



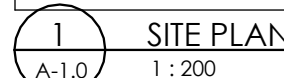
PROJECT NO. 21-542

A-0.0



A-0.0

DRAWING NUMBER



	REQUIRED	PROPOSED
MIN. FRONT YARD (M) (6.4.3.a) [6.4.3.c]	EXIST 19.31 M MIN 18.31 M MAX 24.81 M	18.31 M
MIN. INTERIOR SIDE YARD (M) (6.3.1)	4.2 M	4.81 M 5.77 M
MIN. REAR YARD (M) [6.3.1]	10.5 M	54.32 M
MAX. NUMBER OF STOREYS (6.4.6.a)	2	2
MAX. HEIGHT (M) (6.4.6.c)	9 M	10.48 M*
MAX. DWELLING DEPTH (M) (6.3.1.1)	23 M	22.85 M
MAX. FLOOR AREA RATIO (M2) [6.4.1]		
GROUND FLOOR = 406.80 M2 (4,379 SQF) SECOND FLOOR = 296.68 M2 (3,193 SQF) GARAGE = 63.13 M2 (680 SQF)	1185.74 M2 29%	703.48 M2 17.21%
TOTAL WITHOUT GARAGE = 703.48 M2 (7,572 SQF) TOTAL WITH GARAGE = 766.61 M2 (8,253 SQF)		
MAX. LOT COVERAGE (M2) (6.4.2)		
DWELLING FOOTPRINT = 406.80 M2 COVERED PATIO = 43.33 M2 COVERED PORCH = 5.47 M2 TOTAL = 552.73 M2	1022.19 M2 25%	522.73 M2 12.78 %
MIN. NUMBER OF PARKING SPACES (5.2.1)	2	2
MIN. PARKING SPACES FOR VISITORS (5.1.5) 2 x 0.25 = 0.5 = 1	25% of min. number of parking spaces	1
DRIVEWAY WIDTH (M) (5.8.2)	MIN 3 M MAX 9 M	6 M & 9 M
MAX. WALKWAY WIDTH (M) (5.8.2)	1.8 M	1.8 M
MAX. PRIVATE GARAGE SIZE (M2) (5.8.6)	56 M2	55.74 M2
MAX. GARAGE ENTRANCE WIDTH (M2) (5.8.6)	9 M	9 M

ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE LATEST ONTARIO BUILDING CODE.

OWNERS INFORMATION:

LEGEND:

REVISIONS		
#	DATE	REMARKS
01	2022 10 18	ISSUED FOR MINOR VARIANCE

ARCHITECT:



SEALS:



PROJECT TITLE

DHILLON RESIDENCE

1049 LINBROOK ROAD, OAKVILLE ON

DRAWING TITLE

SITE PLAN

DRAWN BY _____

DS/CS/PT _____

SCALE

As indicated

DATE

JULY 2022

CHECKED BY _____

PROJECT NUMBER 21-542

DRAWING NUMBER

A-1.0

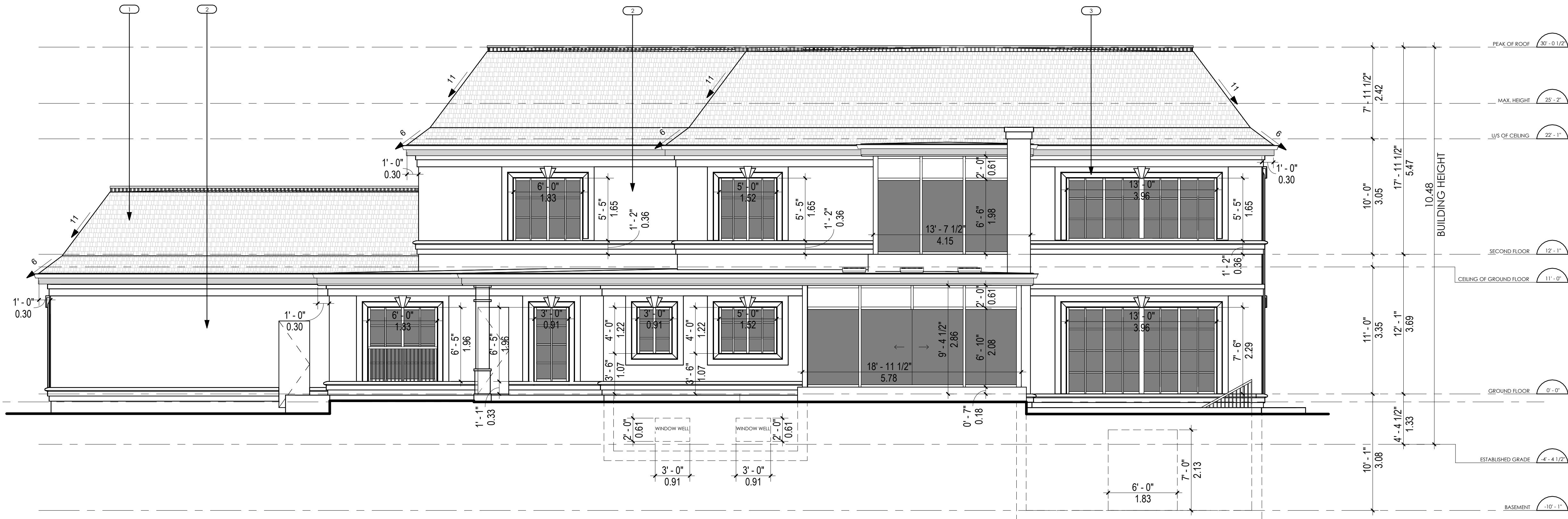
AREA OF EXPOSED BUILDING FACE = 167.61 M²
LIMITING DISTANCE = 26.61 M
PERCENTAGE OF ALLOWED UNPROTECTED OPENING = 100 % = 167.61 M²
AREA OF PROPOSED UNPROTECTED OPENING = 20.77 % = 34.81 M²

MATERIAL LEGEND:
1- ASPHALT SHINGLES
2- STONE VENEER
3- CHIMNEY PANEL ON BFFS
4- METAL DOME
5- FIXED WINDOW



1 NORTH ELEVATION
A-4.0 3/16" = 1'-0"

AREA OF EXPOSED BUILDING FACE = 144.99 M²
LIMITING DISTANCE = 54.32 M
PERCENTAGE OF ALLOWED UNPROTECTED OPENING = 100 % = 144.99 M²
AREA OF PROPOSED UNPROTECTED OPENING = 23.10 % = 41.42 M²



2 SOUTH ELEVATION
A-4.0 3/16" = 1'-0"

ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE LATEST ONTARIO BUILDING CODE.

USE ONLY LATEST REVISED DRAWINGS MARKED AS "ISSUED FOR CONSTRUCTION"

CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. DRAWINGS ARE NOT TO BE SCALED.

CONTRACT DOCUMENTS ARE THE COPYRIGHT OF THE CONSULTANTS AND SHALL NOT BE USED OR REPRODUCED WITHOUT AUTHORIZATION. DOCUMENTS ARE TO BE RETURNED UPON COMPLETION OF THE PROJECT.

OWNERS INFORMATION:

LEGEND:

REVISIONS

#	DATE	REMARKS
01	2022-10-18	ISSUED FOR MINOR VARIANCE

ARCHITECT:

LIMA
ARCHITECTS INC.
www.limaarchitectinc.com
E: info@limaarchitectinc.com
T: 289-337-8887

SEALS:



PROJECT TITLE

DHILLON RESIDENCE

1049 LINBROOK ROAD, OAKVILLE ON

DRAWING TITLE

NORTH & SOUTH ELEVATIONS

DRAWN BY

DS/CS/PT/CB

SCALE

As indicated

DATE

JULY 2022

CHECKED BY

FL

PROJECT NUMBER

21-542

DRAWING NUMBER

A-4.0

MATERIAL LEGEND:

- 1 - ASPHALT SHINGLES
- 2 - STONE VENEER
- 3 - CEMENT PANEL ON EIFS
- 4 - METAL DOME
- F - FIXED WINDOW

CONTRACT DOCUMENTS ARE THE COPYRIGHT OF THE
CONSULTANTS AND SHALL NOT BE USED OR
REPRODUCED
WITHOUT AUTHORIZATION. DOCUMENTS ARE TO BE
RETURNED UPON COMPLETION OF THE PROJECT.

LEGEND:

#	DATE	REMARKS
01	2022 10 18	ISSUED FOR MINOR VARIANCE



SEALS:



DHILLON RESIDENCE

DRAWING TITLE

EAST & WEST ELEVATIONS

DRAWN BY

DS/CS/PT/CB

SCALE	As indicated
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DATE

JULY 2022

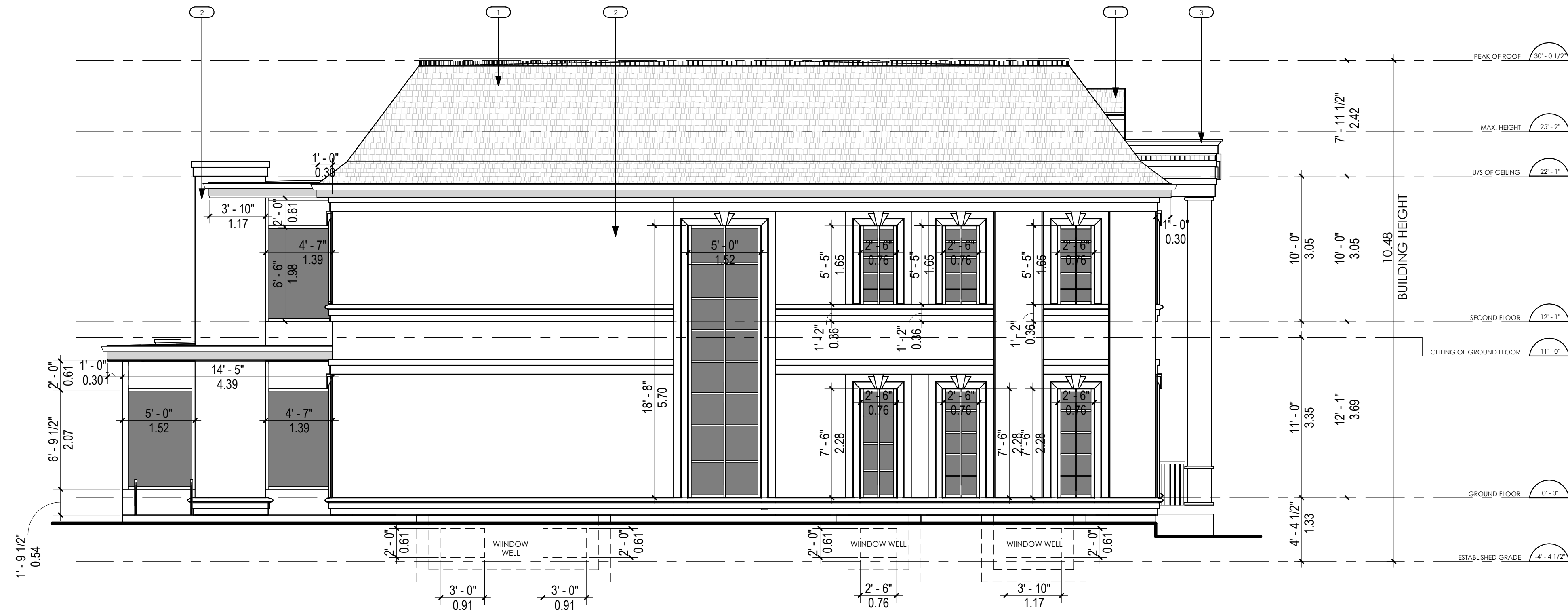
CHECKED BY _____

FL

PROJECT NUMBER	21-542
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1-542

A-4.1



1 EAST ELEVATION
A-4.1 $3/16" = 1'-0"$

This architectural elevation drawing shows the side profile of a building with a complex roofline featuring multiple gables. The drawing includes the following dimensions and level markers:

- Vertical Dimensions (Right Side):**
 - Established Grade: 4'-4 1/2" (1.33)
 - Ground Floor: 0'-0" (0.00)
 - Ceiling of Ground Floor: 11'-0" (3.35)
 - Second Floor: 12'-1" (3.69)
 - Peak of Roof: 30'-0 1/2" (9.14)
 - Max. Height: 25'-2" (7.67)
 - Lvs of Ceiling: 22'-1" (6.73)
 - Building Height: 10.48 (31.54)
- Horizontal Dimensions (Bottom):**
 - Window Well: 3'-0" (0.91)
 - Other horizontal segments: 2'-0" (0.61), 1'-0" (0.30), 14'-5" (4.39), 6'-10" (2.08), 2'-0" (0.61), 1'-0" (0.30).
- Other Dimensions:**
 - Roof slope: 1'-0" (0.30)
 - Vertical segment: 6'-11" (2.11)
 - Vertical segment: 3'-0" (0.91)
 - Vertical segment: 6'-6" (1.98)
 - Vertical segment: 7'-5" (2.26)
 - Vertical segment: 2'-0" (0.61)
 - Vertical segment: 7'-11 1/2" (2.42)
 - Vertical segment: 10'-0" (3.05)
 - Vertical segment: 17'-11 1/2" (5.47)

2 WEST ELEVATION
A-4.1 $3/16" = 1'-0"$

Date:

Dear Madam /Sir,

We are writing this letter to the Committee of Adjustment in full support of the upcoming project on 1049 Linbrook Road and we have no objection to the minor variance that the owners, Dr Anil Arekapudi and Dr Anureet Dhillon have applied for.

We have been neighbours with this family for more than 6 years. Once finished the new construction will not only be more accommodating to the owner's needs but also will look more appealing to our neighbours .

Regards

Chris + Michelle Downing
433 Copeland Ct
Oakville, ON

Owners of the property

Date: Oct 11, 2022

Dear Madam /Sir,

We are writing this letter to the Committee of Adjustment in full support of the upcoming project on 1049 Linbrook Road and we have no objection to the minor variance that the owners, Dr Anil Arekapudi and Dr Anureet Dhillon have applied for.

We have been neighbours with this family for more than 6 years. Once finished the new construction will not only be more accommodating to the owner's needs but also will look more appealing to our neighbours .

Regards

A handwritten signature in cursive script, appearing to read "Thomas Hayter".

Owners of the property

430 Copeland Court, Oakville, ON L6J4B9

Date: 13 Oct 2022

Dear Madam /Sir,

We are writing this letter to the Committee of Adjustment in full support of the upcoming project on 1049 Linbrook Road and we have no objection to the minor variance that the owners, Dr Anil Arekapudi and Dr Anureet Dhillon have applied for.

We have been neighbours with this family for more than 6 years. Once finished the new construction will not only be more accommodating to the owner's needs but also will look more appealing to our neighbours .

Regards

Mike Pachowski

Principal (Linbrook School) 1079 Linbrook Rd.
Owners of the property



Date: 04/15, 2022

Dear Madam / Sir,

We are writing this letter to the Committee of Adjustment in full support of the upcoming project on 1049 Linbrook Road and we have no objection to the minor variance that the owners, Dr Anil Arekapudi and Dr Anureet Dhillon have applied for.

We have been neighbours with this family for more than 6 years. Once finished the new construction will not only be more accommodating to the owner's needs but also will look more appealing to our neighbours .

Regards



MANSOOR KHAN
Owners of the property

1134 LINBROOK RD, OAKVILLE, ON

Date: Oct 16, 2022

Dear Madam /Sir,

We are writing this letter to the Committee of Adjustment in full support of the upcoming project on 1049 Linbrook Road and we have no objection to the minor variance that the owners, Dr Anil Arekapudi and Dr Anureet Dhillon have applied for.

We have been neighbours with this family for more than 6 years. Once finished the new construction will not only be more accommodating to the owner's needs but also will look more appealing to our neighbours .

Regards

A handwritten signature in cursive script, reading "Jennifer Bergner". The signature is fluid and stylized, with a long horizontal stroke at the end.

Owners of the property

Jennifer Bergner 471 Cope land Crt. Oakville