

SURVEYOR'S REAL PROPERTY REPORT
PART 1
PLAN OF
LOT 103
REGISTERED PLAN 20M-839
IN THE
TOWN OF OAKVILLE
(REGIONAL MUNICIPALITY OF HALTON)

SCALE & NOTES
Scale 1:150
2 0 2 4 6 8 10 METRES

ALTIMAP LAND SURVEYORS INC.

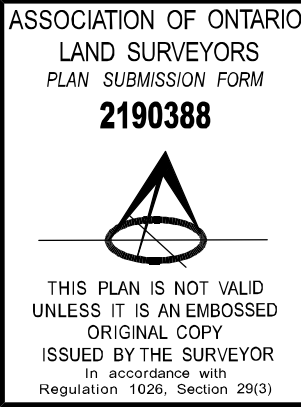
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METRIC
DISTANCES SHOWN ON THIS PLAN ARE IN METRES
AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

ELEVATION NOTE
ELEVATIONS ARE REFERRED TO THE CANADIAN GEODETIC VERTICAL DATUM (CGVD-1928:1978) AND ARE DERIVED FROM CITY OF OAKVILLE BENCHMARK No. 56 LOCATED AT (THE EAST SIDE OF BURLOAK RD. 0.5 (km) NORTH OF LAKESHORE RD. W. BRASS CAP IS ON THE WESTERLY PROPERTY CORNER OF 181 AND 169 BURLOAK DR.), HAVING A PUBLISHED ELEVATION OF 86.085 METERS.

BEARING NOTE
BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE WESTERLY LIMIT OF CREEK PATH AVENUE AS SHOWN ON REGISTERED PLAN 20M-839 HAVING A BEARING OF N44°56'55"E.

LEGEND	
■	DENOTES SURVEY MONUMENT FOUND
□	DENOTES SURVEY MONUMENT PLANTED
SIB	DENOTES STANDARD IRON BAR
SSIB	DENOTES SHORT STANDARD IRON BAR
CP	DENOTES CONCRETE PIN
MH	DENOTES MANHOLE
B.C.	DENOTES BEGINNING OF CURVE
E.C.	DENOTES END OF CURVE
T.C.	DENOTES TANGENT OF CURVE
PRC	DENOTES POINT OF REVERSE CURVE
OH	DENOTES OVERHEAD UTILITY CABLES
DT	DENOTES DECIDUOUS TREE
CT	DENOTES CONIFEROUS TREE
LS	DENOTES LIGHT STANDARD
INV	DENOTES INVERT ELEVATION
HYD	DENOTES FIRE HYDRANT
CRW	DENOTES CONCRETE RETAINING WALL
SRW	DENOTES STONE RETAINING WALL
WRW	DENOTES WOOD RETAINING WALL
TOW	DENOTES TOP OF WALL ELEVATION
TOC	DENOTES TOP OF CONCRETE CURB ELEVATION
BOC	DENOTES BOTTOM OF CURB ELEVATION
FN.	DENOTES FOUNDATION
BR.	DENOTES BRICK
ST.	DENOTES STUCCO
SI.	DENOTES SIDING
CLF	DENOTES CHAIN LINK FENCE
BF	DENOTES BOARD FENCE
D.S.	DENOTES DOOR SILL ELEVATION
MF	DENOTES METAL FENCE
FFE	DENOTES FINISHED FLOOR ELEVATION
GFE	DENOTES GARAGE FLOOR ELEVATION
RP	DENOTES REGISTERED PLAN 20M-839
D	DENOTES INSTRUMENT No. XXXXXXXX
HJV	DENOTES HOLDING JONES VANDERVEEN INC. O.L.S.
P1	DENOTES PLAN OF RE-MONUMENTATION FOR ASSUMPTION BY HOLDING JONES + VANDERVEEN DATED SEPTEMBER 1, 2003
P2	DENOTES PLAN BY J.D. BARNES LTD. O.L.S. DATED OCTOBER 9, 2003
P3	DENOTES PLAN BY J.D. BARNES LTD. O.L.S. DATED SEPTEMBER 4, 2003



PART 2

DESCRIPTION — PIN 24752-0683, LOT 103, REGISTERED PLAN 20M-839, TOWN OF OAKVILLE, KNOWN MUNICIPALLY AS No. 133 CREEKPATH AVENUE.

MUNICIPAL ZONING — THIS PLAN AND REPORT DOES NOT CERTIFY ZONING COMPLIANCE.

REGISTERED EASEMENTS/RIGHTS-OF-WAY — SUBJECT TO AN EASEMENT/LICENCE ENTER AS DESCRIBED IN INSTRUMENT No. HR176797.

ADDITIONAL REMARKS — MAKE NOTE OF THE LOCATION OF FENCES AND PHYSICAL FEATURES AS DEPICTED ON THE FACE OF THIS PLAN. BUILDING TIES ARE TO BRICK/CONCRETE UNLESS OTHERWISE NOTED.

THIS PLAN WAS PREPARED FOR LAND AND BUILDING EXPERTS AND THE UNDERSIGNED ASSUMES NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

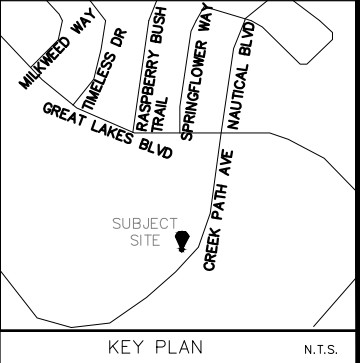
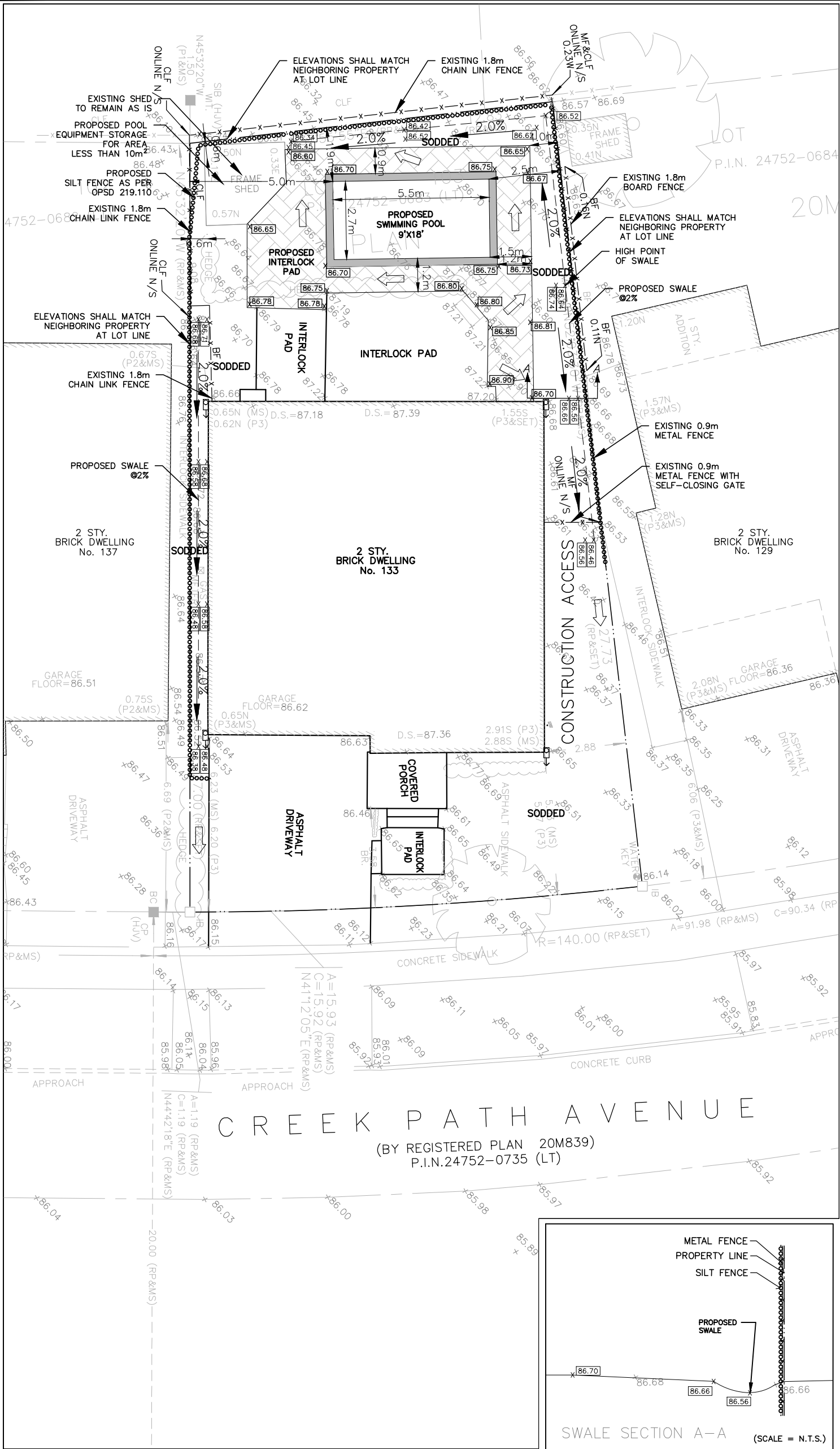
SURVEYOR'S CERTIFICATE

I CERTIFY THAT

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON APRIL 25, 2022.

APRIL 26, 2022

BRUNO IAVICOLI
ONTARIO LAND SURVEYOR

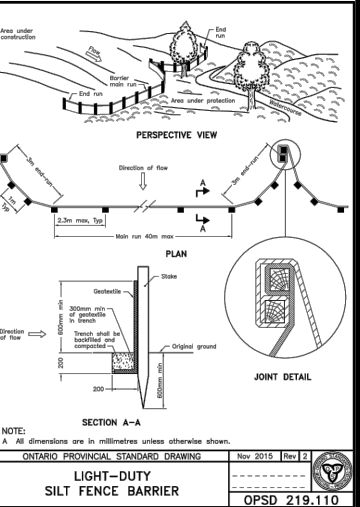
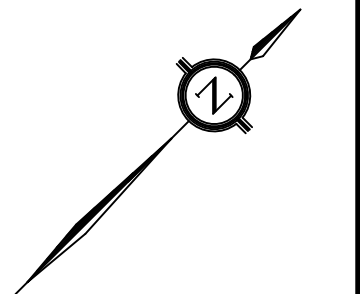
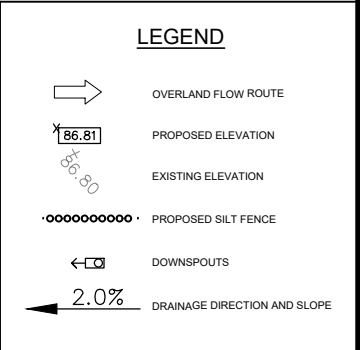


DO NOT SCALE DRAWINGS.

THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON-SITE AND MUST NOTIFY THE DESIGNER/ENGINEER OF ANY VARIATIONS FROM THE SUPPLIED DRAWINGS AND INFORMATION BEFORE PROCEEDING WITH THE WORK. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

ALL DRAWINGS ARE THE PROPERTY OF LAND & BUILDING EXPERTS, AND MUST NOT BE REPRODUCED WITHOUT WRITTEN CONSENT.

EVERY GATE IN A SWIMMING POOL ENCLOSURE SHALL BE SUPPORTED BY SUBSTANTIAL HINGES AND BE EQUIPPED WITH SELF-CLOSING AND SELF-LATCHING HARDWARE PLACED AT THE TOP AND ON THE INSIDE OF THE GATE. EVERY GATE SHALL ALWAYS BE KEPT CLOSED AND LOCKED WHEN THE SWIMMING POOL IS NOT UNDER COMPETENT SUPERVISION OR OTHERWISE NOT IN USE. THUMB LATCH HARDWARE DOES NOT CONSTITUTE AN APPROVED SELF-LATCHING DEVICE.



3	ADDRESS COMMENTS	AUG/30/22
2	ADDRESS COMMENTS	JUN/23/22
1	BUILDING PERMIT	MAY/16/22
NO.	ISSUED FOR	DATE

UNAUTHORIZED USE OR REUSE OF THIS DRAWING IS NOT PERMITTED.



PREPARED BY:
LAND & BUILDING EXPERTS
570 Alden Rd., Unit 6, Markham, ON, L3R 8N5
(647) 340-8649 landbuildx@gmail.com

PROJECT INFO:
**133 CREEK PATH AVE,
OAKVILLE, ON, L6L 6T3**

PROJECT NAME:
**PROPOSED
SWIMMING POOL**

DRAWING TITLE:
SITE GRADING PLAN

SCALE: 1:150	DWG. NO.
DRAWN BY: J.Y.	SG-1
CHECKED BY: J.P.	
PROJECT NO.: CREEK PATH 22-01	

- 1. GENERAL**
- A. WHENEVER PIPES ARE PASSING THROUGH UNCOMPACTED FILL AREA, THE BEDDING TRENCH SHALL BE EXCAVATED TO THE UNDISTURBED GROUND LEVEL AND BACKFILLED WITH GRANULAR MATERIAL COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY.
- B. FOR DIMENSIONS AND DETAILS NOT SHOWN ON THE PLAN, REFER TO THE STD. DWG.
- C. ALL AREAS OUTSIDE OF THE DEVELOPMENT LIMITS, SHALL BE RESTORED TO THE ORIGINALS CONDITIONS TO THE SATISFACTION OF THE TOWN OF OAKVILLE AND HALTON REGION.
- D. ALL TRAFFIC CONTROLS AND SIGNING DURING CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF MTO, THE REGION, AND THE TOWN.
- E. BEFORE ANY DIGGING, ALL UTILITIES MUST BE CONTACTED BY THE CONTRACTOR FOR EXACT LOCATION OF THEIR PLANTS, THE CONTRACTOR MUST PROTECT THE EXISTING PLANTS AS PER THE REQUIREMENTS OF THE CORRESPONDING UTILITY COMPANIES.
- F. ALL SURFACE DRAINAGE SHALL BE SELF CONTAINED AND COLLECTED AND DISCHARGED AT AN APPROVED LOCATION.
- G. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS (LIKE - DEMOLITION OF STRUCTURES, REMOVAL OF TREES, FOUNDATION INSTALLATION, ROAD ENCROACHMENT, WORK WITHIN FLOOD PLAIN AREA ETC.) PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- H. GRADES WILL BE MET WITHIN A 33% MAXIMUM SLOPE AT THE PROPERTY LINES AND WITHIN THE SITE.
- I. ALL RECOMMENDATIONS OF THE SOILS REPORT SHALL BE STRICTLY FOLLOWED AND ANY DISCREPENCY BETWEEN THESE PLANS AND THE SOILS REPORT SHALL BE REPORTED BY THE CONTRACTOR TO THE ENGINEER PRIOR TO THE TENDERING OF THE PRICES FOR THIS PROJECT.
- J. INFORMATION ON EXISTING SANITARY SEWERS, STORM SEWERS AND WATERMANS HAS BEEN OBTAINED FROM THE TOWN OF OAKVILLE AND HALTON REGION.
- 2. BENCH MARK**
- ELEVATIONS ARE REFERRED TO THE CANADIAN GEODETIC VERTICAL DATUM (CGVD-1928:1978) AND ARE DERIVED FROM CITY OF OAKVILLE BENCHMARK No. 56 LOCATED AT (THE EAST SIDE OF BURLOAK RD. 0.5 (Km) NORTH OF LAKESHORE RD. W. BRASS CAP IS ON THE WESTERLY PROPERTY CORNER OF 181 AND 169 BURLOAK DR.), HAVING A PUBLISHED ELEVATION OF 86.085 METERS.
- 3. EROSION AND SEDIMENT CONTROL**
- A. PROTECT ALL EXPOSED SURFACE AND CONTROL ALL RUNOFF DURING CONSTRUCTION.
- B. ALL EROSION CONTROL MEASURES TO BE IN PLACE BEFORE STARTING CONSTRUCTION AND REMAIN IN PLACES UNTIL RESTORATION/CONSTRUCTION IS COMPLETE.
- C. MAINTAIN EROSION CONTROL MEASURES DURING CONSTRUCTION IN GOOD WORKING ORDER.
- D. MINIMIZE AREA DISTURBED DURING CONSTRUCTION.
- E. PROTECT ALL CATCHBASINS, MAINTENANCE HOLES AND PIPE ENDS FROM SEDIMENT INTRUSION.
- F. KEEP ALL SUMP'S CLEAN DURING CONSTRUCTION.
- G. PREVENT WIND BLOWN DUST BY WATERING, SEEDING DISTURBED AREAS AS REQUIRED.
- H. SILT FENCE TO BE USED IN LOCALIZED AREAS IF REQUIRED AND AS DIRECTED BY THE ENGINEER DURING CONSTRUCTION.
- I. GRAVEL ENTRANCE SHALL BE PROVIDED WHEREVER EQUIPMENT LEAVES THE SITE TO PREVENT MUD TRACKING ONTO PAVED SURFACES AS REQUIRED BY THE TOWN.
- DOWNSPOUTS SHALL DISCHARGE TO GRADE VIA CONCRETE SPLASHPADS.
- INCREASE IN IMPERVIOUS SURFACE WILL REQUIRE REVIEW VIA REVISION PROCESS.

09/06/2022
Land & Building Experts
133 Creek Path Avenue

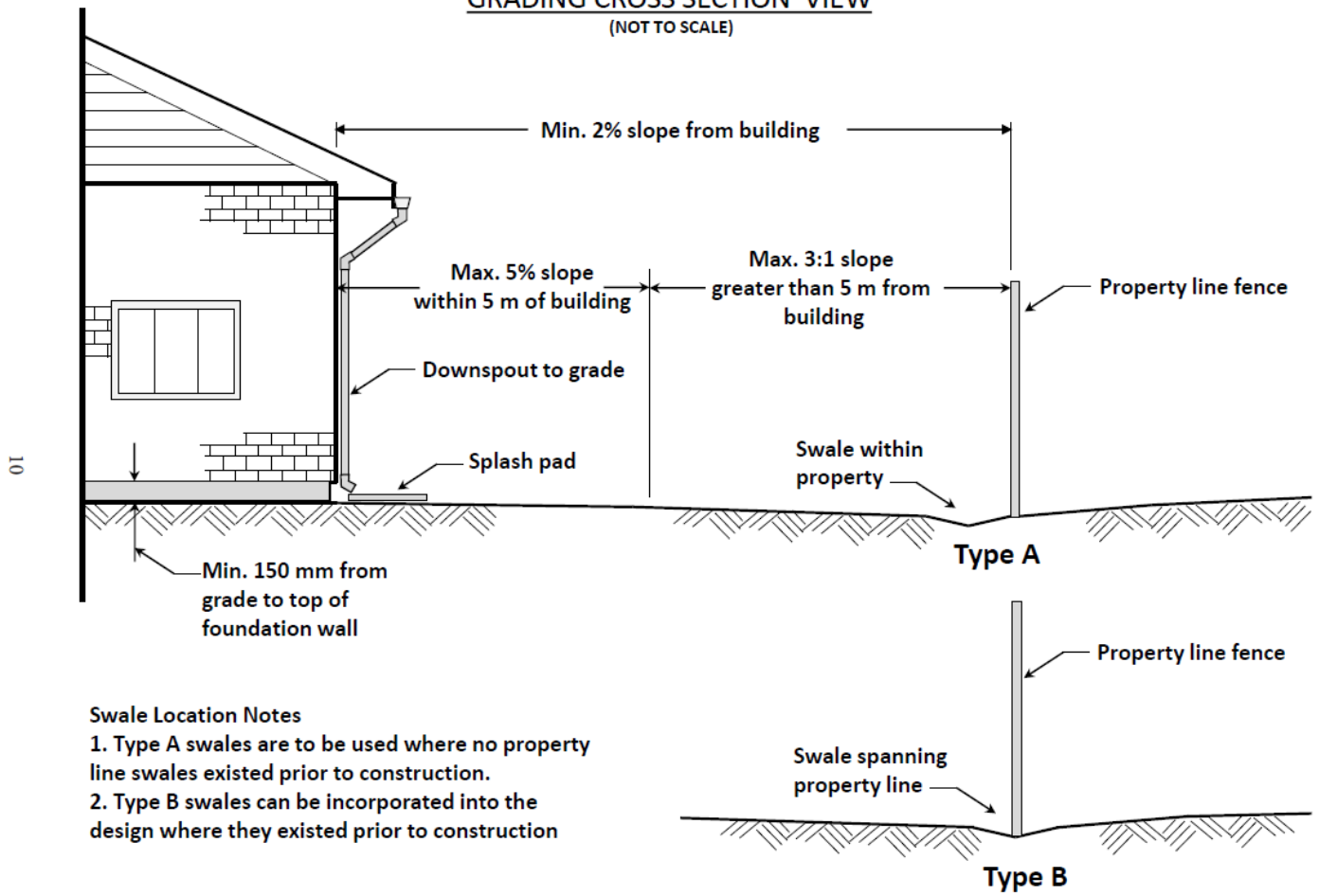
Subject: Development Engineering Permit Application requires further information

Upon reviewing your recent development engineering permit application, there are items missing or insufficient information to process your application. Please address or resubmit the following:

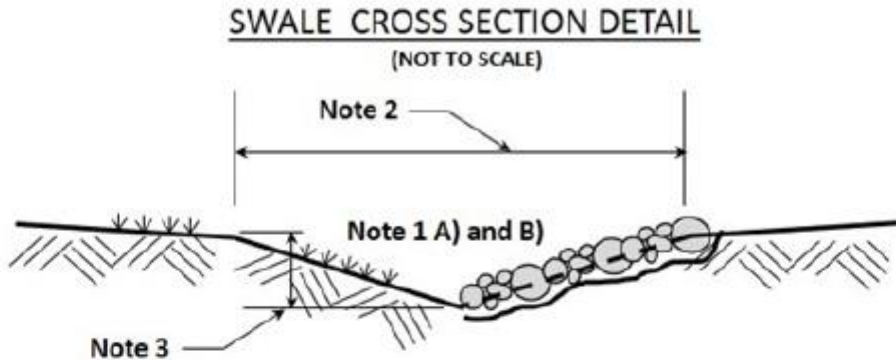
1. Change statement "Match existing elevation at property line" to "Elevations shall match neighboring property at lot line".
2. Depict downspouts on the plan. Add note "Downspouts shall discharge to grade via concrete splashpads"
3. Add note "Increase in impervious surface will require review via revision process".
4. Minimum 0.6m Type-A swale required on the right and back of the patio. Add callouts and drainage arrows to depict drainage Pattern in swale. See subdivision plan and swale standards below.
5. Min 0.3m Type-B swale to be maintained at left lot line. If Type-B swale not maintained by neighbor, 0.6 m type-A swale required in the property. Add callout and drainage arrows accordingly.
6. Area between pool and interlock pad to drain away from pool and house. Provide drainage arrows and elevations accordingly.
7. Frame shed to be minimum 0.6 m away from lot line as per zoning by-law and to accommodate swales.
8. Provide ground cover details for the sides of the house and area around the patio.
9. Provide setback of pools water edge from left and right lot line. Minimum 1.5m required.

Please log into your [town account](#) to resubmit these items. You can resubmit by selecting the "Re-submit" button and then make the required changes on the "Application Information" page or upload the requested documents on the "Application Documents" page.

GRADING CROSS SECTION VIEW (NOT TO SCALE)



Swale Information



All swales are to:

1. Be stabilized with either: A) Topsoil and sod, or B) Filter cloth and river rock (potato stone) . Materials such as, fine gravel, mulch, etc. are not acceptable
2. Have a width of 1.2 to 2.0 m (Side yard swales may be a min. 0.6 m in width)
3. Have a depth of 150 to 600 mm
4. Be defined as a "V" with side slopes of no more than 3:1
5. Have a minimum linear slope of 2.0%
6. Max. length of 60 m before outfall to sewer, creek or municipal road
7. Have no walkways, retaining walls, gardens, trees, shrubs, etc. located within them.

