

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PROJECT INFORMATION 142 Wolfdale Ave, Oakville, ON

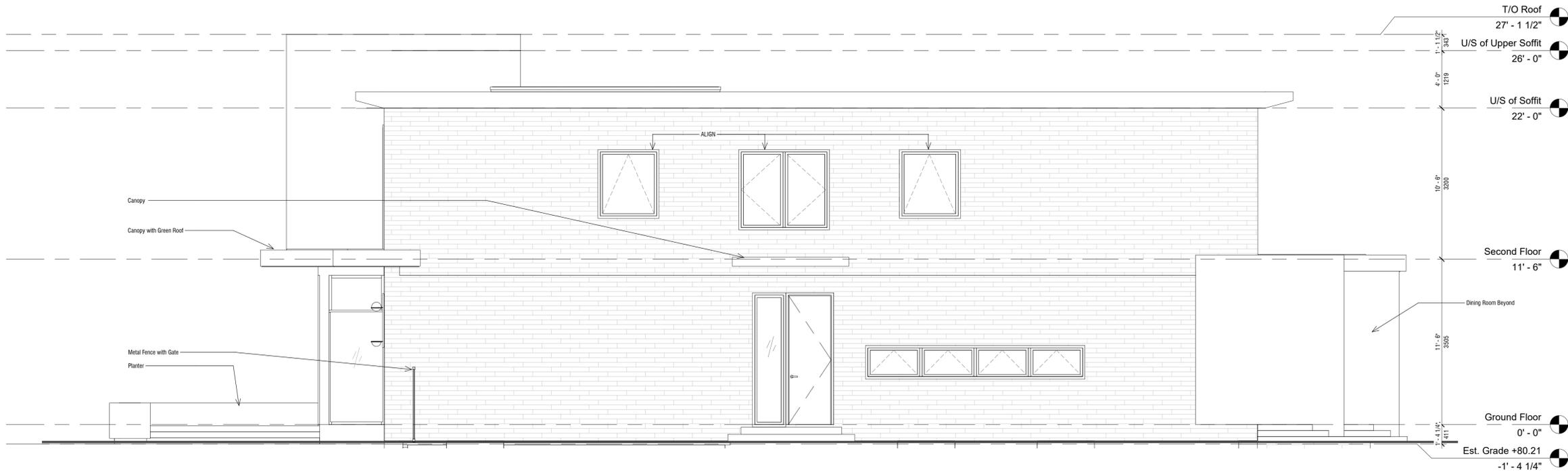
DRAWING  
 Proposed East Elevation

PROJECT NO. 2197  
 DATE: 2022/05/27  
 SCALE: 1/4" = 1'-0"

DRAWN DS  
 REVIEWED AS  
 BY:

A2.05

NO	DESCRIPTION	DATE
1	ISSUED FOR INFORMATION	2022/05/27
2	ISSUED FOR CLIENT REVIEW	2022/05/31
3	ISSUED FOR CLIENT REVIEW	2022/06/07
4	ISSUED FOR CLIENT REVIEW	2022/06/19
5	ISSUED FOR COORDINATION	2022/06/29
6	ISSUED FOR COORDINATION	2022/07/22
7	ISSUED FOR COORDINATION	2022/08/17
8	ISSUED FOR COMMITTEE OF ADJUSTMENT	2022/10/14
9	ISSUED FOR C OF A RESUBMISSION	2022/11/02



1 North  
 A2.06 1/4" = 1'-0"

C O F A

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PROJECT INFORMATION 142 Wolfedale Ave, Oakville, ON

DRAWING  
 Proposed North Elevation

PROJECT NO. 2197  
 DATE: 2022/05/27  
 SCALE: 1/4" = 1'-0"

DRAWN Author  
 REVIEWED Checker  
 BY:

**A2.06**

NO	DESCRIPTION	DATE
1	ISSUED FOR INFORMATION	2022/05/27
2	ISSUED FOR CLIENT REVIEW	2022/05/31
3	ISSUED FOR CLIENT REVIEW	2022/06/07
4	ISSUED FOR CLIENT REVIEW	2022/06/19
5	ISSUED FOR COORDINATION	2022/06/29
6	ISSUED FOR COORDINATION	2022/07/22
7	ISSUED FOR COORDINATION	2022/08/17
8	ISSUED FOR COMMITTEE OF ADJUSTMENT	2022/10/14
9	ISSUED FOR C OF A RESUBMISSION	2022/11/02



1 West  
 A2.07 1/4" = 1'-0"

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PROJECT INFORMATION 142 Wolfdale Ave, Oakville, ON

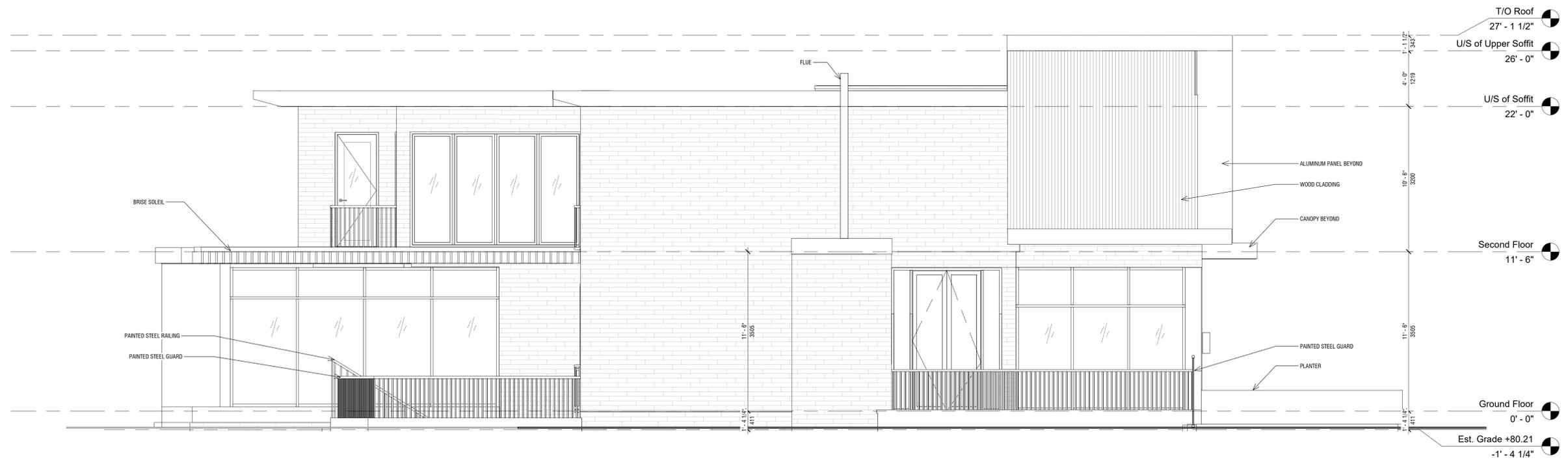
DRAWING  
 Proposed West Elevation

PROJECT NO. 2197  
 DATE: 2022/05/27  
 SCALE: 1/4" = 1'-0"

DRAWN Author  
 REVIEWED Checker  
 BY:

**A2.07**

NO	DESCRIPTION	DATE
1	ISSUED FOR INFORMATION	2022/05/27
2	ISSUED FOR CLIENT REVIEW	2022/05/31
3	ISSUED FOR CLIENT REVIEW	2022/06/07
4	ISSUED FOR CLIENT REVIEW	2022/06/19
5	ISSUED FOR COORDINATION	2022/06/29
6	ISSUED FOR COORDINATION	2022/07/22
7	ISSUED FOR COORDINATION	2022/08/17
8	ISSUED FOR COMMITTEE OF ADJUSTMENT	2022/09/27
9	ISSUED FOR C OF A RESUBMISSION	2022/11/02



2 South  
 A2.08 1/4" = 1'-0"

C O F A

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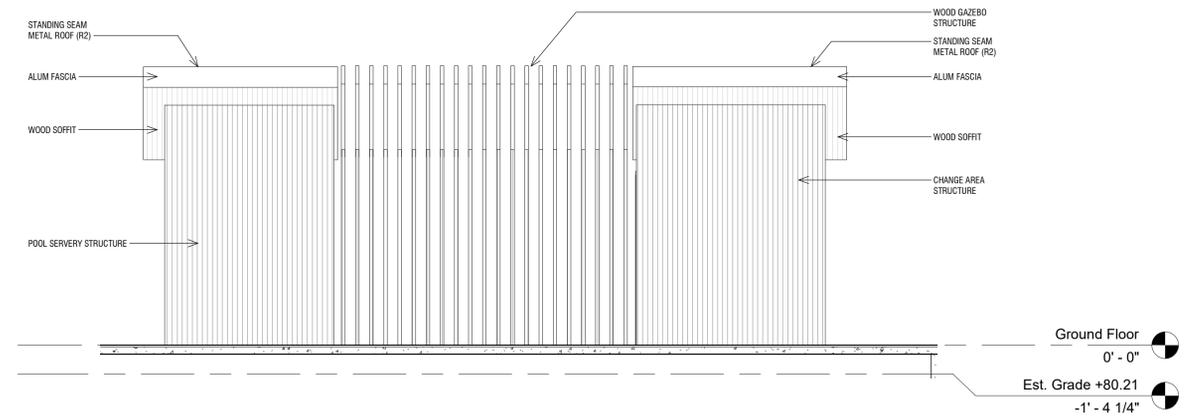
PROJECT INFORMATION 142 Wolfedale Ave, Oakville, ON

DRAWING  
 Proposed South Elevation

PROJECT NO. 2197  
 DATE: 2022/05/27  
 SCALE: 1/4" = 1'-0"

DRAWN DS  
 REVIEWED AS  
 BY:

NO	DESCRIPTION	DATE
1	ISSUED FOR COORDINATION	2022/08/08
2	ISSUED FOR COORDINATION	2022/08/17
3	ISSUED FOR COMMITTEE OF ADJUSTMENT	2022/10/14
4	ISSUED FOR C OF A RESUBMISSION	2022/11/02



1 Accessory - East  
 A2.09 1/4" = 1'-0"

COFA

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PROJECT INFORMATION 142 Wolfdale Ave, Oakville, ON

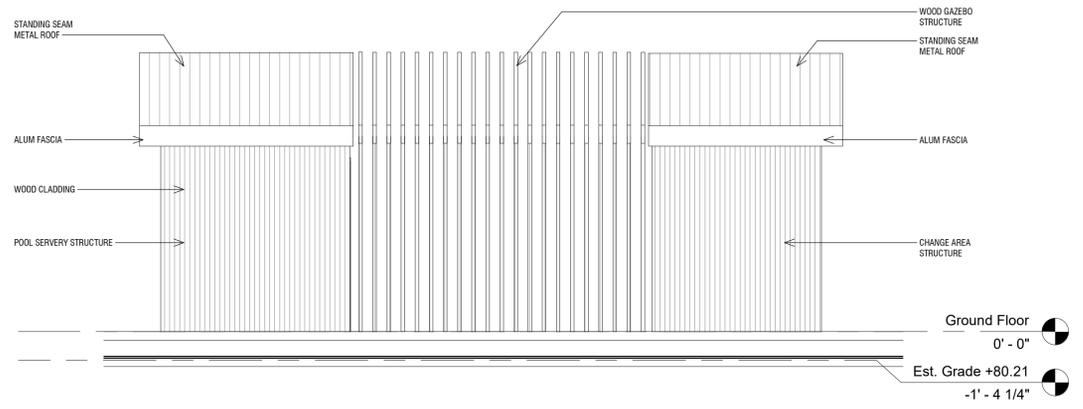
DRAWING  
 Proposed Accessory Structure Elevation

PROJECT NO. 2197  
 DATE: 2022/05/27  
 SCALE: 1/4" = 1'-0"

DRAWN DS  
 REVIEWED AS  
 BY:

**A2.09**

NO	DESCRIPTION	DATE
1	ISSUED FOR COORDINATION	2022/08/08
2	ISSUED FOR COORDINATION	2022/08/17
3	ISSUED FOR COMMITTEE OF ADJUSTMENT	2022/10/14
4	ISSUED FOR C OF A RESUBMISSION	2022/11/02



1 Accessory - West  
 A2.10 1/4" = 1'-0"

COFA

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PROJECT INFORMATION 142 Wolfedale Ave, Oakville, ON

DRAWING  
 Proposed Accessory Structure Elevation

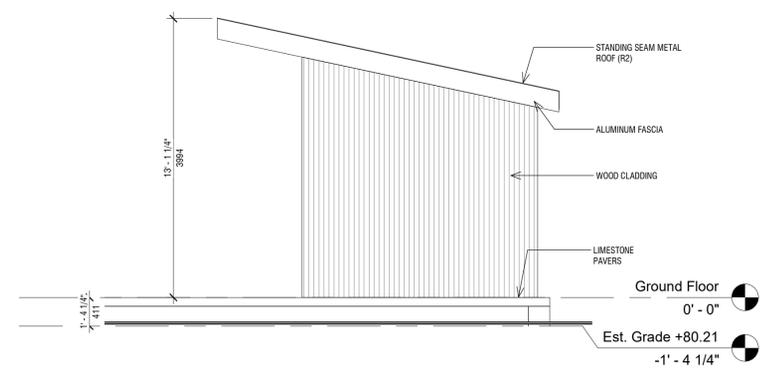
PROJECT NO. 2197  
 DATE: 2022/05/27  
 SCALE: 1/4" = 1'-0"

DRAWN Author  
 REVIEWED Checker  
 BY:

**A2.10**

NO	DESCRIPTION	DATE
1	ISSUED FOR COORDINATION	2022/08/08
2	ISSUED FOR COORDINATION	2022/08/17
3	ISSUED FOR COMMITTEE OF ADJUSTMENT	2022/10/14
4	ISSUED FOR C OF A RESUBMISSION	2022/11/02

COFA



1 Change Room - North  
 A2.11 1/4" = 1'-0"

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PROJECT INFORMATION 142 Wolfedale Ave, Oakville, ON

DRAWING  
 Proposed Accessory Structure Elevation

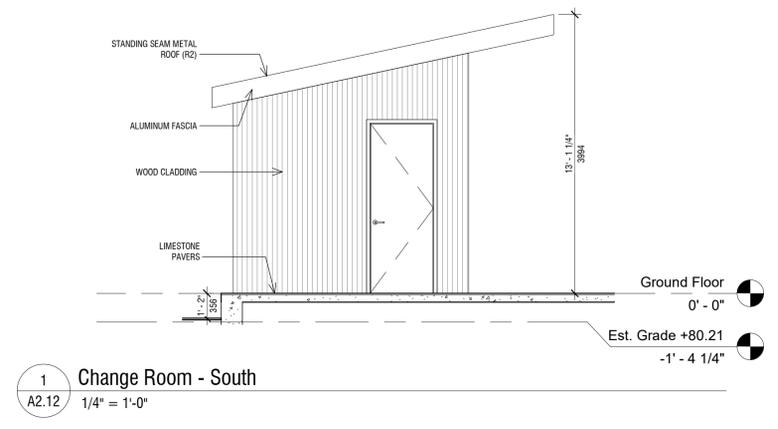
PROJECT NO. 2197  
 DATE: 2022/05/27  
 SCALE: 1/4" = 1'-0"

DRAWN Author  
 REVIEWED Checker  
 BY:

A2.11

NO	DESCRIPTION	DATE
1	ISSUED FOR COORDINATION	2022/08/08
2	ISSUED FOR COORDINATION	2022/08/17
3	ISSUED FOR COMMITTEE OF ADJUSTMENT	2022/10/14
4	ISSUED FOR C.O.F.A. RESUBMISSION	2022/11/02

C O F A



1 Change Room - South  
 A2.12 1/4" = 1'-0"

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PROJECT INFORMATION 142 Wolfedale Ave, Oakville, ON

DRAWING  
 Proposed Accessory Structure Elevation

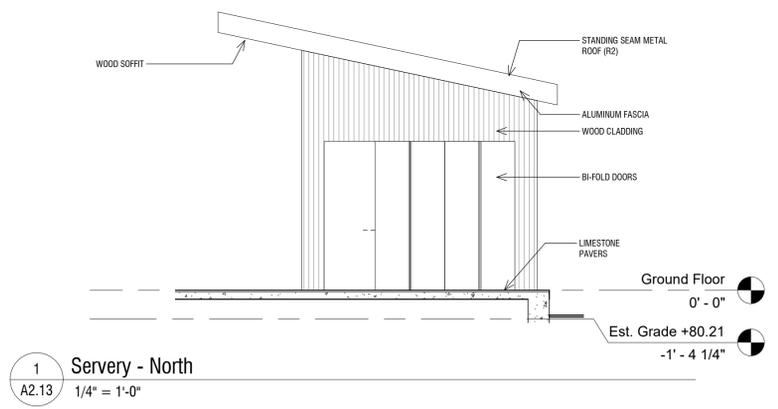
PROJECT NO. 2197  
 DATE: 2022/05/27  
 SCALE: 1/4" = 1'-0"

DRAWN Author  
 REVIEWED Checker  
 BY:

A2.12

NO	DESCRIPTION	DATE
1	ISSUED FOR COORDINATION	2022/08/08
2	ISSUED FOR COORDINATION	2022/08/17
3	ISSUED FOR COMMITTEE OF ADJUSTMENT	2022/10/14
4	ISSUED FOR C OF A RESUBMISSION	2022/11/02

C O F A



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PROJECT INFORMATION 142 Wolfdale Ave, Oakville, ON

DRAWING  
 Proposed Accessory Structure Elevation

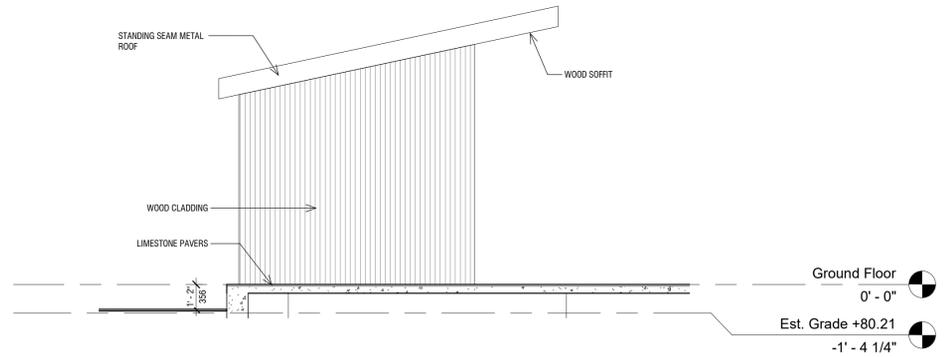
PROJECT NO. 2197  
 DATE: 2022/05/27  
 SCALE: 1/4" = 1'-0"

DRAWN Author  
 REVIEWED Checker  
 BY:

**A2.13**

NO	DESCRIPTION	DATE
1	ISSUED FOR COORDINATION	2022/08/08
2	ISSUED FOR COORDINATION	2022/08/17
3	ISSUED FOR COMMITTEE OF ADJUSTMENT	2022/10/14
4	ISSUED FOR C OF A RESUBMISSION	2022/11/02

COFA



1 Servery - South  
 A2.14 1/4" = 1'-0"

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PROJECT INFORMATION 142 Wolfedale Ave, Oakville, ON

DRAWING  
 Proposed Accessory Structure Elevation

PROJECT NO. 2197  
 DATE: 2022/05/27  
 SCALE: 1/4" = 1'-0"

DRAWN Author  
 REVIEWED Checker  
 BY:

A2.14



1547 Bloor Street West  
Toronto, Ontario M6P 1A5  
☎ (416) 923-6630  
✉ info@sglplanning.ca

November 2<sup>nd</sup> 2022

Project: WA.OA

**VIA EMAIL**

Chair & Committee Members  
Town of Oakville Committee of Adjustment  
1225 Trafalgar Road  
Oakville, ON  
L6H 0H3

**Re: Minor Variance Application – 142 Wolfdale Avenue**

This is a proposal to demolish the existing detached single family dwelling at 142 Wolfdale Avenue (the “subject site”) and construct a new home. The existing pool will be filled in and a new pool with accessory structure (cabana) will be constructed in the rear yard.

The subject site has 32.17 metres of frontage on Wolfdale avenue, a lot area of 1496.64 square metres, and an irregular shape with a depth of approximately 65 metres measured along the north property line. The subject site is located in a Low Density Residential land use designation under the Livable Oakville Plan. The Low Density Residential land use designation permits a range of housing types, including detached dwellings. The subject site is in a stable residential community and, as such, should maintain and protect the existing neighbourhood character when it is redeveloped. Built form, including scale, height, massing, and architectural character and materials is to be compatible with the surrounding neighbourhood. Development should also be compatible with the setbacks, orientation and separation distances within the surrounding neighbourhood. The proposed built form is in keeping with the intent of the Official Plan for a Low Density Residential land use designation.

The subject site is in a Special Policy Area in Southwest Oakville. This applies to the Low Density Residential designation (RL1 and RL1-0 zones) and is “intended to protect the unique character of this area within the Town. Due to the special attributes of the large lots and related homes in this Special Policy Area, intensification shall be limited to development which maintains the integrity of the large lots.” The proposed dwelling is in keeping with the intent of the Special Policy Area.

The subject site is zoned RL1-0 (Residential Low Density, -0 Suffix Zone). A detached dwelling is a permitted use. The subject site has a lot area greater than 1301.00 square metres and is

therefore limited to a maximum Residential Floor Area Ratio of 29%, or 434.03 square metres, under -0 Suffix Zone regulations. This proposal is seeking relief from the Zoning By-law to permit a Residential Floor Area Ratio of 32.82% (491.18 square metres), a modest increase over the maximum, and the dwelling will comply with all other by-laws regarding building envelope (setbacks, height, lot coverage, etc.). A variance is also being requested to permit a rooftop terrace off the primary bedroom. This terrace will be screened from the north by the proposed dwelling, buffered from the rear yard by a green roof, screened to the south and west by trees, and located far from adjacent homes. The lots in this neighbourhood are quite large with significant separation distances between dwellings. It is also important to note that the vast majority of trees on the subject site will be preserved and protected, including all along the south lot line and most along the north lot line, serving to maintain privacy between neighbouring properties. An arborist report has been submitted and the owner is more than willing to satisfy any replacement planting requirements that the Town requests.

Prior to submitting a minor variance application, we consulted with Planning staff about this proposal. The architects have also spoken with Town staff in various departments. During this process, compromises, revisions and modifications were made. This home has been carefully designed to fit well on the site and in the area and has already been modified to address preliminary comments from staff. Variances have been removed or reduced. The contemporary look is suitable and comparable to a newer dwelling at 1297 Stirling Drive, less than 70 metres away. The proposed dwelling at 142 Woldale Avenue will be a tasteful addition to the neighbourhood and will serve to complement its existing character.

This proposal passes the four tests. It is suitable for the development and use of the land and maintains the intent of both the Official Plan and the Zoning By-law. The variances are minor in nature. This application represents good planning and does not conflict with the public interest.

We are happy to discuss any questions or concerns you may have.

Yours very truly,

**SGL PLANNING & DESIGN INC.**



Graham Barrett, Planner  
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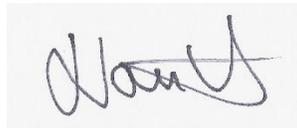
c.c. David Riley ([driley@sglplanning.ca](mailto:driley@sglplanning.ca))  
c.c. Committee of Adjustment Staff ([coarequests@oakville.ca](mailto:coarequests@oakville.ca))

# ARBORIST REPORT AND TREE PRESERVATION PLAN

Prepared For

**Yusef Yenilmex  
100 Wilkenson Road  
Unit 18  
Brampton, Ontario  
L6T 4Y9**

Prepared By



**Jessica Van Vliet**

ISA CERTIFIED ARBORIST ON - 2018AUT



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Prepared On

NOVEMBER 1, 2022



**Yusef Yenilmex**  
**100 Wilkenson Road**  
**Unit 18**  
**Brampton, Ontario**  
**L6T 4Y9**

**SUBJECT: Arborist Report and Tree Preservation Plan**  
**142 Wolfdale Avenue, Oakville**

This Arborist Report consists of a Tree Inventory and Tree Preservation Plan for the subject site. This is in compliance with *The Town of Oakville Site Alteration By-Law No. 2003-021*, *The Regional Municipality of Halton By-Law No. 121-05* and the *Tree Protection During Construction Procedure EN-TRE-001-001*. An evaluation was completed of all trees with a diameter at breast height (DBH) of 15 centimetres or greater, on or near the subject site, which may or will be impacted by the proposed site plan. This evaluation includes DBH, height, health and structural condition, comments and recommendations.

In accordance with *The Town of Oakville Town Tree By-law No. 2009-025*, and the *Tree Protection During Construction*, this report will include a Tree Appraisal of all Town of Oakville trees and these trees may require an Application for a Tree Protection Zone Encroachment Permit.

For trees on privately owned property, including the subject site, *The Town of Oakville Private Tree Protection By-law No. 2017-038* are applicable. As part of the Site Alteration application process, a tree removal application may need to be submitted.

The purpose of the Tree Preservation Plan is to minimize the impact construction will have on the trees to be preserved. Included in this Preservation Plan are preconstruction, during construction, and post construction recommendations.

Please do not hesitate in calling to discuss this report further.

Respectfully yours,

A handwritten signature in black ink, appearing to read "Jessica Van Vliet", written over a light grey rectangular background.

Jessica Van Vliet  
ISA Certification: ON-2018AUT, TRAQ



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## **SUMMARY**

The subject property is proposed for the demolition of the existing dwelling area, and the construction of a new two-storey dwelling. In addition, a front porch, in-ground swimming pool, courtyard, and new asphalt driveway are proposed.

This report addresses the 24 trees that will, or will likely, be impacted by the site development. The report provides recommendations for preservation and or removal for the 24 trees. It also contains recommendations for tree care and hoarding distances for the Tree Protection Zones (TPZ).

The subject site contains 11 trees. There are 12 neighbouring trees and 1 Town tree in proximity (6 metres) of the proposed site development.

Based on the currently proposed site plan, there are 20 trees recommended for preservation and 6 recommended for removal.

## **INTRODUCTION**

Maple Hill Tree Services was contacted by Dorie Smith of Red Studio Inc. Architects to develop an Arborist Report and Tree Preservation Plan for the property located at 142 Wolfdale Avenue. The report outlines specific trees to preserve, trees to remove, the maintenance required for safety, and a long-term maintenance plan. The removals and maintenance should be carried out immediately and prior to construction. The long-term plan will be based on the impact that the construction has on adjacent and preserved trees which will be determined through ongoing monitoring by a Certified Arborist.

The primary purpose of this report is to develop a strategic Tree Preservation Plan for the subject site. This report addresses the present condition of all trees that could potentially be impacted by the construction, including Town and neighbouring trees, and the possible options available.

The main goal of the Tree Preservation Plan is to retain as many trees on site as possible, to minimize the injury to these retained trees and to enhance the visual appeal of the property for the long term. The immediate tree maintenance recommended is geared mainly towards creating a safe environment for contractors and the owner.

## **LIMITS OF ASSIGNMENT**

This report is based solely on my visual inspection of the subject site on October 7 2022, and the site plan provided by Red Studio Inc. Tree inspections were limited to ground level visual observations only; root crown inspections and aerial inspections were not conducted. It is the project contractor's obligation to ensure that the recommendations provided in this report are carried out, as deemed appropriate by the Town of Oakville's governing staff.



## **PURPOSE AND USE OF THIS REPORT**

This report is intended to provide an accurate depiction of the trees that will be impacted by construction, and outline how they will be protected from damage. This report will also outline any needed tree related permits, for which the Client must apply to the Town of Oakville. Town of Oakville's forestry department is the sole authority with regards to the waiver, exemption, or denial of permits.

## **OBSERVATIONS**

The site plan provided indicated the location of most of the trees, the property lines, any existing buildings and hard surfaces, and the proposed development's footprint. Each tree was assigned a number and measured for its diameter at breast height (DBH=1.4m), height and canopy spread. Their health and structural condition were evaluated, and recommendations were made considering their present condition, future safety, and the proposed site development. This information is in Appendix A and Appendix B. Where site access was restricted or not possible, DBH measurements are approximations.

## **TREES TO PRESERVE**

The preservation of trees found within this property is an essential step in maintaining the aesthetic, environmental, and natural value of this property, surrounding properties, and the larger community. All the trees located within 6 metres around the perimeter of the development will be affected by the construction.

Twenty (20) trees are recommended to be preserved as they should not interfere with the proposed construction, and they should not present a safety concern to visitors of the subject site. It is recommended that all trees that are to be preserved, and their surrounding area remain undisturbed. It is recommended that the Tree Preservation Zone be at least to the drip line of the trees, or the distance outlined in Appendix B.

There should be an on-site meeting with the Consulting Certified Arborist, the property owner, and any Architects, Landscape Architects, Engineers, contractor and or sub contractors involved with the project to discuss the Tree Preservation Plan and scope of work, prior to any work commencing.

## **TREES TO REMOVE/ RECEIVE ENCROACHMENT**

Prior to any phase of construction all trees recommended for removal should be safely removed to grade. This will provide an increased measure of safety for all contractors working in the vicinity during the different phases of construction. Injuries and removals are subject to replacement planting requirements, at the Town of Oakville's discretion.



Table 1. Trees to Remove/ Receive Encroachment

I.D #	Tree Species		Owner	DBH (cm)	Site Plan Results
	Common Name	Botanical Name			
TP1	Norway Maple	<i>Acer platanoides</i>	Subject Site	68	<b>PRESERVE – Injure – Modify and repave existing driveway.</b> mTPZ 4.2 metres, or up to existing hardscape and property line. <b>PERMIT REQUIRED</b>
TR3	Cedar	<i>Thuja occidentalis</i>	Subject Site	14, 14, 15, 15, 10, 11, 13, 18, 16, 12, 10, 18, 10, 8, 15, 6, 6, 7, 9, 10	<b>REMOVE</b> In conflict with site plan – Proposed new board fence, proposed stone patio. <b>PERMIT REQUIRED</b>
TR4	Magnolia	<i>Magnolia spp.</i>	Subject Site	31, 20	<b>REMOVE</b> Tree in conflict with site plan – Demolition and new build. <b>PERMIT REQUIRED</b>
TR5	Cedar	<i>Thuja occidentalis</i>	Subject Site	19, 17, 15, 12, 8, 10, 11, 16, 13, 21, 19, 17, 10, 12, 18, 8, 12, 15, 10, 17, 10, 13, 11, 9, 12	<b>REMOVE</b> In conflict with site plan – Proposed new board fence, proposed stone patio. <b>PERMIT REQUIRED</b>
TP 11	Crabapple	<i>Malus spp.</i>	Subject Site	30	<b>PRESERVE – Injure – Proposed stone patio.</b> mTPZ 2.4 metres, or 2.1m to allow work for stone patio. <b>PERMIT REQUIRED</b>
TP 13	Siberian Elm	<i>Ulmus pumila</i>	Subject Site	31, 23, 20, 16, 13	<b>PRESERVE – Injure – excavation of existing inground pool.</b> mTPZ encroachment of approx. 1 metre. <b>PERMIT REQUIRED</b>
TP 20	Yellow Buckeye	<i>Aesculus flava</i>	Subject Site	60	<b>PRESERVE – Injure – Proposed front porch.</b> mTPZ encroachment of approx. .3 metres. <b>PERMIT REQUIRED</b>
TR 21	False Cypress	<i>Chamaecyparis nootkatensis</i>	Subject Site	18	<b>REMOVE</b> Tree in conflict with existing site plan – modify and repave existing driveway. <b>PERMIT REQUIRED</b>

## MITIGATION

### TREE PROTECTION ZONES

**It is important, for safety and the health of the trees to be preserved that a Tree Preservation Plan be established prior to any activity on the site.**

The Town of Oakville requires the Tree Protection Barrier to be installed prior to any construction activity. The purpose of the barrier is to define the Tree Protection Zone (TPZ), which is to be protected from any activity throughout the construction and landscaping phases.

The barrier around the TPZ shall be 1.2m (4ft) high, waferboard hoarding or an equivalent approved by Urban Forestry Services. Only where site lines to accessing streets may be a safety



concern the barrier around the TPZ can be 1.2m (4ft) high and consist of plastic web snow fencing on a wood frame made of 2" x 4"s.

The Tree Protection Zone and TPZ Barrier must remain fully intact and cannot be used for the temporary storage of fill, topsoil, building materials, equipment storage, washing of equipment, nor the dumping of any construction debris.

In specific situations where the required full minimum tree protection zone (TPZ) cannot be provided, a horizontal (on grade) root protection, designed by a qualified professional such as arborist or landscape architect, may be considered, subject to approval by Urban Forestry. Some horizontal hoarding recommendations include, but are not limited to:

- Applying 6 to 12 inches (15 to 30cm) of wood chip mulch to the area
- Laying ¾ inch (2cm) minimum thickness plywood, beams, commercial logging, or road mats over a 4+inch (10+cm) thick layer of wood chip mulch
- Applying 4-6 inches (10 to 15cm) of gravel over a taut, staked, geotextile fabric.

**TPZ signs should be posted in visible locations throughout the TPZ barrier.**

**The most current site plan/grading plan must have:**

- **All existing trees accurately plotted and numbered.**
- **All TPZ and TPZ barrier locations clearly indicated at distances prescribed in this report.**
- **Tree Protection Specifications (Town of Oakville) found in Appendix C**

## **TREE PROTECTION ZONE NOTES**

- The modification and repaving of existing driveway encroaches the mTPZ of **TP1** by approximately 2 metres. The existing driveway must remain intact for the duration of construction, and vertical hoarding is to be installed at the line of the existing driveway. Only once construction has completed can the driveway be replaced. A Certified Arborist, up to date in current arboriculture best practices shall be retained for all driveway works within the mTPZ of this tree. As this tree is currently in good condition, and Norway Maples have a moderate to good relative tolerance to construction impacts, this tree is expected to survive in good health and structural condition provided the tree care recommendations in this report are followed.
- The proposed stone patio will encroach the mTPZ of **TP11** by approximately .2 metres. A Certified Arborist, up to date in current arboriculture best practices shall be retained for all works within the mTPZ of this tree. Crabapple trees have a good relative tolerance to construction impacts, and the proposed impacts are likely to be minimal. This tree is likely to survive in good health and structural condition provided the tree care recommendations in this report are followed.
- The excavation of the existing inground pool will encroach the mTPZ of **TP13** by approximately 1 metre. A Certified Arborist, up to date in current arboriculture best practices shall be retained for all works within the mTPZ of this tree. Siberian Elm trees



have a good relative tolerance to construction impacts, and the proposed impacts are likely to be minimal, given the existing available root zone to this tree is limited by the existing pool. This tree is likely to survive in good health and fair structural condition provided the tree care recommendations in this report are followed.

- The proposed front porch encroaches the mTPZ of **TP20** by approximately .3 metres. This tree is currently in good health and structural condition. A Certified Arborist, up to date in current arboriculture best practices shall be retained for all works within the mTPZ of this tree. Yellow Buckeye trees have a fairly poor relative tolerance to construction impacts, and the proposed impacts are likely to be minimal. This tree is likely to survive in good health and structural condition provided the tree care recommendations in this report are followed.

## **TREE CARE RECOMMENDATIONS**

The maintenance of trees that are to be preserved is essential to safety during the construction phase as well as future health and structural integrity. In some cases, recommendations have been made for trees that will realistically benefit from the action taken and do not contain defects that are beyond repair. Maintenance work must be completed by a qualified, competent Arborist trained in up-to-date arboriculture practices.

### **PRUNING**

Removal of dead, diseased, or dying branches prior to construction is recommended to reduce the risk of branch failures impacting people, structures, or equipment in the construction area. Raising or reduction of the crown may be required to allow for personnel and equipment access. There are a few trees in which dead and or hazardous branches exist. It is advisable to prune as recommended to ensure a safe working environment and to improve the health and vigour of each specimen.

### **ROOT PRUNING**

#### **TP1, TP11, TP13, and TP20**

These trees are located close to the proposed development's footprint and should be root pruned prior to excavation. The least injurious and invasive method for excavation is accomplished with the use of hydro-vac or air-spade equipment prior to excavation. The ideal time for root pruning is when the trees are dormant and at least one full growing season before any work on the site begins. Root pruning must be performed by a Certified Arborist in accordance with the standards recognized within the field of Arboriculture.

### **FERTILIZING**

#### **TP1, TP11, TP13, and TP20**

Foliar and/or soil samples should be collected and analyzed prior to construction to determine nutrient status and fertilizer recommendations. Fertilization of preserved trees before construction is recommended if nutrient deficiencies exist. Due to the present condition of the trees to be preserved and the likelihood that some stress will be created from the construction, these trees should be fertilized prior to and after construction.



The preferred method to offset the stress should be an application of a 100% organic fertilizer along with a mycorrhizae inoculant. A liquid form is preferable to granular. Timing of the application should be early fall or spring and only when adequately warm soil temperature conditions exist. Repeat application spring and fall for two consecutive seasons following construction. This form of fertilization is beneficial to urban soils which tend to be low in organic matter and biological activity.

## **MULCHING**

Organic wood chip mulch should be applied on the root zones inside the TPZ hoarding. This will help to retain moisture, promote soil organisms, eliminate turf competition, and to help in regulating the soil temperature. This mulch should be applied to a depth of 2-4 inches (5-10cm) within the TPZ.

## **IRRIGATION**

### **TP1, TP11, TP13, and TP20**

Irrigation should be provided within the TPZ if needed. Irrigation water should penetrate the soil to the depth of the tree roots, generally within the upper 6 to 8 inches (15 to 45cm) of the original soil surface. Generally, it is recommended to provide a minimum of 1 inch (2.5cm) of irrigation water weekly in the absence of normal rainfall.

## **SITE MONITORING**

### **TP1, TP11, TP13, and TP20**

The author of this report, or their designate, should be retained during demolition, construction, and landscaping to perform site inspections of the TPZ and monitoring of the health of the trees. Special attention should be given to tree damage, soil moisture/irrigation, wilt, unexpected changes in leaf colour, premature leaf drop, branch dieback, canopy density, and the presence of primary and secondary pests. Broken branches should be pruned, and bark wounds should be treated as necessary.

Monitoring frequency will depend on the size and scope of project, and the budget available. After each inspection, a brief Tree Monitoring Report (TMR) will be submitted to all applicable parties.



## **TREE PRESERVATION GUIDELINES**

### **PRE-CONSTRUCTION PHASE**

1. Site plan meeting with the Consulting Certified Arborist, a representative from the Town of Oakville's Forestry Section, the property owner, and including any Architects, Landscape Architects, Engineers, contractor and or sub contractors involved with the project to discuss the Tree Preservation Plan and scope of work.
2. Complete the Tree Care Recommendations as prescribed earlier in this Report.
3. Implement the Tree Preservation Plan contained in this report.
4. Install Hoarding and post TPZ signage.
5. Apply composted mulch over the root zones of the trees to be preserved within the TPZ hoarding.
6. Apply fresh mulch to all areas immediately adjacent to the TPZ hoarding.
7. Complete any necessary removals.
8. Root pruning for key trees most affected by construction.
9. Establish an irrigation plan.

### **CONSTRUCTION PHASE**

1. On going monitoring by the consulting Arborist, or their designate, to evaluate construction injury/stress and make recommendations. A schedule should be established, and a diary kept. These inspections should be weekly or biweekly and after each visit a brief TMR is submitted to all applicable parties.
2. Irrigation of the trees should be ongoing and supervised by the consulting Arborist.
3. The Tree Preservation Zone must be respected throughout the construction. No materials shall be stored or dumped in this area.
4. Root pruning of any exposed roots during excavation should be cut cleanly by a Certified Arborist.

### **POST CONSTRUCTION PHASE**

1. Remove hoarding only after construction and landscaping is complete.
2. Continue irrigation program.
3. Fertilize only as deemed necessary by the Certified Arborist.
4. Follow-up inspection of all trees by the Consulting Certified Arborist.

### **POST CONSTRUCTION MAINTENANCE**

Post construction maintenance is crucial because the negative impact the construction may have on these trees could take several years to become apparent, at which time it may be too late, and the tree may die or become structurally unstable. The trees should be inspected by the Consulting Certified Arborist periodically to prescribe the appropriate Arboriculture practices.



## **ASSUMPTIONS AND LIMITING CONDITIONS**

The observations documented are true for only the period that the Consulting Arborist was on site and therefore do not include any other activity that may have occurred on site or to the trees before or after that period.

If the health of the trees was assessed while they were dormant, there may be some inaccuracy in the assigned health rating of each tree.

All trees represent a certain inherent degree of risk, and this evaluation does not preclude all risk of failure.

Notwithstanding the recommendations and conclusions made in this report, it must be realized that trees are living organisms, and their health and vigour constantly change over time. They are not immune to changes in site conditions, or seasonal variations in the weather conditions.

We accept no responsibility for materials and information submitted to us that are incorrect.

Any survey boundaries marked on plans or on the ground is not the responsibility of Maple Hill Tree Services.

This report shall be considered whole, no sections are severable, and the report shall be considered incomplete if any pages are missing.

The consultant/appraiser shall not be required to give testimony or to attend court by reason of this report unless subsequent contractual arrangements are made, including payment of an additional fee for such services.

Possession of this report or copy thereof does not imply right of publication or use for any purpose by any other than the person to whom it is addressed, without the prior expressed written or verbal consent of the consultant/appraiser.

Care has been taken to obtain all information from reliable sources. All data has been verified insofar as possible; however, the consultant/appraiser can neither guarantee nor be responsible for the accuracy of information provided by others.

This report and any values expressed herein represent the opinion of the author and their fee is in no way contingent upon the reporting of a specified value, a stipulated result, the occurrence of a subsequent event, nor upon any finding to be reported.

The details obtained from any photographs and outlined in the sketch plan are intended as visual aids and are not to scale. They should not be construed as engineering reports or surveys.



## **APPENDIX A PROPOSED SITE PLAN**

TREE PROTECTION PLAN

142 Wofdale Avenue  
Oakville, Ontario  
L6L 4S1

# RED

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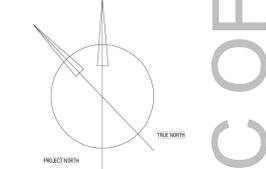
NO	DESCRIPTION	DATE
1	ISSUED FOR INFORMATION	2022/05/27
2	ISSUED FOR CLIENT REVIEW	2022/06/01
3	ISSUED FOR CLIENT REVIEW	2022/06/07
4	ISSUED FOR CLIENT REVIEW	2022/06/19
5	ISSUED FOR COORDINATION	2022/06/29
6	ISSUED FOR COORDINATION	2022/06/08
7	ISSUED FOR COMMITTEE OF ADJUSTMENT	2022/10/14

Notes

- All base information has been supplied by the client.
- This plan shall be used in conjunction with the Tree Protection Plan (TPP). Specific information regarding tree species, condition, and protection protocols are listed therein.
- Refer to the Arborist Report prepared for this project for specific instructions regarding tree protection requirements.

LEGEND

- TP 1 TREE TO BE PRESERVED CANOPY EXTENT
- TR 1 TREE TO BE REMOVED CANOPY EXTENT
- TREE PROTECTION ZONE
- TREE PROTECTION HOARDING
- WORKER ACCESS
- MATERIAL STORAGE
- mTPZ ENCROACHMENT



CONTRACTOR MUST CHECK + VERIFY ALL DIMENSIONS ON SITE.  
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NOT FOR CONSTRUCTION

PROJECT INFORMATION 142 Wofdale Ave, Oakville, ON

DRAWING PROPOSED Site Plan

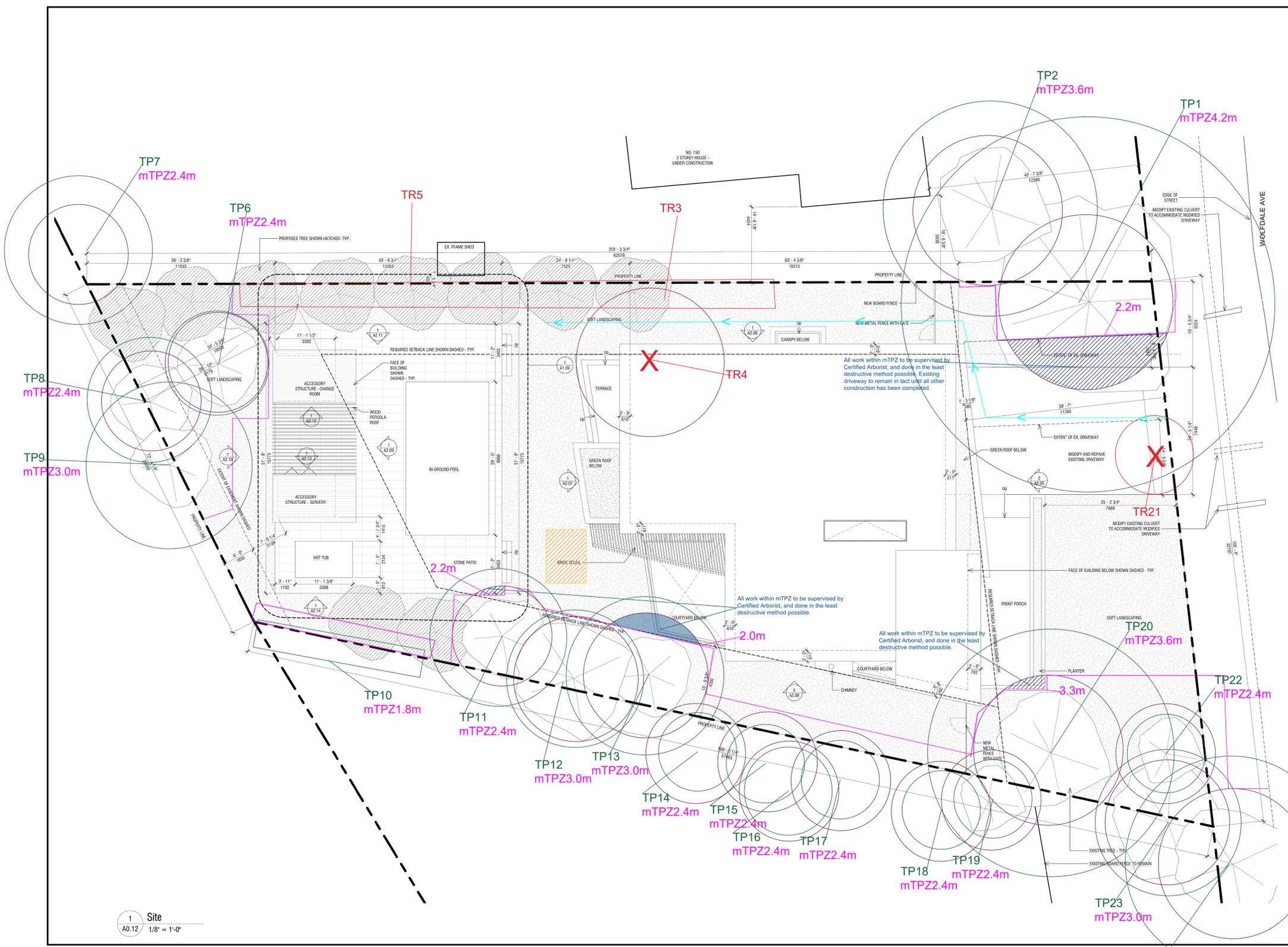
PROJECT NO. 2187  
DATE: 2022/05/27  
SCALE: 1/8" = 1'-0"

DRAWN BY: Author  
REVIEWED BY: Checker



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**A0.12**



1 Site  
A0.12 1/8" = 1'-0"

Drawing By: Jess Van Vliet ON-2018AUT
Date: November 1, 2022
Scale: 1/8" = 1'0"



## **APPENDIX B TREE INVENTORY**

## APPENDIX B TREE INVENTORY

Project: 142 Wolfdale Avenue, Oakville

Data Collected by: Jessica Van Vliet, ON2018AUT, TRAQ

Date: October 7, 2022

ID #	Ownership	Common Name	Botanical Name	DBH (cm)	Height (m)	Canopy Height (m)	Canopy (m) On two axes	Tree Health	Structural Condition	Comments	Minimum Tree Protection Zone	Site Plan Results
TP 1	Subject Site	Norway Maple	<i>Acer platanoides</i>	68	16	13	18x18	G	G	Girdling roots. Codominant. Deadwood. Low steel cable. Previously elevated.	Minimum TPZ 4.2 metres.	<b>PRESERVE – Injure – Modify and repave existing driveway.</b> mTPZ encroachment of approx. 2 metres. <b>PERMIT REQUIRED</b>
TP 2	Neighbour	Norway Maple	<i>Acer platanoides</i>	~55	16	12	13x13	G	G	Deadwood. Previously elevated.	Minimum TPZ 3.6 metres.	<b>PRESERVE</b> mTPZ 3.6 metres, or up to existing property line.
TR 3	Subject Site	Cedar	<i>Thuja occidentalis</i>	14, 14, 15, 15, 10, 11, 13, 18, 16, 12, 10, 18, 10, 8, 15, 6, 6, 7, 9, 10	8	7	13x4	G	G	Previously elevated.	Minimum TPZ 2.4 metres.	<b>REMOVE</b> In conflict with site plan – Proposed new board fence, proposed stone patio. <b>PERMIT REQUIRED</b>
TR 4	Subject Site	Magnolia	<i>Magnolia spp.</i>	31, 20	8	6	9x9	G	F	Codominant – 2 main stems. Previously elevated. Stubs. Deadwood. Broken steel cable. Included union.	Minimum TPZ 3.0 metres.	<b>REMOVE</b> Tree in conflict with site plan – Demolition and new build. <b>PERMIT REQUIRED</b>
TR 5	Subject Site	Cedar	<i>Thuja occidentalis</i>	19, 17, 15, 12, 8, 10, 11, 16, 13, 21, 19, 17, 10, 12, 18, 8, 12, 15, 10, 17, 10, 13, 11, 9, 12	8	8	23x4	G	G	Deadwood.	Minimum TPZ 2.4 metres.	<b>REMOVE</b> In conflict with site plan – Proposed new board fence, proposed stone patio. <b>PERMIT REQUIRED</b>
TP 6	Subject Site	Scots Pine	<i>Pinus sylvestris</i>	26	12	8	5x5	G	G	Deadwood. Laundry line attached to trunk.	Minimum TPZ 2.4 metres.	<b>PRESERVE</b> mTPZ 2.4 metres.
TP 7	Neighbour	Norway Maple	<i>Acer platanoides</i>	~30	13	9	9x9	G	G		Minimum TPZ 2.4 metres.	<b>PRESERVE</b> mTPZ 2.4 metres.
TP 8	Neighbour	Spruce	<i>Picea sp.</i>	27	14	10	6x6	G	G	Previously elevated. Stubs. Pruned for hydro clearance. Vines.	Minimum TPZ 2.4 metres.	<b>PRESERVE</b> mTPZ 2.4 metres.

ID #	Ownership	Common Name	Botanical Name	DBH (cm)	Height (m)	Canopy Height (m)	Canopy (m) On two axes	Tree Health	Structural Condition	Comments	Minimum Tree Protection Zone	Site Plan Results
TP 9	Neighbour	Spruce	<i>Picea sp.</i>	31, 19	15	13	8x6	G	G	Codominant. Previously elevated. Pruned for hydro clearance. Vines.	Minimum TPZ 3.0 metres.	<b>PRESERVE</b> mTPZ 3.0 metres.
TP 10	Neighbour	Cedar	<i>Thuja occidentalis</i>	1-5	6	6	9x2	G	G	Hedgerow with small Lilac shrub in it.	Minimum TPZ 1.8 metres.	<b>PRESERVE</b> mTPZ 1.8 metres.
TP 11	Subject Site	Crabapple	<i>Malus spp.</i>	30	10	8	7x7	G	G	Stubs. Deadwood. Previously elevated.	Minimum TPZ 2.4 metres.	<b>PRESERVE – Injure – Proposed stone patio.</b> mTPZ encroachment of approx. .2 metres. <b>PERMIT REQUIRED</b>
TP 12	Subject Site	Siberian Elm	<i>Ulmus pumila</i>	19, 31, 17	14	12	7x7	G	F	Previously topped. Deadwood. Included unions.	Minimum TPZ 3.0 metres.	<b>PRESERVE</b> mTPZ 3.0 metres.
TP 13	Subject Site	Siberian Elm	<i>Ulmus pumila</i>	31, 23, 20, 16, 13	14	13	8x8	G	F	Previously topped. Deadwood. Included unions.	Minimum TPZ 3.0 metres.	<b>PRESERVE – Injure – excavation of existing inground pool.</b> mTPZ encroachment of approx. 1 metre. <b>PERMIT REQUIRED</b>
TP 14	Neighbour	Columnar Oak	<i>Quercus robur</i> 'Fastigiata'	15	13	10	4x4	G	G		Minimum TPZ 2.4 metres.	<b>PRESERVE</b> mTPZ 2.4 metres.
TP 15	Neighbour	Lilac	<i>Syringa vulgaris</i>	~16	9	7	4x4	G	G		Minimum TPZ 2.4 metres.	<b>PRESERVE</b> mTPZ 2.4 metres.
TP 16	Neighbour	Lilac	<i>Syringa vulgaris</i>	~15	10	8	5x5	G	G		Minimum TPZ 2.4 metres.	<b>PRESERVE</b> mTPZ 2.4 metres.
TP 17	Neighbour	Lilac	<i>Syringa vulgaris</i>	17	9	7	4x4	G	G		Minimum TPZ 2.4 metres.	<b>PRESERVE</b> mTPZ 2.4 metres.
TP 18	Neighbour	Blue Spruce	<i>Picea pungens</i>	~18	10	10	4x4	G	G	Minor deadwood.	Minimum TPZ 2.4 metres.	<b>PRESERVE</b> mTPZ 2.4 metres.
TP 19	Neighbour	Blue Spruce	<i>Picea pungens</i>	~15	9	9	4x4	G	G		Minimum TPZ 2.4 metres.	<b>PRESERVE</b> mTPZ 2.4 metres.
TP 20	Subject Site	Yellow Buckeye	<i>Aesculus flava</i>	60	16	16	14x14	G	G	Deadwood. Included unions. Missing and damaged bark. Girdling root. Previously elevated.	Minimum TPZ 3.6 metres.	<b>PRESERVE – Injure – Proposed front porch.</b> mTPZ encroachment of approx. .3 metres. <b>PERMIT REQUIRED</b>

ID #	Ownership	Common Name	Botanical Name	DBH (cm)	Height (m)	Canopy Height (m)	Canopy (m) On two axes	Tree Health	Structural Condition	Comments	Minimum Tree Protection Zone	Site Plan Results
TR 21	Subject Site	False Cypress	<i>Chamaecyparis nootkatensis</i>	18	12	10	4x4	G	G	Previously elevated. Stubs. Deadwood.	Minimum TPZ 2.4 metres.	<b>REMOVE</b> Tree in conflict with existing site plan – modify and repave existing driveway. <b>PERMIT REQUIRED</b>
TP 22	Subject Site	Blue Spruce	<i>Picea pungens</i>	30	16	16	4x4	G	G	Deadwood.	Minimum TPZ 2.4 metres.	<b>PRESERVE</b> mTPZ 2.4 metres.
TP 23	Neighbour	Blue Spruce	<i>Picea pungens</i>	38	16	15	8x8	G	G	Previously elevated. Deadwood.	Minimum TPZ 3.0 metres.	<b>PRESERVE</b> mTPZ 3.0 metres.
TP 24	Town	Norway Spruce	<i>Picea abies</i>	57	19	18	13x13	G	G	Previously elevated. <b>Appraised value: \$9,200.00.</b>	Minimum TPZ 3.6 metres.	<b>PRESERVE</b> mTPZ 3.6 metres.

**Definitions:**

**G:** Overall, the tree is healthy and in satisfactory condition. The tree has no major structural issues, no mechanical damage, and may have insignificant aesthetic, insect, disease, or structural problems. Small amounts of deadwood (less than 15% of canopy) may be present.

**F:** The tree is in good health and has no major structural problems, no significant mechanical damage, and may have only minor aesthetic, insect, disease, or structural problems. Moderate symptoms of decline in the lower canopy or scaffold limbs may be visible. Some deadwood (less than 40%) may be present.

**P:** The tree may show minor structural issues, mechanical damage, damage from diseases, sparse canopy, or abnormal growth in relation to species. Can be applied to trees that show evidence of advanced decay, deadwood, is hollow, or significant epicormic growth on main branches.

**D:** Tree is dead and shows no signs of live growth.



## **APPENDIX C TREE PROTECTION SPECIFICATIONS**

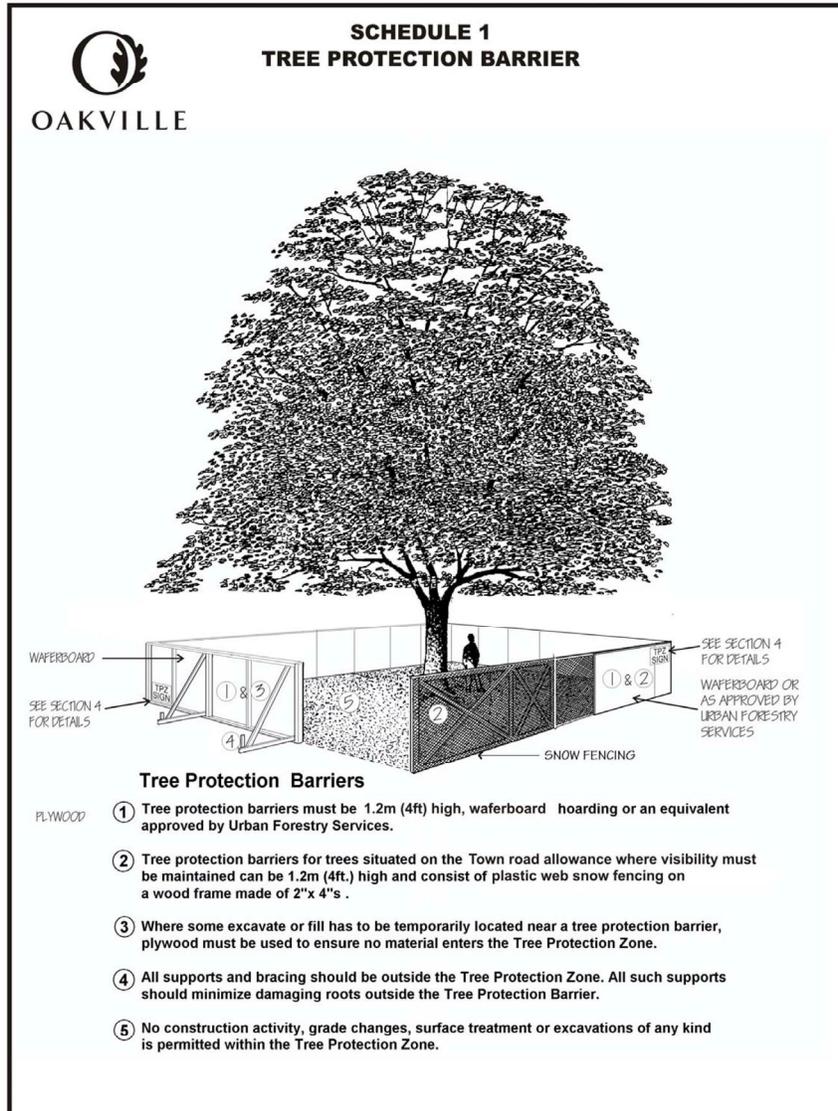


Figure 1 Oakville Tree Protection Detail Schedule 1

**Tree Protection Zone**

No grade change, storage of materials or equipment is permitted within this area. This tree protection barrier must not be removed without the written authorization of the Town of Oakville.

Report any contraventions to  
**Contact Name \_\_\_\_\_ Tel No. \_\_\_\_\_**

Unauthorized removal of the tree protection barrier or other contraventions may result in prosecution.

Figure 2 Oakville Minimum Sign Requirement Detail



## **APPENDIX D PHOTOS**



Figure 1 TP1

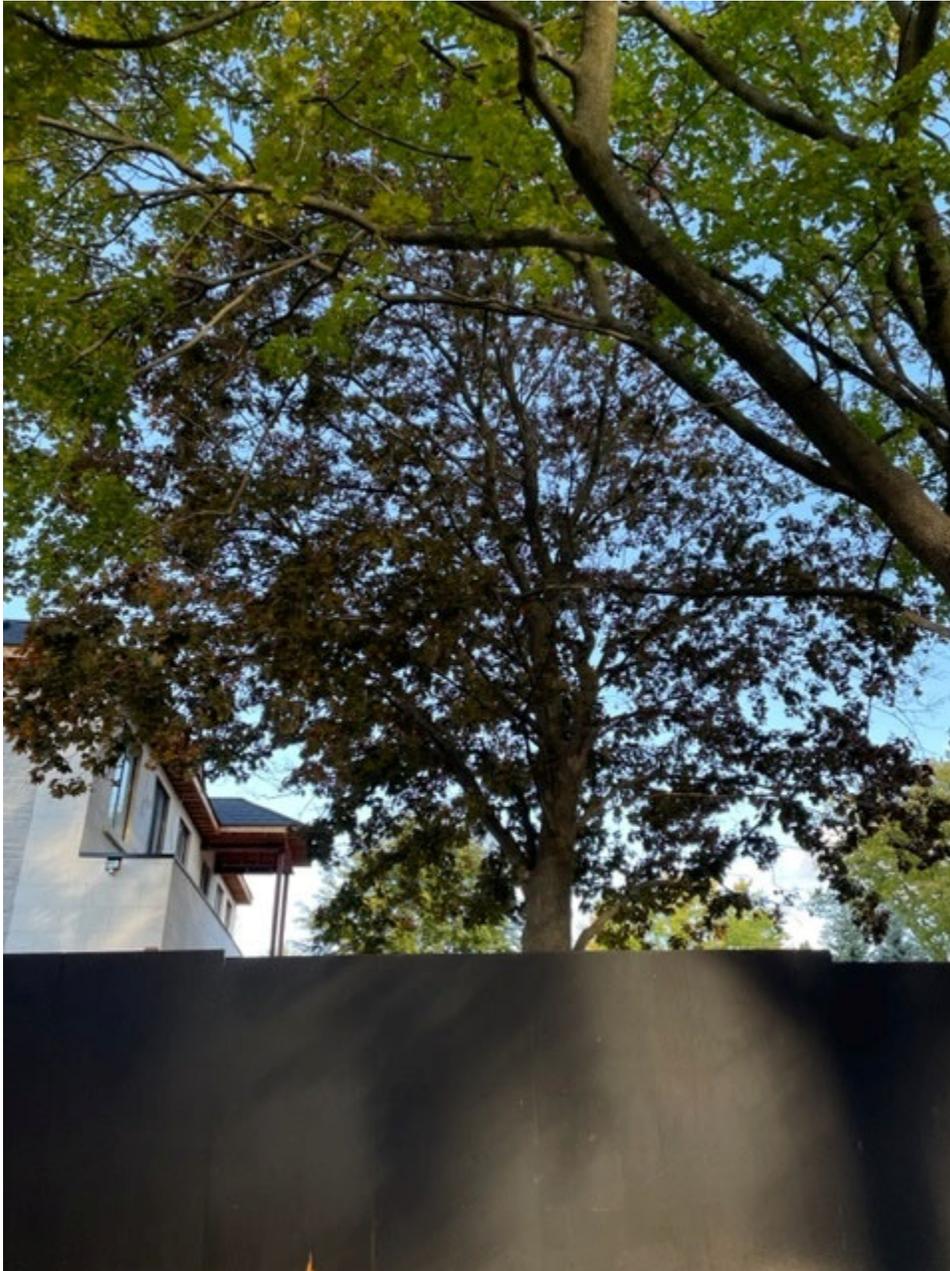


Figure 2 TP2



Figure 3 TR4



*Figure 4 TR3 and TR5*

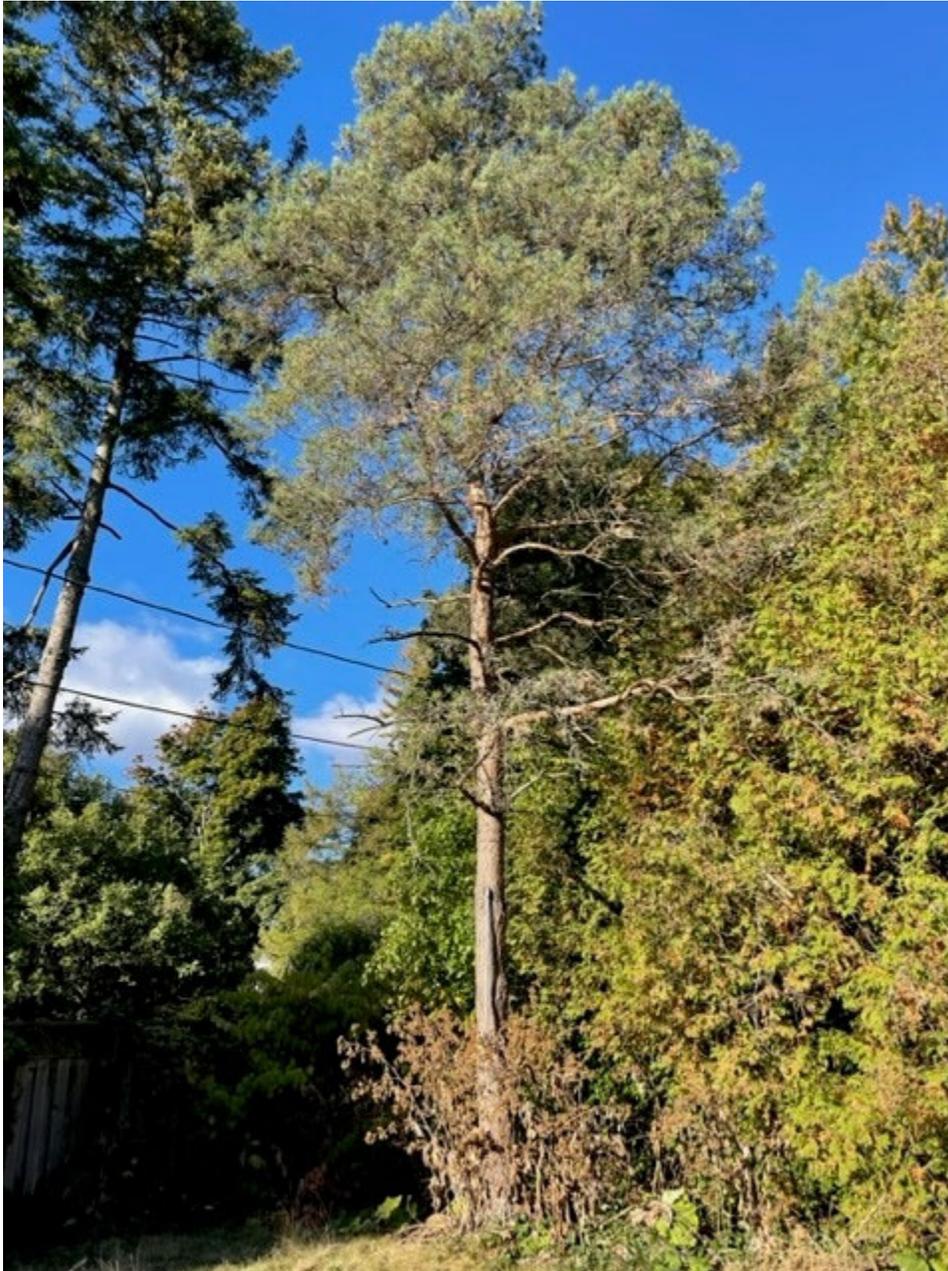


Figure 5 TP6



Figure 6 TP7



Figure 7 TP8 and TP9



Figure 8 TP10



Figure 9 TR11



Figure 10 TR12 and TR13



*Figure 11 TP14 and TP15*



*Figure 12 TP16 and TP17*

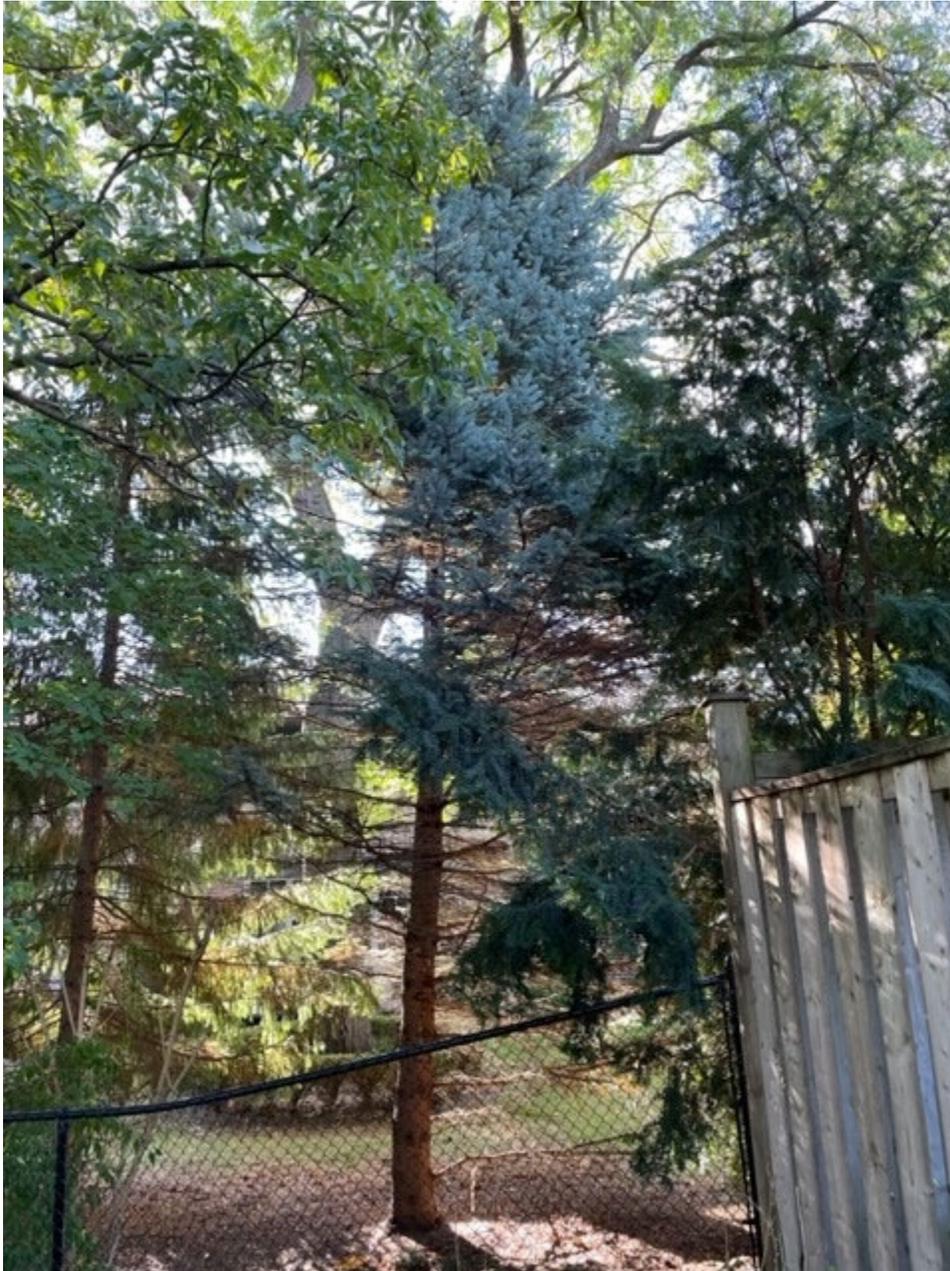


Figure 13 TP18 and TP19



Figure 14 TP20



Figure 15 TR21



Figure 16 TP22



*Figure 17 TP23 and TP24*

**From:**

**Sent:** Monday, November 21, 2022 1:48 PM

**To:** coarequests <coarequests@oakville.ca>

**Subject:** 142 Wolfdale Avenue, Oakville

Dear Committee Members,

We live at 1193 Stirling Dr, Oakville, and the home to be build at 142 Wolfdale is both beside and behind us.

We strongly object to the second story proposal for a "minor" variance to allow for a balcony. The overlook onto our property is significant. We retired to this home 6 years ago and are trying to maintain the sense of privacy we thought we purchased. Our garden, pool and outdoor dining area would be significantly affected by the proposed balcony. Furthermore, we question the necessity of this space when there will be several lovely green sitting areas built on the back property of 142 Wolfdale.

We spoke to the owner several months ago, in a very friendly conversation, and requested only 2 things, that they keep the grass cut prior to demolition, and that there be no windows on our side of the property. He agreed to both requests.

Thank you for the opportunity to share our concerns.

Sincerely,

Lyn and Richard Labenski