

Application for a minor variance: 554 Wingrove Crescent

The following application provides a summary and justification of the requested variance for the development of the property at 554 Wingrove Crescent. There is currently a single story, detached dwelling which is to be demolished. In its place we plan to build a 2 story, single detached family home. Wingrove Crescent already has a large number of newly constructed, 2 story homes with a variety of architectural styles. In fact one of the immediate neighbours is a recently constructed 2 story home built in a modern style. See below for a rendering:



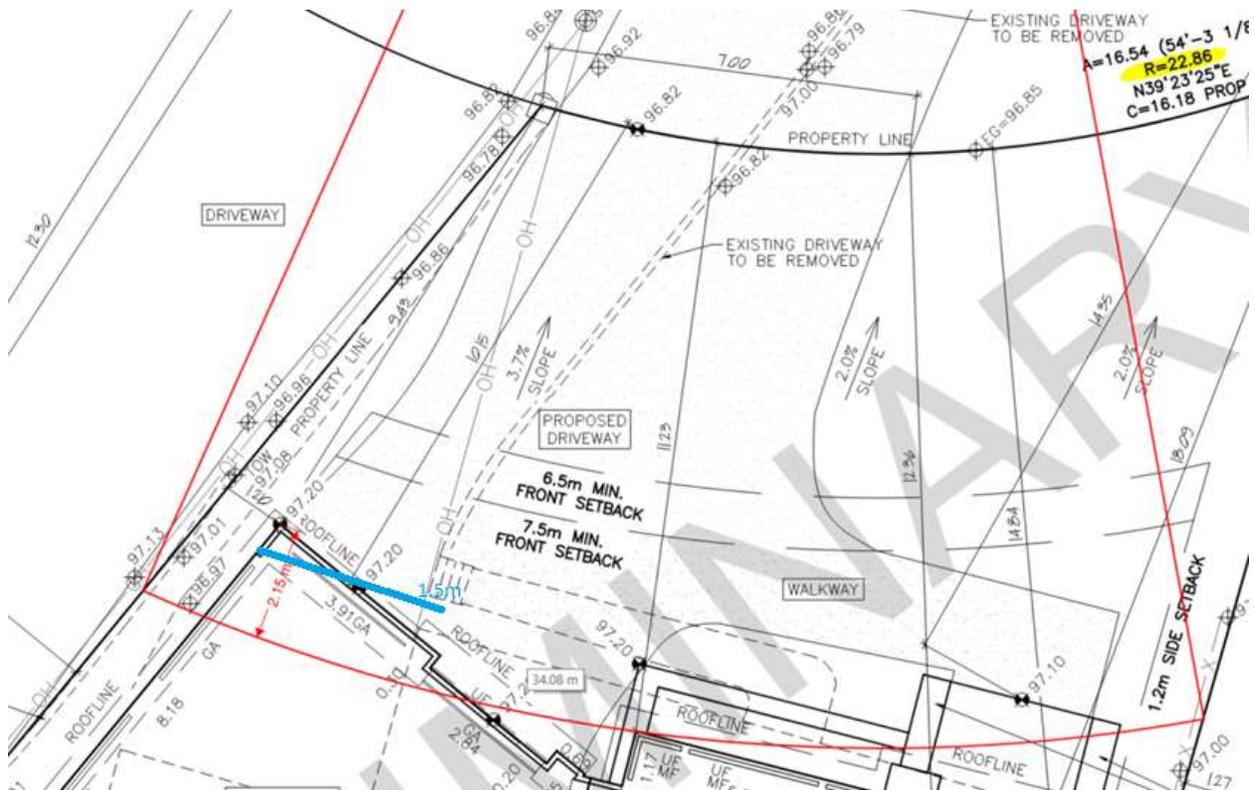
Proposed Variance

The subject lands are zoned RL3-0 within the Town of Oakville's Zoning By-law 2014- 014, as amended. The lot area is 8706 sq ft, or 809 sq m. To permit the proposed development, three variances are requested:

By-law Provision	Requirement	Requested Variance
Floor Area Ratio (FAR)	40% Maximum (323.5 sq m)	42% (339.7 sq m)
Attached Garage Area	45 sq m Maximum	55.75 sq m
Garage Projection	1.5m from Main Wall	2.15

Evaluation of the Proposed Minor Variances

The garage projection exceeds the allowed 1.5m requirement only due to the curved nature of the front lot line (and because projection is measured relative to the lot line and not to the house itself). The blue line in the figure below shows the 1.5m requirement. Only a portion of the corner of the garage actually exceeds the 1.5m line. Visually the garage is set back (not forward) of the mainwall of the house.



Appropriate and Desirable Development For The Area

Our proposed home incorporates architectural elements which are common in many new homes in the area. We use a peaked roof line, some modern elements such as large windows, and a variety of materials such as natural stone and stucco.

The proposed variance does not significantly impact the appearance of the home, or how “Appropriate and Desirable” it is for the area.

Intent of the Zoning By-Law

Our understanding is that the floor area ratio (FAR) and garage floor area + projection regulations are intended to assist in regulating the scale and massing of the building, and to ensure that new homes are not out of character with the rest of the neighbourhood.

The proposed increase in floor area and garage area + projection does not contribute negatively to the scale and massing of the home. Visually the garage appears to be a standard sized 2 car garage which is actually setback from the mainwall instead of projecting forward. The overall massing and scale are reduced by incorporating a number of architecture details.

Other new homes on the street are of similar size/massing with similar 2 car garages. There are many homes which incorporate a similar peaked roof line. The immediate neighbour is a “modern” design which matches the colour palette and style of the proposed dwelling. The other immediate neighbour, which is an older single story home sits on a lot that is much larger than ours. If this lot were to be used for a new home it would allow a house significantly larger than our proposed one.

We feel that our proposed home fits with the character of the street and does not stand out in its massing or size.

Intent of The Official Plan

Our proposed property already uses architectural styles and materials that match the existing neighbourhood. We have used a number of architectural features to minimize our massing including:

- projections and/or recesses of forms and/or wall planes on the façade(s)
- variation in roof forms
- subdividing the larger building into smaller elements through additive and/or repetitive massing techniques
- porches and balconies that can reduce the verticality of taller dwellings and bring focus to the main entrance
- architectural components that reflect human scale and do not appear monolithic
- horizontal detailing to de-emphasize the massing
- variation in building materials and colours

We believe that our proposed home, with its minor variances, is in accordance with the Livable Oakville Official Plan.

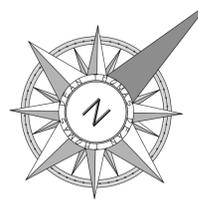
Please find attached drawings and renderings of our elevations as well as our site plan.

Thank you for your consideration,

Przemek and Helen Guzy

554 Wingrove Crescent

Oakville, ON



PROJECT:

ISSUED FOR
DEVELOPMENT PERMIT

554 WINGROVE CRESCENT
OAKVILLE ONTARIO

LOT 101
BLOCK 24845
REG PLAN 682
PIN 24845-0061

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ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ONTARIO BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

REVISION SCHEDULE:

1.	ISSUED FOR PRICING & REVIEW	09/01/2022
2.	ISSUED FOR DEVELOPMENT PERMIT	11/02/2022

DRAWN BY: BL

FLOOR AREAS:

MAIN FLOOR AREA (DEVELOPED)	1796 SQ.FT.
UPPER FLOOR AREA (DEVELOPED)	1861 SQ.FT.
TOTAL DEVELOPED FLOOR AREA ABOVE GRADE	3657 SQ.FT.
LOWER LEVEL AREA (DEVELOPED)	1702 SQ.FT.
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MECH/STORAGE	815 SQ.FT.
COVERED VERANDA	62 SQ.FT.
COVERED DECK	392 SQ.FT.

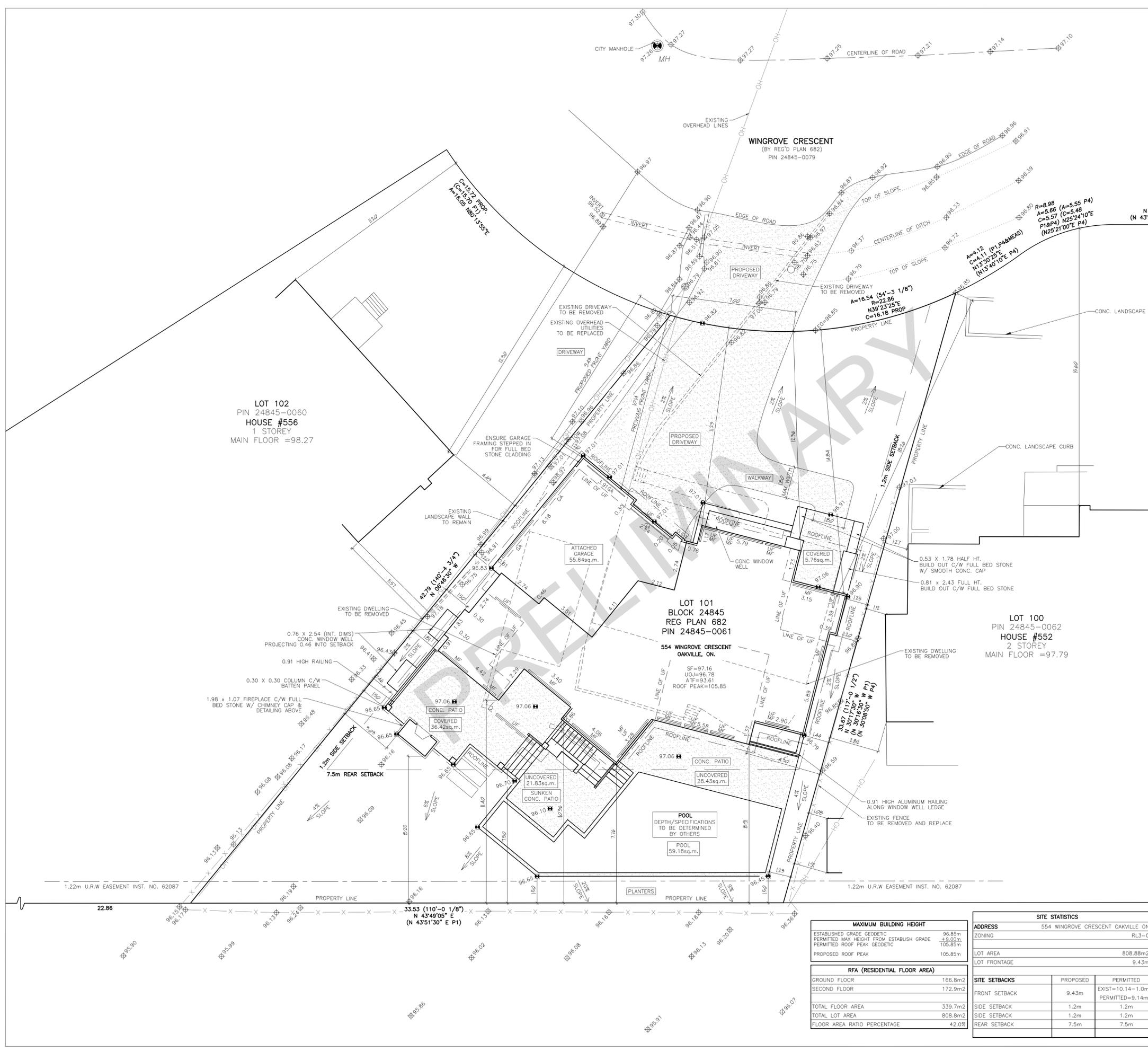
DRAWING TITLE:

SITE PLAN

SCALE: 1:100
DATE: 11/02/2022

SHEET:

A1.1



SITE PLAN LEGEND

NOTES:
ELEVATIONS ARE SHOWN THUS: 90.00 = 90.00 METRES.
DISTANCES ARE IN METRES AND DECIMALS THEREOF.
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- ⊕ denotes Existing Sign
- ⊕ denotes Existing Water Valve
- ⊕ denotes Existing Gas Valve
- ⊕ denotes Existing Street Light
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- - - denotes Proposed Fence
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MAXIMUM BUILDING HEIGHT	
ESTABLISHED GRADE, GEODETIC	96.85m
PERMITTED MAX HEIGHT FROM ESTABLISH GRADE	+3.00m
PERMITTED ROOF PEAK GEODETIC	105.85m
PROPOSED ROOF PEAK	105.85m

RFA (RESIDENTIAL FLOOR AREA)	
GROUND FLOOR	166.8m ²
SECOND FLOOR	172.9m ²
TOTAL FLOOR AREA	339.7m ²
TOTAL LOT AREA	808.8m ²
FLOOR AREA RATIO PERCENTAGE	42.0%

SITE STATISTICS	
ADDRESS	554 WINGROVE CRESCENT OAKVILLE ON
ZONING	RL3-0
LOT AREA	808.88m ²
LOT FRONTAGE	9.43m

SITE SETBACKS	
FRONT SETBACK	9.43m
SIDE SETBACK	1.2m
SIDE SETBACK	1.2m
REAR SETBACK	7.5m

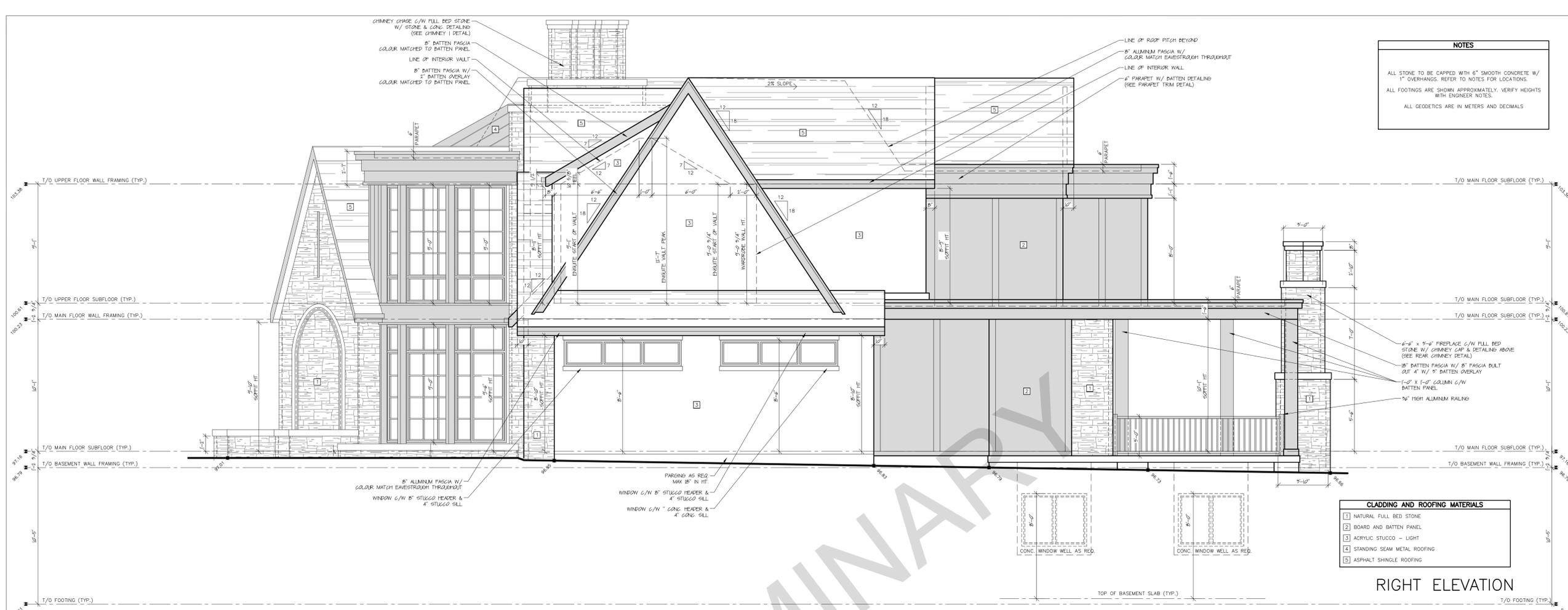
BLDG AREA: 271.36m² LOT AREA: 808.88m²
BUILDING COVERAGE: 33.55%

LOT 102
PIN 24845-0060
HOUSE #556
1 STOREY
MAIN FLOOR =98.27

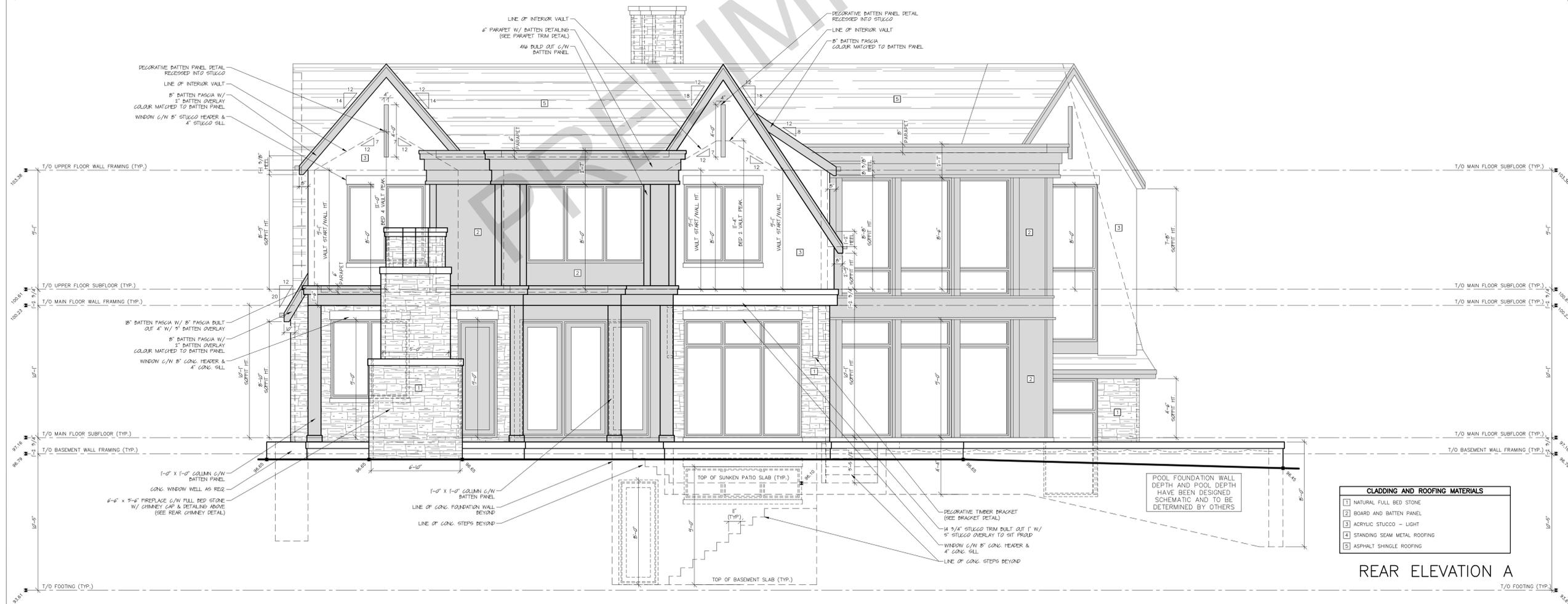
LOT 101
BLOCK 24845
REG PLAN 682
PIN 24845-0061

LOT 100
PIN 24845-0062
HOUSE #552
2 STOREY
MAIN FLOOR =97.79

554 WINGROVE CRESCENT
OAKVILLE, ON.



RIGHT ELEVATION



REAR ELEVATION A

PROJECT:
ISSUED FOR DEVELOPMENT PERMIT

554 WINGROVE CRESCENT
 OAKVILLE ONTARIO
 LOT 101
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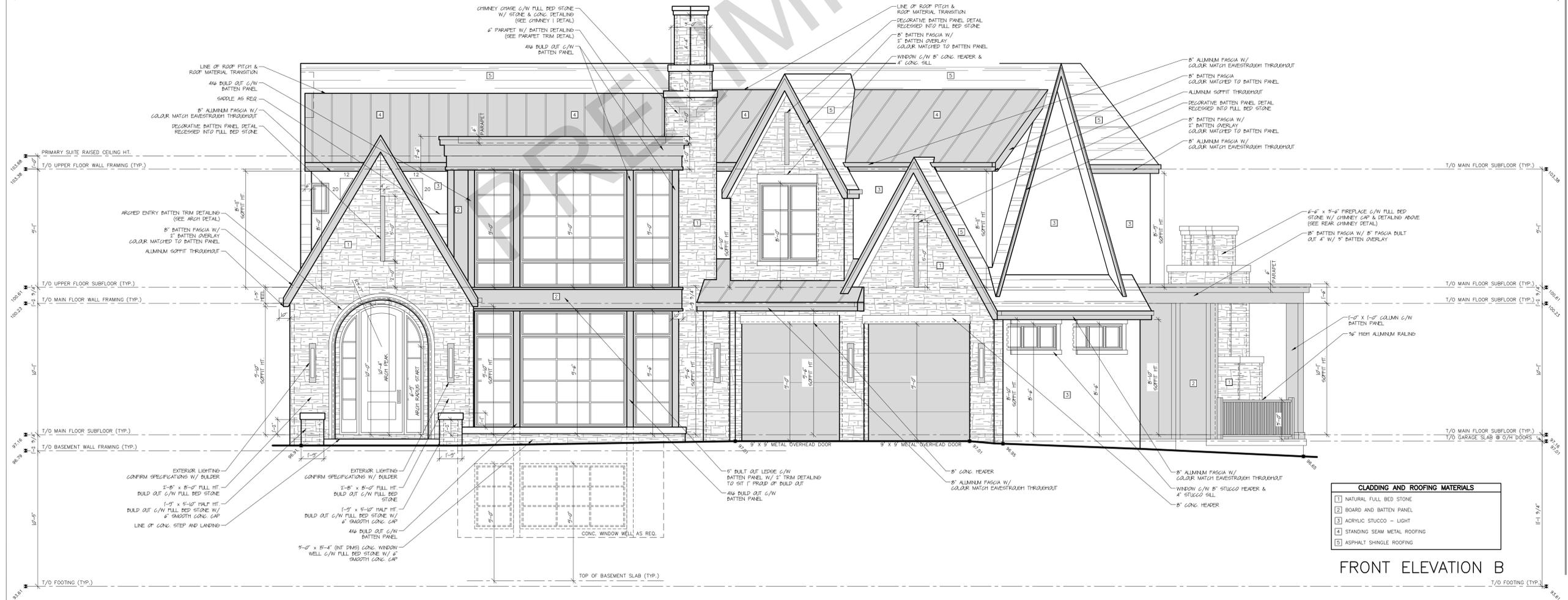
RIGHT & REAR A ELEVATIONS

SCALE: 1/4"=1'-0"
 DATE: 11/02/2022

SHEET:



FRONT ELEVATION A



FRONT ELEVATION B

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OAKVILLE ONTARIO
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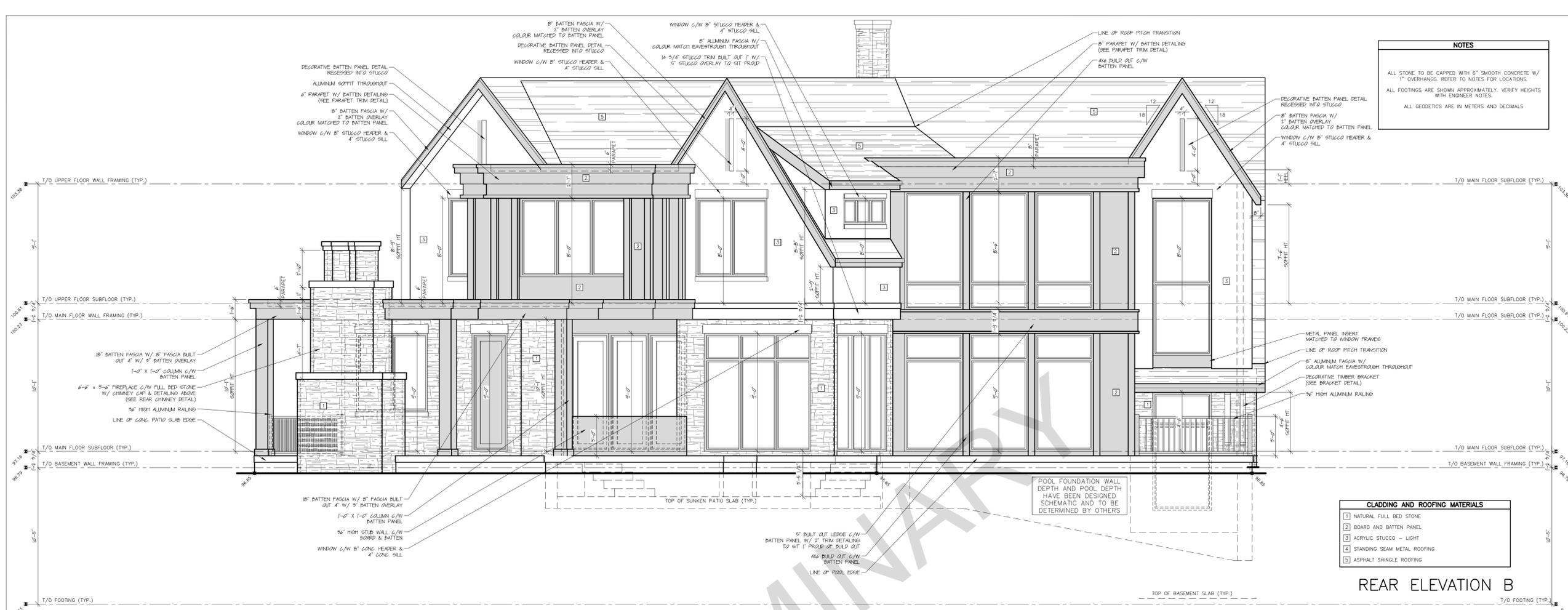
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FRONT A & B ELEVATIONS

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DATE: 11/02/2022

SHEET:



NOTES

ALL STONE TO BE CAPPED WITH 6" SMOOTH CONCRETE W/ 1" OVERHANGS. REFER TO NOTES FOR LOCATIONS.
 ALL FOOTINGS ARE SHOWN APPROXIMATELY. VERIFY HEIGHTS WITH ENGINEER NOTES.
 ALL GEOMETRICS ARE IN METERS AND DECIMALS

CLADDING AND ROOFING MATERIALS

1	NATURAL FULL BED STONE
2	BOARD AND BATTEN PANEL
3	ACRYLIC STUCCO - LIGHT
4	STANDING SEAM METAL ROOFING
5	ASPHALT SHINGLE ROOFING

REAR ELEVATION B



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LEFT ELEVATION

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REAR B & LEFT ELEVATIONS

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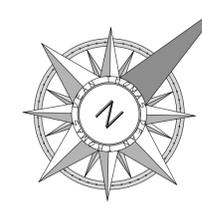
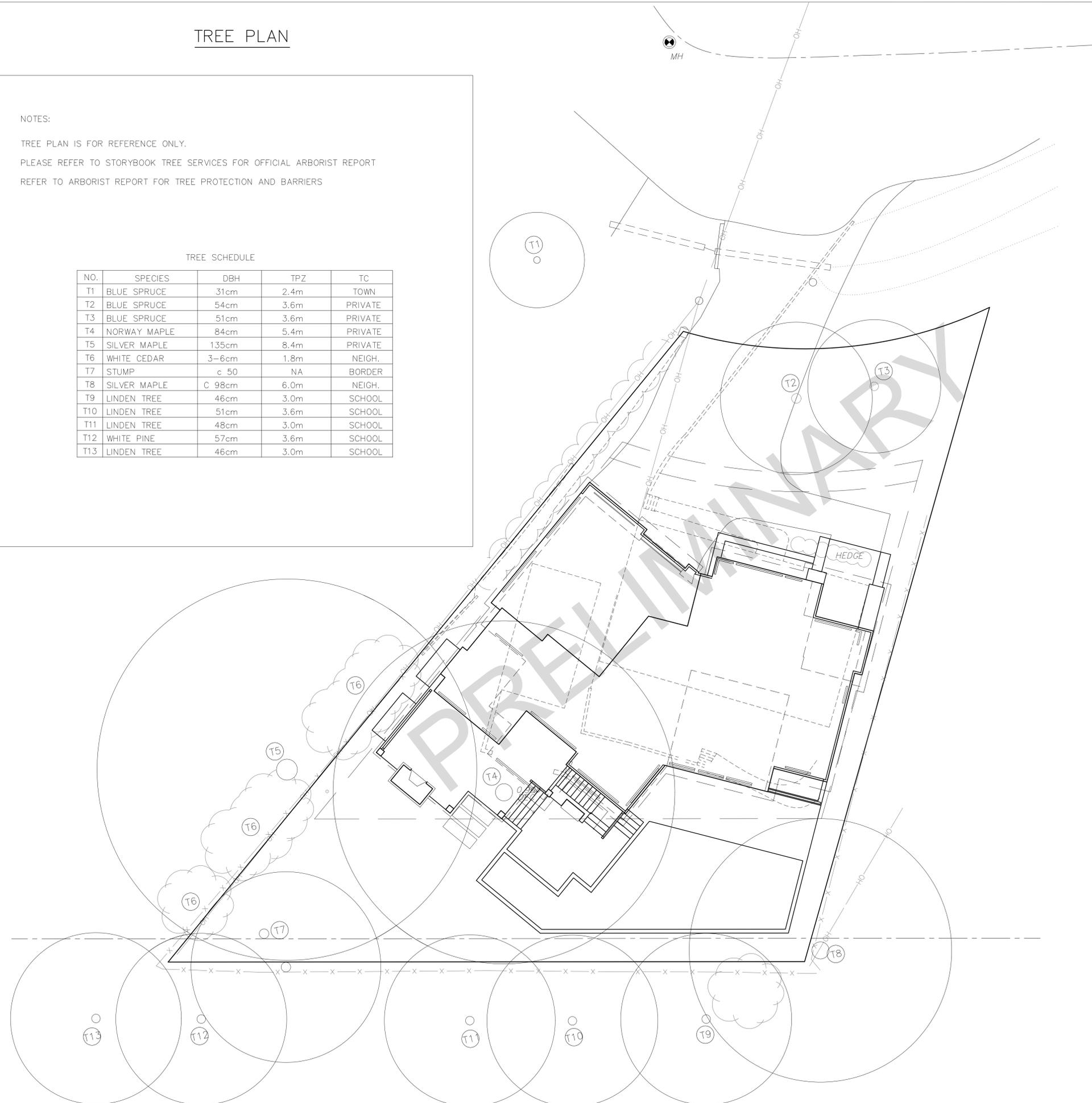
TREE PLAN

NOTES:

TREE PLAN IS FOR REFERENCE ONLY.
 PLEASE REFER TO STORYBOOK TREE SERVICES FOR OFFICIAL ARBORIST REPORT
 REFER TO ARBORIST REPORT FOR TREE PROTECTION AND BARRIERS

TREE SCHEDULE

NO.	SPECIES	DBH	TPZ	TC
T1	BLUE SPRUCE	31cm	2.4m	TOWN
T2	BLUE SPRUCE	54cm	3.6m	PRIVATE
T3	BLUE SPRUCE	51cm	3.6m	PRIVATE
T4	NORWAY MAPLE	84cm	5.4m	PRIVATE
T5	SILVER MAPLE	135cm	8.4m	PRIVATE
T6	WHITE CEDAR	3-6cm	1.8m	NEIGH.
T7	STUMP	c 50	NA	BORDER
T8	SILVER MAPLE	C 98cm	6.0m	NEIGH.
T9	LINDEN TREE	46cm	3.0m	SCHOOL
T10	LINDEN TREE	51cm	3.6m	SCHOOL
T11	LINDEN TREE	48cm	3.0m	SCHOOL
T12	WHITE PINE	57cm	3.6m	SCHOOL
T13	LINDEN TREE	46cm	3.0m	SCHOOL



SCHEDULE 1 TREE PROTECTION BARRIER

Tree Protection Barriers

- The protection barrier shall be 1.2m (4ft) high, undisturbed, hoarding or an equivalent approved by Local Planning Department.
- The protection barrier to be installed on the Tree Protection Zone shall be maintained at a minimum of 1.2m (4ft) high and consist of plastic with snow fencing on a gravel base made of 2" #2.
- Where some access or fill has to be temporarily located over a tree protection barrier, ground must be used to restore or maintain within the Tree Protection Zone.
- All supports and loading should be within the Tree Protection Zone. All such supports should remain during tree removal in the Tree Protection Zone.
- No construction activity, grade changes, surface treatment or excavations of any kind is permitted within the Tree Protection Zone.

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- OH — denotes Existing Overhead Power
- P — denotes Existing Underground Power

BLDG AREA: 271.36m² LOT AREA: 202.22m²
 BUILDING COVERAGE: 33.55%

DEANTHOMAS DESIGN GROUP

403 | 719 | 6641
 SUITE 11, 1111 3rd STREET SE
 CALGARY, ALBERTA
 T2G 2S8

PROJECT:
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 554 WINGROVE CRESCENT
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SHEET:

A1.2