

HERITAGE PERMIT

Application Form

Submit form to Heritage Planning staff. Please use ink or complete fillable PDF. The completeness of the application is to be determined by staff. A notice of receipt will be provided to the applicant upon the submission of a complete application.

Policy Planning & Heritage
Planning Services Department
Town of Oakville

A – Property and Applicant Information

Property Address: 415 TRAFALGAR ROAD, OAKVILLE, ON, L6J 3H8

Owner Contact Information:

Agent Contact Information (if applicable):

Name:

Company Name:

Address & Postal Code:

Phone:

E-mail:

B – Heritage Permit Application Summary

☒ Alterations to Building ☐ New Construction ☒ Landscaping ☒ Demolition

Clearly describe the changes you are undertaking to alter the property (attach additional page(s) if needed):

1. Demolition of existing 12 ft addition & existing detached garage

2. Construction of 24 ft addition to the rear of original home, including basement (see attached drawings)

3. Construction of new detached garage (see attached drawings)

4. Re-pave existing driveway and turnaround

5. Remove some existing fencing; replace with new fence or landscaping

6.

C – Review of Heritage Guidelines

Explain the reasons for undertaking the alterations and describe how the proposal is consistent with the Part IV individual designating by-law, the Part V District Plan or the CHL Conservation Plan:

We love our neighbourhood and want to stay in it. However, we need to expand the size of our home to accommodate our growing family.

We have designed the renovated home to be within zoning (no variances required) and to comply with Heritage guidelines, including buildings materials, design, size, etc. We also consulted with Heritage Staff throughout the design process of the renovation; our plans have been reviewed and are supported by Heritage Staff.

D – Other Required Approvals

Please state if the proposal in this heritage permit application will also require approvals for the following:

Building Permit	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO
Minor Variance *	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO
Site Plan	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO
Site Alteration	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO
Sign Permit	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO
Tree Removals	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO

*Prior to submission of your heritage permit application, any relevant minor variance application must have been submitted and confirmed on a Committee of Adjustment meeting agenda. The Committee of Adjustment must make a decision on the variance(s) before the heritage permit will be considered by the Heritage Oakville Advisory Committee.

If Yes, please describe the application for all required approvals listed above:

We will require a building permit for this project (house & garage) once we have received approval of the Heritage permit.

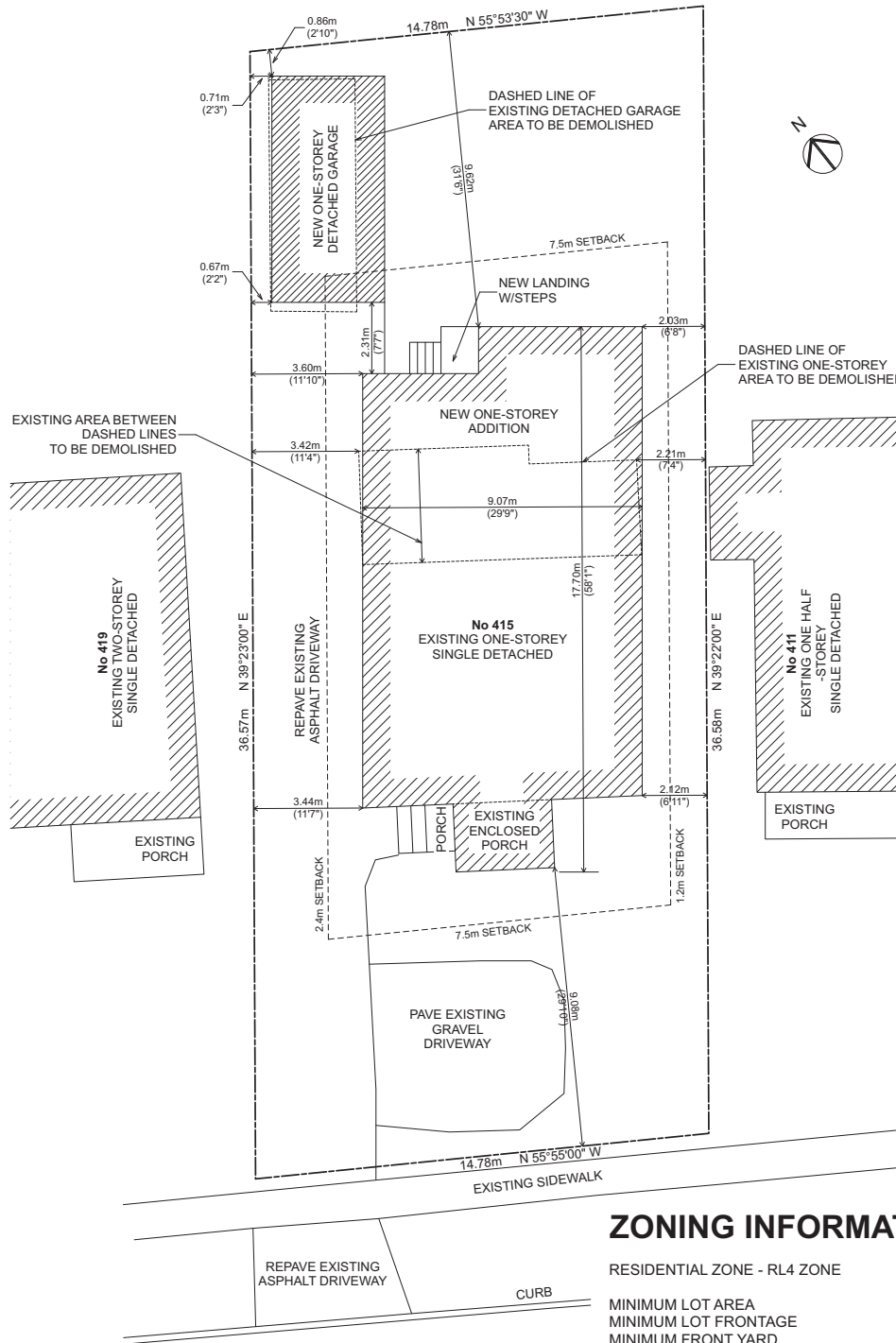
E – Product and Manufacturer Details (fill in all applicable information)

Item(s) to be changed	Indicate if material is <i>new</i> or <i>existing</i>	Indicate type of material	Indicate colour	Other product details
Cladding (Siding, brick, etc.)	New	Wood Siding	Grey	Final selections are to be determined; to be made in consultation with heritage staff
Roof	New	Asphalt Shingle	Grey/Black	Final selections are to be determined; to be made in consultation with heritage staff
Foundation Walls	New & Existing	Poured concrete & cinder block; portion to be covered with wood siding	Grey	Final selections are to be determined; to be made in consultation with heritage staff
Trim	New	Wood/Aluminum	White	Final selections are to be determined; to be made in consultation with heritage staff
Doors	New	Steel or fibreglass	White or wood grain	Final selections are to be determined; to be made in consultation with heritage staff
Windows	New & Existing	Aluminum Clad	White	Final selections are to be determined; to be made in consultation with heritage staff
Porch	New rear deck	Composite	Wood grain; natural look	Final selections are to be determined; to be made in consultation with heritage staff
Fencing	Existing	Existing - Wood	Wood stain	We intend to keep existing fencing in the rear yard and remove white picket fence in front
Landscaping	Existing	Re-pave asphalt driveway & turnaround; Grass & garden	Black asphalt; grass & garden	Final selections are to be determined; to be made in consultation with heritage staff
Other				









SITE PLAN

SCALE: 1:150

ZONING INFORMATION

RESIDENTIAL ZONE - RL4 ZONE

MINIMUM LOT AREA	: 511 m ²
MINIMUM LOT FRONTAGE	: 16.5 m
MINIMUM FRONT YARD	: 7.5 m
MINIMUM INTERIOR SIDE YARD	: 2.4m
MIN INTERIOR SY W/ATTACHED GARAGE	: 1.2 m
MINIMUM REAR YARD	: 7.5 m
MAXIMUM COVERAGE	: 35%
MAXIMUM HEIGHT	: 12 m

ACCESSORY STRUCTURE

MINIMUM SIDE YARD	: 0.6m
MAXIMUM HEIGHT	: 4m
MAXIMUM COVERAGE	: 42 m ² or 5%

LOT AREA	: 538.2 m ² (5793.3 sqft)
BUILDING AREA W/ADDITION	: 141.1 m ² (1519.3 sqft)
DETACHED GARAGE AREA	: 26.8 m ² (289.0 sqft)
LOT COVERAGE HOUSE	: 26.2%
LOT COVERAGE DETACHED GARAGE	: 4.95%
HEIGHT OF HOUSE	: 6.10 m (20'0")
HEIGHT OF GARAGE	: 3.98 m (13'0.5")

PROJECT NAME & ADDRESS:

EASTON ADDITION
415 TRAFALGAR ROAD
OAKVILLE, ONTARIO

PG TITLE: **SITE PLAN**

DESIGNS BY
SANTY

264 Welland Ave Unit 20 • St Catharines • L2R 2P8 • 905.680.6891
inspired@designsbysanty.com • www.designsbysanty.com

DRAWN BY:

SY

SCALE:

REV DATE: 2022-09-21

ISSUED FOR:

HERITAGE

DESIGNER BCIN No:

21034

FIRM BCIN No:

42520

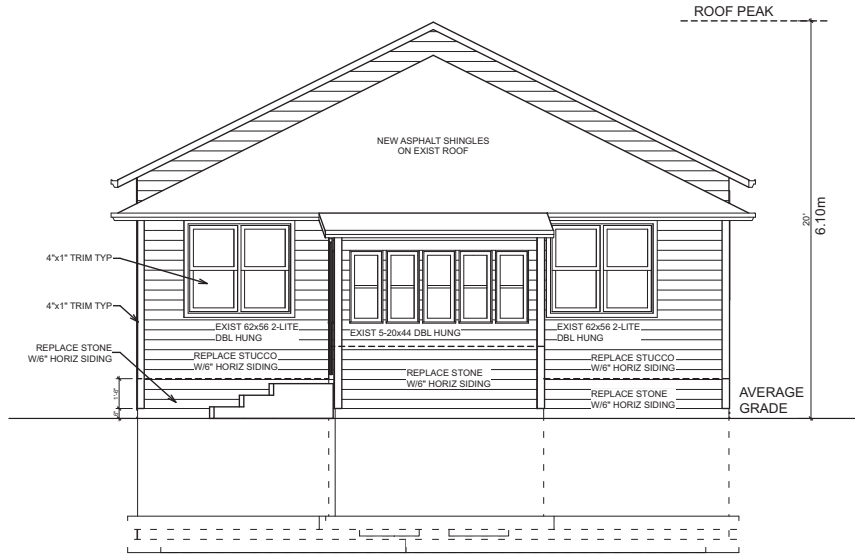
PROJ: 22-07-18

PG:

1 OF 7

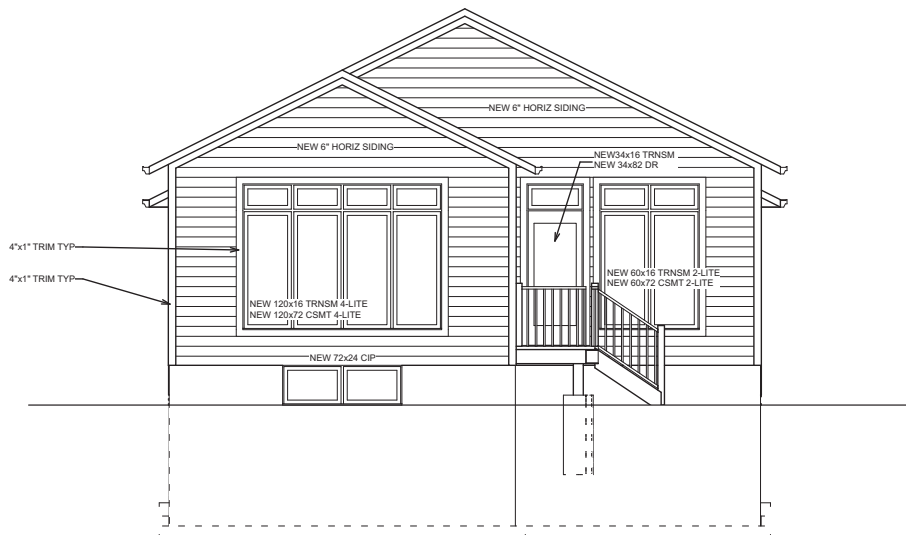
DESIGNER NAME: SANTY YEH

DESIGNER SIGNATURE:



HOUSE - SOUTH (FRONT)

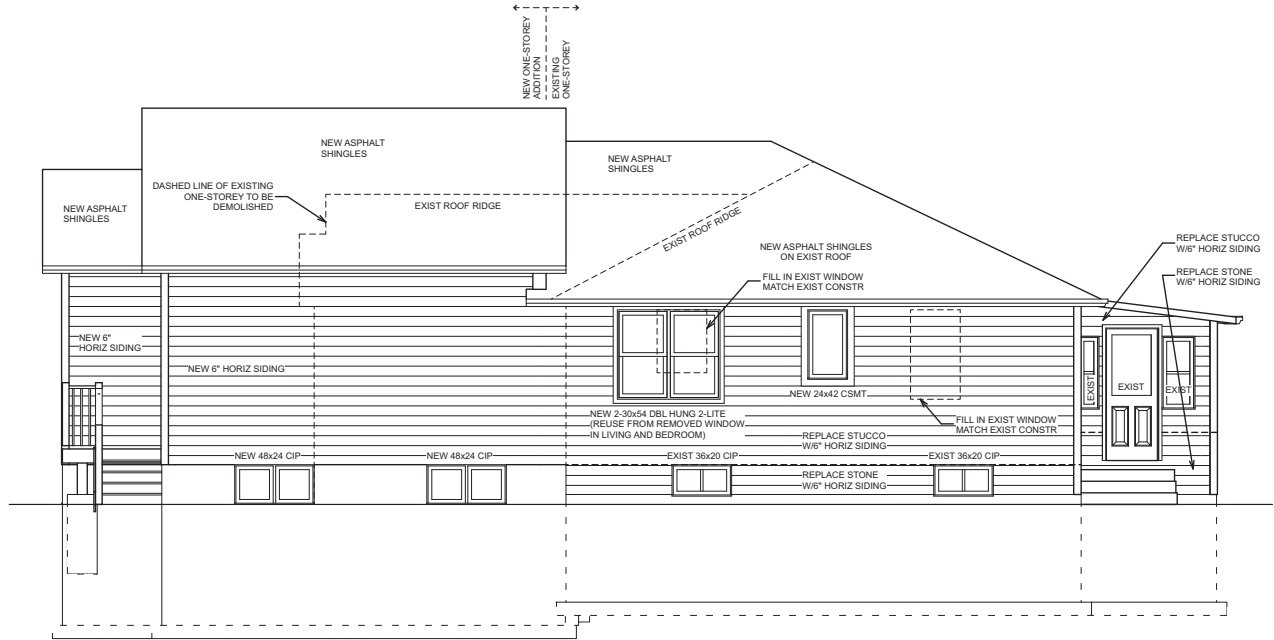
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HOUSE - NORTH (REAR)

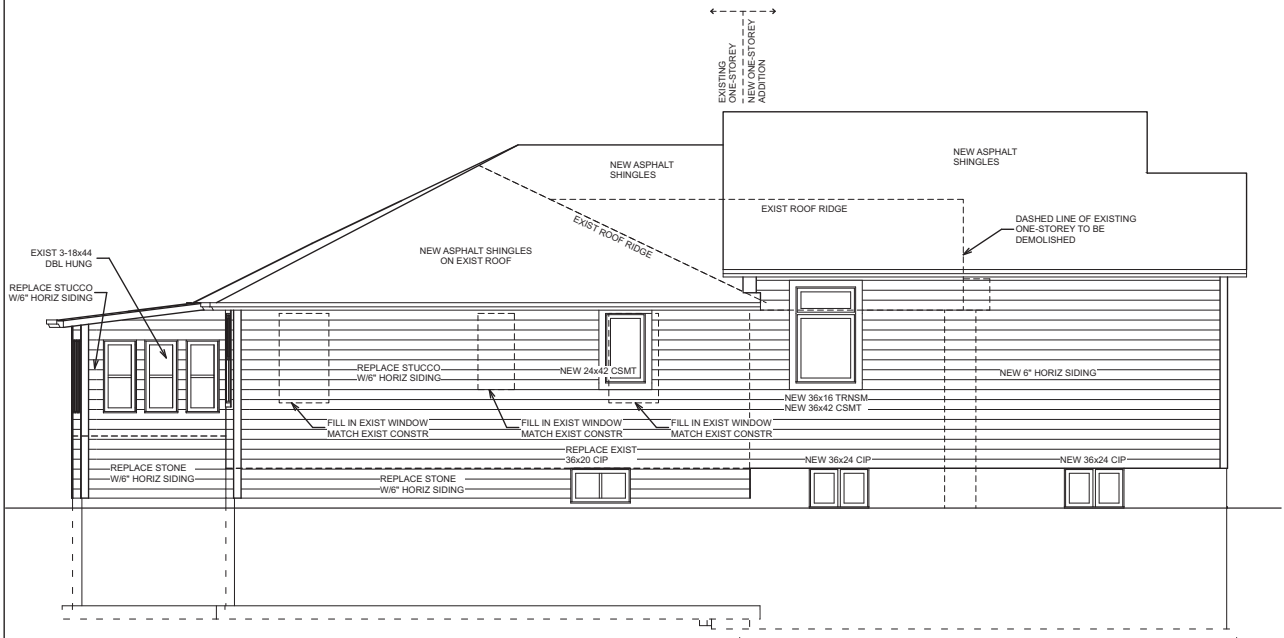
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<p>PROJECT NAME & ADDRESS:</p> <p>EASTON ADDITION</p> <p>415 TRAFALGAR ROAD</p> <p>OAKVILLE, ONTARIO</p> <p>PG TITLE: ELEVATIONS</p>	<p>DESIGNS BY</p> <p>SANTY</p> <p>264 Welland Ave Unit 20 • St Catharines • L2R 2P8 • 905.680.6891</p> <p>inspired@designsbysanty.com • www.designsbysanty.com</p>	<p>DRAWN BY: SY</p> <p>REV DATE: 2022-09-21</p> <p>DESIGNER NAME: SANTY YEH</p>	<p>SCALE:</p> <p>ISSUED FOR: HERITAGE</p> <p>DESIGNER SIGNATURE:</p>	<p>DESIGNER BCIN No: 21034</p> <p>FIRM BCIN No: 42520</p>	<p>PROJ: 22-07-18</p> <p>PG:</p> <p>2 OF 7</p>
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HOUSE - WEST (LEFT)

SCALE: 1:75

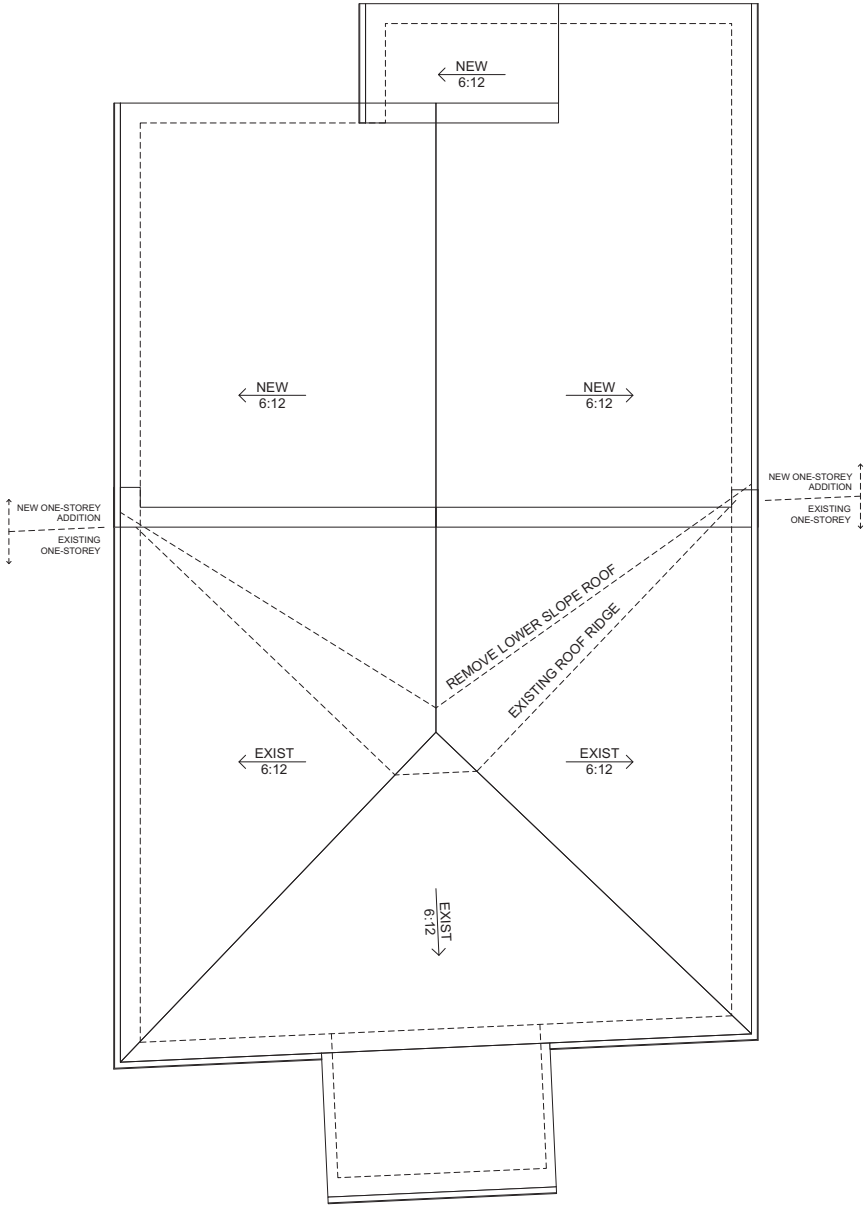


HOUSE - EAST (RIGHT)

SCALE: 1:75

PROJECT NAME & ADDRESS: EASTON ADDITION 415 TRAFALGAR ROAD OAKVILLE, ONTARIO	DESIGNS BY SANTY <small>264 Welland Ave Unit 20 • St Catharines • L2R 2P8 • 905.680.6891 inspired@designsbysanty.com • www.designsbysanty.com</small>	DESIGNER NAME: SANTY YEH DESIGNER SIGNATURE: _____ REV DATE: 2022-09-21 ISSUED FOR: HERITAGE	SCALE: DESIGNER BCIN No: 21034 FIRM BCIN No: 42520	PROJ: 22-07-18 PG: 3 OF 7
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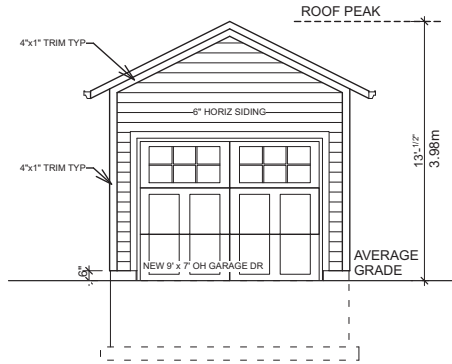
All contractors and/or trades shall verify all dimensions, notes, site and report any discrepancies prior to construction. This drawing not to be scaled, all drawings, prints and related documents are the property of the designer and must be returned upon request. Reproduction of drawings and related documents in part or in whole is strictly forbidden without written consent. Drawings to be for the purpose for which they are issued.



ROOF PLAN

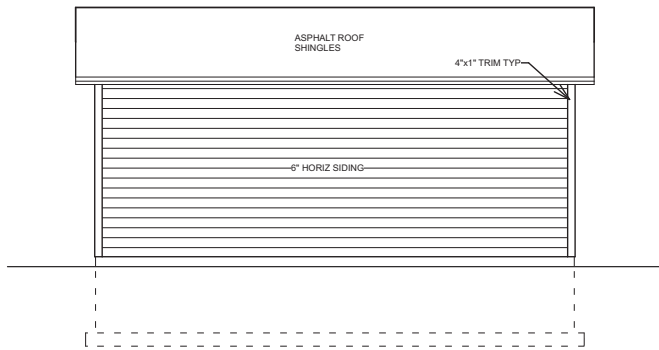
SCALE: 1:75

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PG TITLE: ROOF PLAN			REV DATE: 2022-09-21		ISSUED FOR: HERITAGE		FIRM BCIN No: 42520		PG: 4 OF 7	
			I review and take responsibility for the design work on behalf of a firm registered under subsection 3.2.4 of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories. DESIGNER NAME: SANTY YEH DESIGNER SIGNATURE: _____							



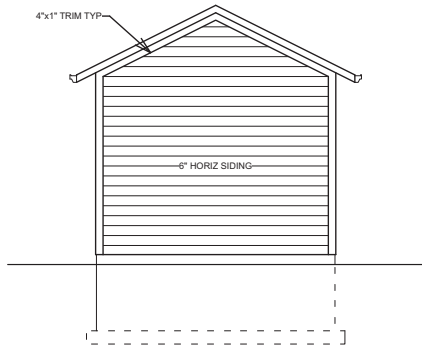
GARAGE - SOUTH (FRONT)

SCALE: 1:75



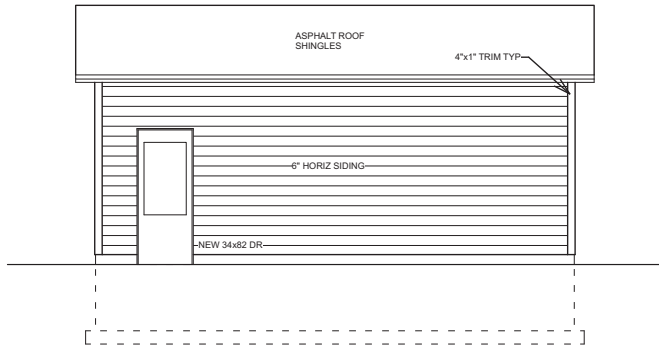
GARAGE - WEST (LEFT)

SCALE: 1:75



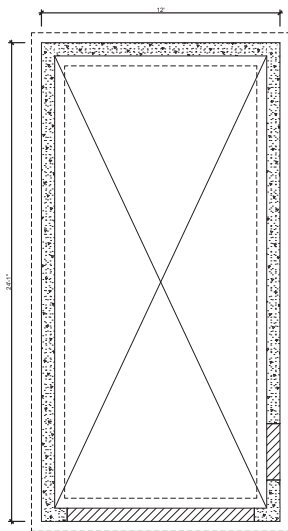
GARAGE - NORTH (REAR)

SCALE: 1:75



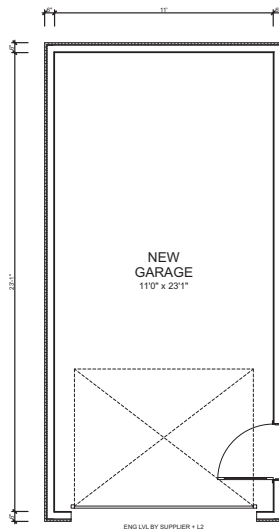
GARAGE - EAST (RIGHT)

SCALE: 1:75



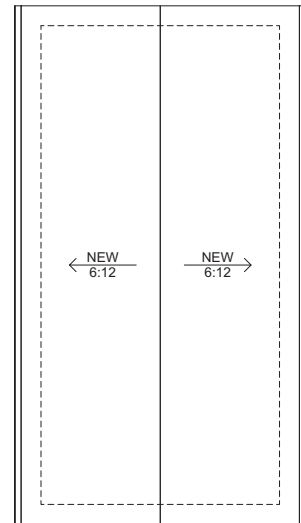
FOUNDATION PLAN

SCALE: 1:75



GROUND FL

SCALE: 1:75



ROOF PLAN

SCALE: 1:75

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PG TITLE: GARAGE			REV DATE: 2022-09-21	ISSUED FOR: HERITAGE	FIRM BCIN No: 42520	PG:
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