

Committee of Adjustment

Decision for: CAV A/100/2022

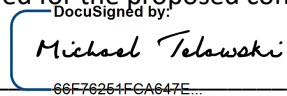
<u>Owner (s)</u>	<u>Agent</u>	<u>Location of Land</u>
MARY CEPO MILENKO CEPO 2068 WOODGATE DR OAKVILLE ON, L6M 4E1	N/A	2068 WOODGATE DR PLAN M807 LOT 53

This notice is to inform you that the request for variance made under Section 45(1) of the *Planning Act* has been **Approved** to permit the construction of an accessory building (cabana/shed) and pool on the subject property proposing the following variance:

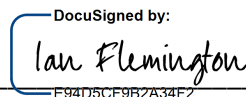
No.	Zoning By-law Regulation	Variance Request
1	Section 4.19.3 b) Notwithstanding any other provision of this By-law, no accessory structure, outdoor swimming pool, or hot tub shall be located any closer than 3.0 metres from the limit of the TransCanada Pipeline right-of-way.	To permit the pool to be located a minimum distance of 1.52m from the limit of the TransCanada Pipeline right-of-way and the <i>accessory building</i> to be located a minimum distance of 1.52m from the limit of the TransCanada Pipeline right-of-way.

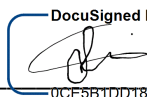
No written or oral submissions from the public were received. The Committee is of the opinion that the variance is considered minor in nature, desirable for the use of the land and in keeping with the general intent of the town's official plan – Livable Oakville Plan and the zoning by-law, subject to:

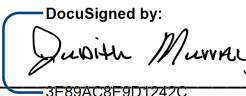
- That the accessory building (cabana/shed) and pool be built in general accordance with the submitted site plan and elevation drawings dated August 15, 2022; and
- That the approval expires two (2) years from the date of the decision if a building permit has not been issued for the proposed construction.

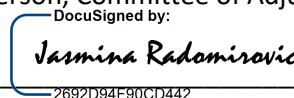
M. Telawski  DocuSigned by:
66F76254FCA647E...

 DocuSigned by:
8982ADBE1B294F9... J. Hardcastle

I. Flemington  DocuSigned by:
E94D5CF9B2A34F2...

 DocuSigned by:
0CE5B1DD188544A... S. Mikhail

J. Murray  DocuSigned by:
3E89AC8E9D1242C...

 DocuSigned by:
2692D94F90CD442... J. Radomirovic
Assistant Secretary-Treasurer

Dated at the meeting held on October 4, 2022.

Last date of appeal of decision is October 24, 2022.

NOTE: It is important that the sign(s) remain on the property until a **FINAL** decision has been rendered regarding your Application. **The sign shall be removed the day following the last date of appeal.**

This is a certified copy of the Committee of Adjustment final decision whereby no appeals filed.

Jasmina Radomirovic
Assistant Secretary-Treasurer