

APPENDIX D – APPLICANT’S DRAFT ZONING BY-LAW AMENDMENT



THE CORPORATION OF THE TOWN OF OAKVILLE

BY-LAW NUMBER 2022-XX

A by-law to amend the Town of Oakville's Zoning By-law 2014-014, as amended, to permit the construction of a residential building on lands described as 50 Speers Road (File XXXX)

COUNCIL ENACTS AS FOLLOWS:

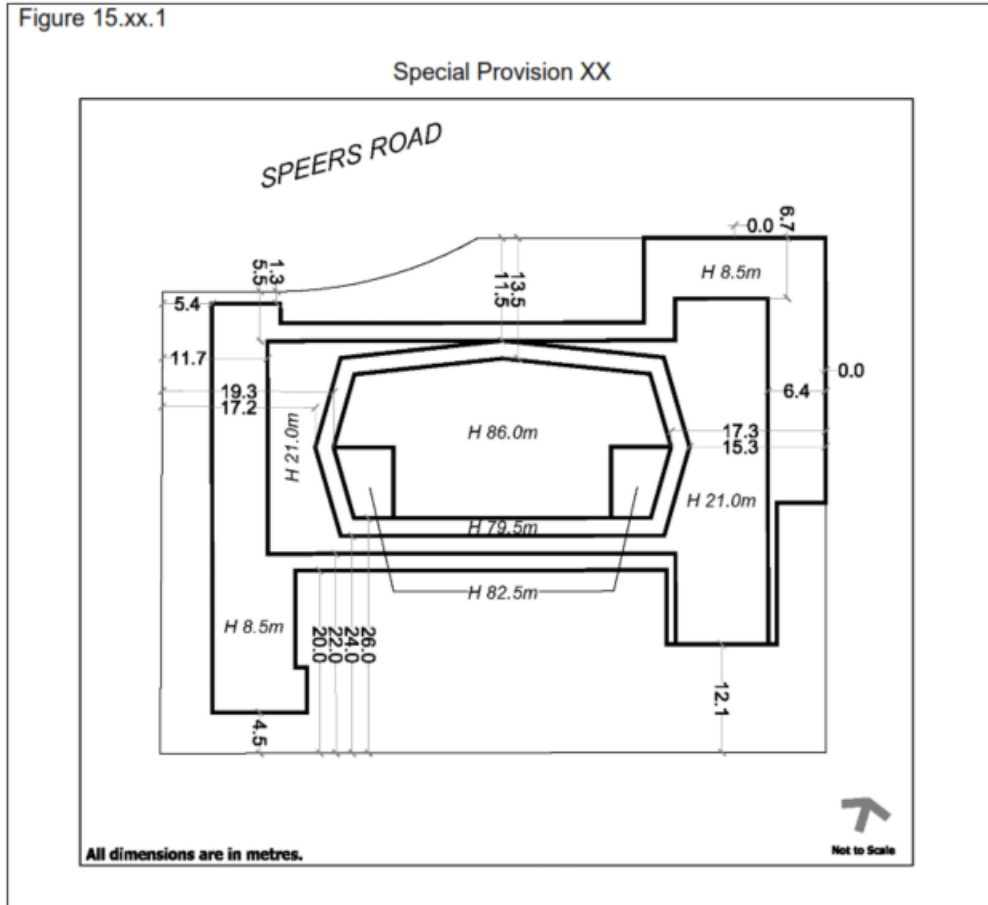
- Section 15, Special Provisions, of By-law 2014-014, as amended, is amended by adding new Section 15.XX and subsections 15.XX.1, 15.XX.2, 15.XX.3, 15.XX.4, and 15.XX.5 with respect to the lands municipally known as 50 Speers Road as follows:

XX	50 Speers Road		Parent Zone: RH
Map 19(7a)			(2022-XXX)
15. XX.1 Additional Permitted Uses			
The following additional <i>uses</i> are permitted:			
a)	<i>Townhouse dwelling</i>		
b)	<i>Temporary Sales Office</i>		
15.XX.2 Zone Provisions			
The following regulations apply:			
a)	Maximum <i>net floor area</i>	22,700 square metres	
b)	Maximum number of <i>storeys</i>	27 storeys	
c)	Minimum <i>rear, interior side, and front yards</i>	In accordance with Figure 15.XXX.1	
d)	Minimum <i>interior side yard</i>	0.0 metres	
e)	Minimum front yard	1.3 metres	
f)	Maximum <i>height</i>	In accordance with Figure 15.XXX.1	
g)	Maximum height of a <i>mechanical penthouse</i> , including appurtenances and rooftop mechanical equipment, elevator penthouse and stair tower	6.5 metres	



h)	Maximum <i>lot coverage</i>	55%
i)	Minimum setback of a <i>parking structure</i> from a Residential Zone	0 metres
j)	Minimum setback of a <i>parking structure</i> ventilation shaft from a Residential Zone	0.0 metres
15.XX.3 Parking Provisions		
The following parking provisions apply:		
a)	Minimum number resident and visitor <i>parking spaces</i> for <i>dwelling units</i> :	1.0 space per dwelling unit
15.XX.4 Special Site Provision		
a)	Notwithstanding any severance, partition or division of the lands subject to this Special Provision, all lands subject to this by-law shall be considered to be one <i>lot</i> for the purposes of this By-law.	
15.XX.5 Special Site Figures		

Figure 15.xx.1



PASSED this day of, 2022

_____ MAYOR

_____ CLERK