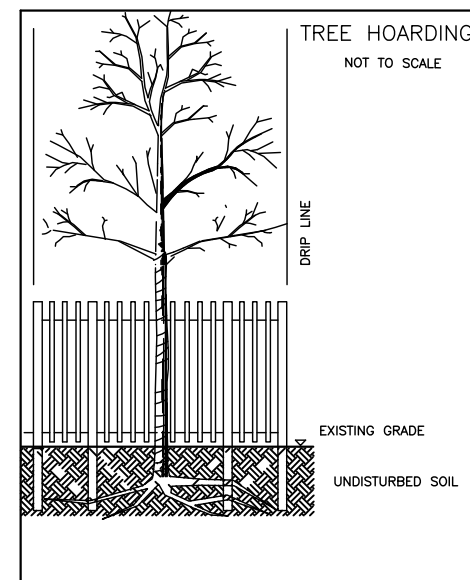


TREE PROTECTION NOTE

- ALL EXISTING TREES WHICH ARE TO REMAIN SHALL BE FULLY PROTECTED WITH HOARDING, ERRECTED BEYOND THEIR DRIP LINE PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT. GROUPS OF TREES AND OTHER EXISTING PLANTINGS TO BE PROTECTED, SHALL BE TREATED IN A LIKE MANNER, WITH THE HOARDING AROUND THE ENTIRE CUMULUS. AREAS WITHIN THE PROTECTIVE FENCING SHALL REMAIN UNDISTURBED AND SHALL NOT BE USED FOR THE STORAGE OF THE BUILDING MATERIAL AND EQUIPMENT.
- NO RIGGING CABLES SHALL BE WRAPPED AROUND OR INSTALLED IN TREES AND SURPLUS SOIL, EQUIPMENT, DEBRIS OR MATERIALS SHALL NOT BE PLACED OVER ROOT SYSTEMS OF THE TREES WITHIN THE PROTECTIVE FENCING. NO CONTAMINANTS WILL BE DUMPED OR FLUSHED WHERE FEEDER ROOTS OF TREES EXIST.
- THE DEVELOPER OR HIS/HER/ITS AGENTS SHALL TAKE EVERY PRECAUTION NECESSARY TO PREVENT DAMAGE TO TREES OR SHRUBS TO BE RETAINED.
- WHERE LIMBS OR PORTIONS OF TREES ARE REMOVED TO ACCOMMODATE CONSTRUCTION WORK, THEY WILL BE REMOVED CAREFULLY IN ACCORDANCE WITH ACCEPTED ARBORICULTURAL PRACTICE.
- WHERE ROOT SYSTEMS OF PROTECTED TREES ARE EXPOSED DIRECTLY TO, OR DAMAGED BY CONSTRUCTION WORK, THEY SHALL BE TRIMMED NEATLY AND THE AREA BACKFILLED WITH APPROPRIATE MATERIAL TO PREVENT DESICCATION.
- WHERE NECESSARY, THE TREES WILL BE GIVEN AN OVERALL PRUNING TO RESTORE THE BALANCE BETWEEN ROOTS AND TOP GROWTH OR TO RESTORE THE APPEARANCE OF THE TREES.
- IF GRADES AROUND TREES TO BE PROTECTED ARE LIKELY TO CHANGE, THE OWNER SHALL BE REQUIRED TO TAKE SUCH PRECAUTIONS AS DRY WELLING, RETAINING WALLS AND ROOT FEEDING TO THE SATISFACTION OF THE PLANNING AND BUILDING DEPARTMENT OF THE TOWN OF OAKVILLE.
- GRADE CHANGES WILL NOT OCCUR WITHIN THE TREE PROTECTION ZONE (TPZ)
- UTILITY ACCESS CORRIDOR MUST BE OUTSIDE THE TPZ
- AND/OR NO OPEN TRENCH METHOD OF CONSTRUCTION BELOW-GROUND AS WELL AS NO ABOVE-GROUND LINES WITHIN THE TPZ.



NOTE: TREE PROTECTION ZONES FOR THE PURPOSES OF THIS BY-LAW, THE TREE PROTECTION ZONE (TPZ) FOR ANY TREE SHALL BE DETERMINED AS FOLLOWS:

TRUNK DIAMETER (DBH)	MINIMUM PROTECTION DISTANCES REQUIRED
<10 CM	1.8 M
11-30 CM	2.4 M
31-50 CM	3.0 M
51-60 CM	3.6 M
61-70 CM	4.2 M
71-80 CM	4.8 M
81-90 CM	5.4 M
91-100+ CM	6.0 M

OPEN TRENCHING WILL NOT BE PERMITTED WITHIN TREE PRESERVATION AREA

PROPOSED CONNECTIONS TO BE HORIZONTALLY BORED ONLY NO OPEN TRENCHING

STANDARD DEVELOPMENT NOTES:

(A) TRANSPORTATION AND WORKS DEPARTMENT

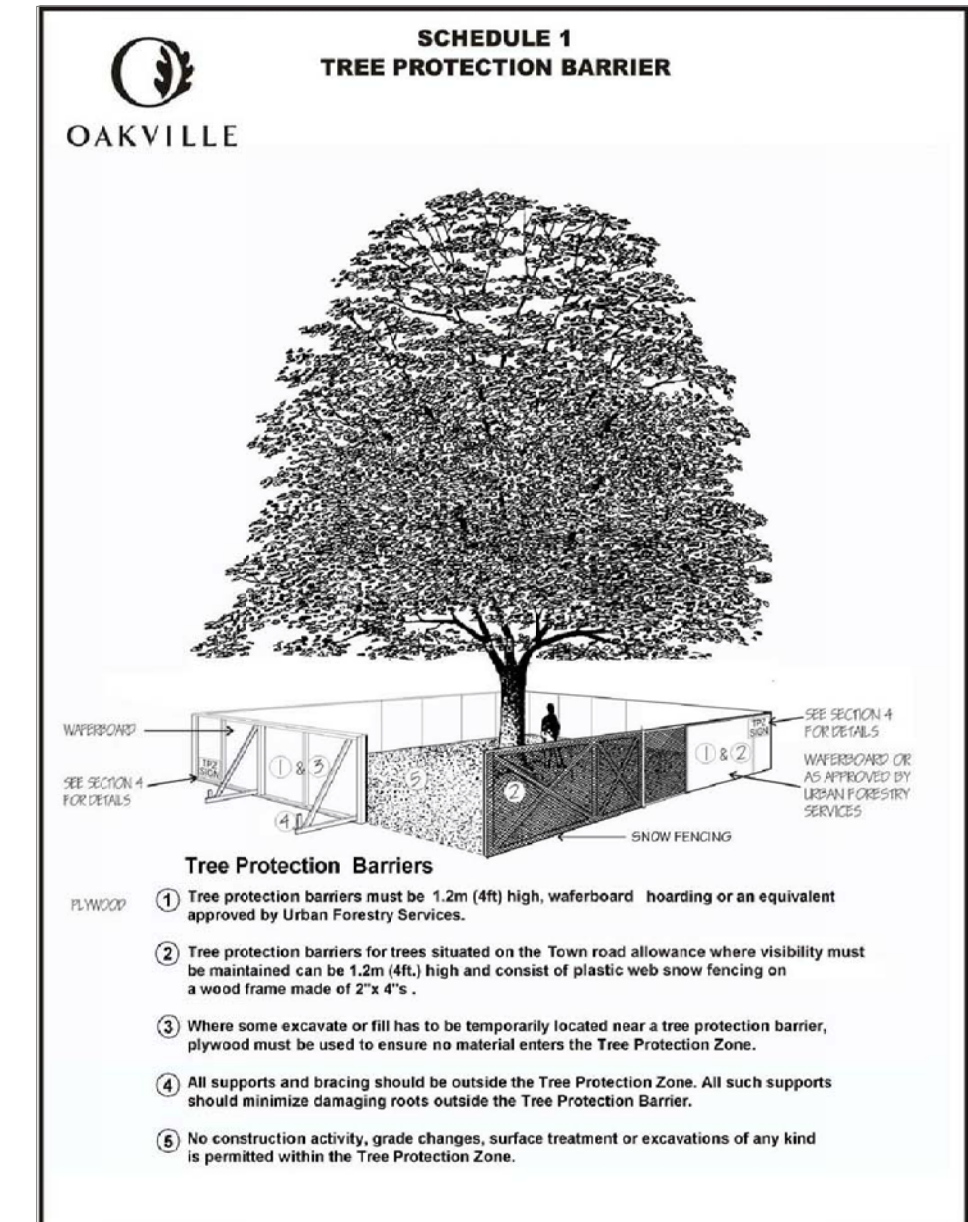
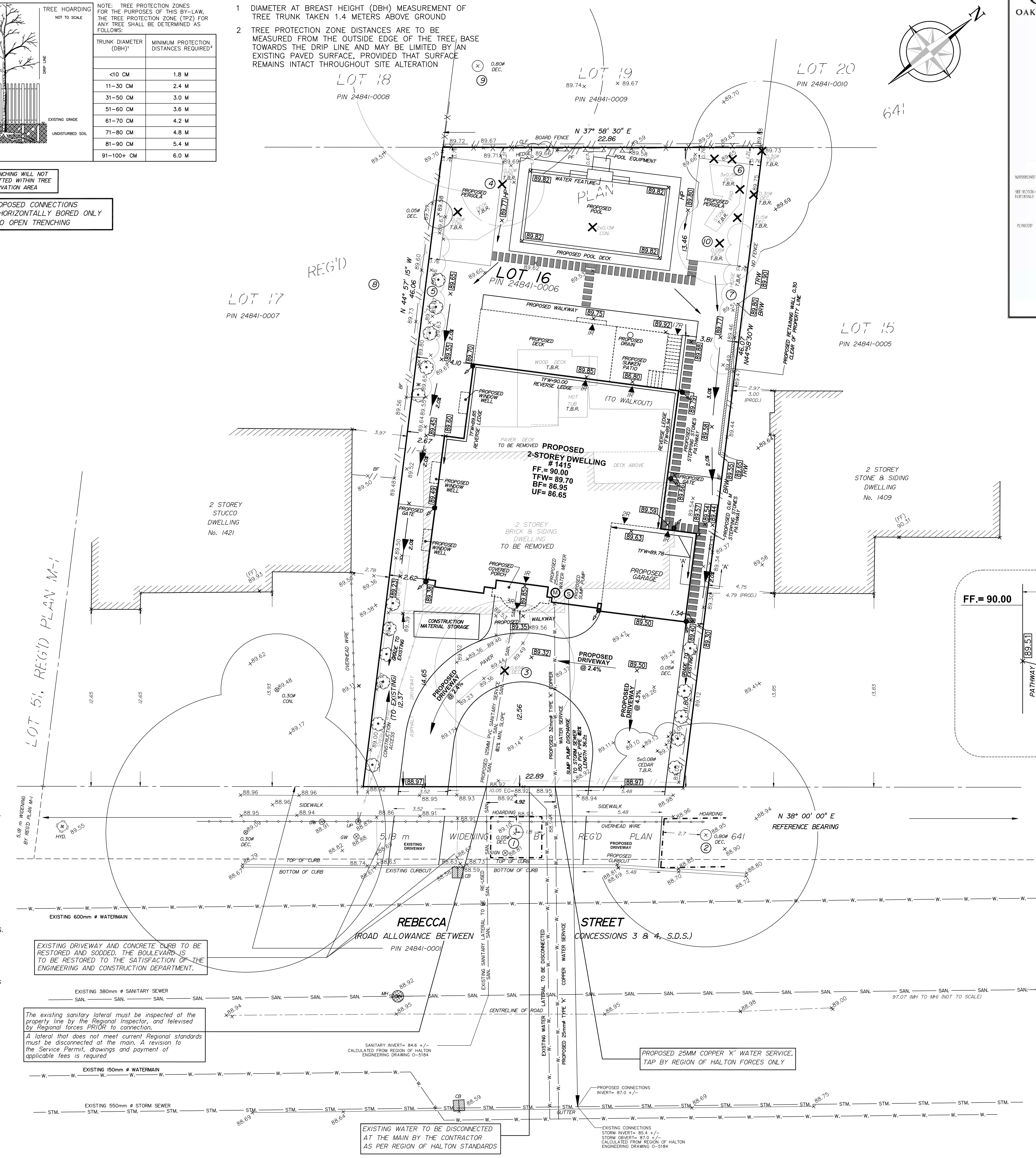
- MUNICIPAL BOULEVARD TO BE RESTORED TO THE SATISFACTION OF ENGINEERING CONSTRUCTION STAFF.
- RESTORE THE PUBLIC ROADWAY TO TOWN STANDARDS AND CLEARLY INDICATE ON THE ENGINEERING DRAWINGS ALL RESTORATION, TO THE SATISFACTION OF THE ENGINEERING & CONSTRUCTION DEPARTMENT.
- DRIVEWAYS ON THE MUNICIPAL RIGHT-OF-WAY SHALL BE PAVED BY THE APPLICANT.
- AT THE ENTRANCES TO THE SITE, THE MUNICIPAL CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY AND A CURB DEPRESSION WILL BE PROVIDED FOR THE ENTRANCE.
- THE TOPS OF ANY CURBS BORDERING THE DRIVEWAYS WITHIN THE MUNICIPAL BOULEVARD WILL BE FLUSH WITH THE MUNICIPAL SIDEWALK AND ROAD CURB.

(B) GENERAL NOTES

- THE EXISTING GRADES SHOWN ON THIS DRAWING ARE TO REMAIN UNCHANGED.
- THERE IS NO EASEMENTS REGISTERED ON TITLE AND AFFECTING THE SUBJECT LANDS.
- THE STOCKPILING OF CONSTRUCTION MATERIAL TO BE DONE AT THE FRONT OF THE PROPOSED DWELLING ON THE EXISTING DRIVEWAY.
- ALL ROOF DOWNSPOUTS FROM EAVESTROUGH TO DISCHARGE ONTO SURFACE AND THE RUNOFF DIRECTED TOWARDS THE REAR WHERE POSSIBLE AND TO THE ROAD.
- ROOF DOWNSPOUT IS LOCATED IN SUCH MANNER AS TO DIRECT DRAINAGE AWAY FROM WALKWAYS, DRIVEWAYS OR PATIO AREAS.
- MAINTAIN EXISTING GRADES IN AREA AROUND TREES TO BE PRESERVED.
- PRIOR TO CONSTRUCTION, CONTRACTOR TO VERIFY IN FIELD THE EXACT SIZE AND INVERTS OF THE EXISTING WATER SERVICE CONNECTION AND SEWER CONNECTIONS AND REPORT IT TO THE ENGINEER.
- ALL SURPLUS/EXCAVATED MATERIAL TO BE REMOVED FROM THE SITE.
- CONTRACTOR TO MATCH EXISTING GRADES ALONG PROPERTY LINES.
- ALL DISTURBED AREAS WITHIN EXISTING ROAD ALLOWANCE TO BE REINSTATED WITH TOPSOIL AND SOD TO THE SATISFACTION OF THE TOWN OF OAKVILLE.
- THE CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS, IF ANY DISCREPANCIES, THEY MUST BE REPORTED TO THE ENGINEER IMMEDIATELY PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES DURING CONSTRUCTION. GAS, HYDRO, TELEPHONE OR ANY OTHER UTILITIES THAT MAY EXIST ON THE SITE OR WITHIN THE STREETLINE MUST BE LOCATED BY ITS OWN UTILITIES AND VERIFIED PRIOR TO CONSTRUCTION.
- ALL CONNECTIONS SHALL BE INSTALLED AS PER REGION OF HALTON STANDARDS AND SPECIFICATIONS.
- BUILDER IS TO VERIFY TO THE ENGINEER THAT THE FINAL FOOTING ELEVATION AND TOP OF FOUNDATION WALL ELEVATION ARE IN CONFORMITY WITH THE BUILDING CODE AND THE CERTIFIED GRADING PLAN PRIOR TO PROCEEDING.
- OUTSIDE FINISHED GRADE TO BE A MINIMUM OF 150 mm BELOW BRICK/STONE VENEER ELEVATION.
- PRIOR TO ANY SODDING, THE BUILDER IS TO ENSURE TO THE SOIL CONSULTANT AND/OR THE ENGINEER THAT THE LOT HAS BEEN GRADED AND TOPSOILED AND SODDED COMPLETELY WITH A MINIMUM DEPTH OF 100 mm OF TOPSOIL AND N° 1 NURSERY SOD AND A MINIMUM DEPTH OF 150 mm CRUSHED STONE TO BE PROVIDED ON THE ENTIRE LENGTH OF EACH DRIVEWAY ON A FIRM SUBGRADE AND THE DRIVEWAY TO BE PAVED WITH A MINIMUM COMPACTED DEPTH OF 75 mm OF ASPHALT BETWEEN THE CURB AND THE GARAGE.
- NO SODDING ON ANY LOT IS PERMITTED UNTIL PRELIMINARY INSPECTION IS DONE BY THE ENGINEER AND THE BUILDER.
- DRIVEWAY GRADES SHOULD BE NOT LESS THAN 1.0% AND NOT GREATER THAN 7.0%.
- LAWN AND SWALES SHALL HAVE MINIMUM SLOPE OF 2.0% AND A MAXIMUM SLOPE OF 5.0% AND HAVE A MINIMUM DEPTH OF 150mm.
- WHERE GRADES IN EXCESS OF 5.0% ARE REQUIRED, THE MAXIMUM SLOPE SHALL BE 3:1. GRADE CHANGES IN EXCESS OF 1.0 m ARE TO BE ACCOMPLISHED BY USE OF A RETAINING WALL. RETAINING WALLS HIGHER THAN 0.6 m SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE.
- THE SERVICE CONNECTION TRENCH THROUGH THE TRAVELLED PORTION OF THE ROAD ALLOWANCE SHALL BE BACKFILLED WITH UNSHRINKABLE BACKFILL MATERIAL AS PER TOWN OF OAKVILLE STANDARDS UNLESS OTHERWISE SPECIFIED PRIOR APPROVAL FOR OTHER BACKFILL MATERIAL HAS BEEN OBTAIN.
- ALL WATERMANS AND WATER SERVICE MATERIALS AND CONSTRUCTION METHODS MUST CORRESPOND TO CURRENT REGION OF HALTON STANDARDS AND SPECIFICATIONS.
- WATERMANS AND/OR WATER SERVICES ARE TO HAVE A MINIMUM DEPTH OF 1.7 m WITH A MINIMUM HORIZONTAL SPACING OF 2.5 m FROM THEMSELVES AND OTHER SERVICES.
- SEDIMENT CONTROL FENCE TO BE INSTALLED AS PER THE TOWN OF OAKVILLE STANDARDS.
- ALL DAMAGED AND DISTURBED AREAS TO BE REINSTATED WITH TOPSOIL AND SOD.

(C) UTILITIES CONNECTION

- SANITARY:** (A) MUNICIPAL SANITARY SEWER AVAILABLE ON THE SITE.
- WATER:** (A) SERVICE CONNECTIONS TO BE 25mm DIA. TYPE 'K' SOFT COPPER TUBING UNLESS OTHERWISE NOTED AS PER REGION OF HALTON STANDARDS. (B) PROPOSED 32mm WATER SERVICE ON PRIVATE SIDE.
- STORM:** (A) A SUMP PUMP WILL BE REQUIRED TO DRAIN THE BASEMENT FACILITIES.



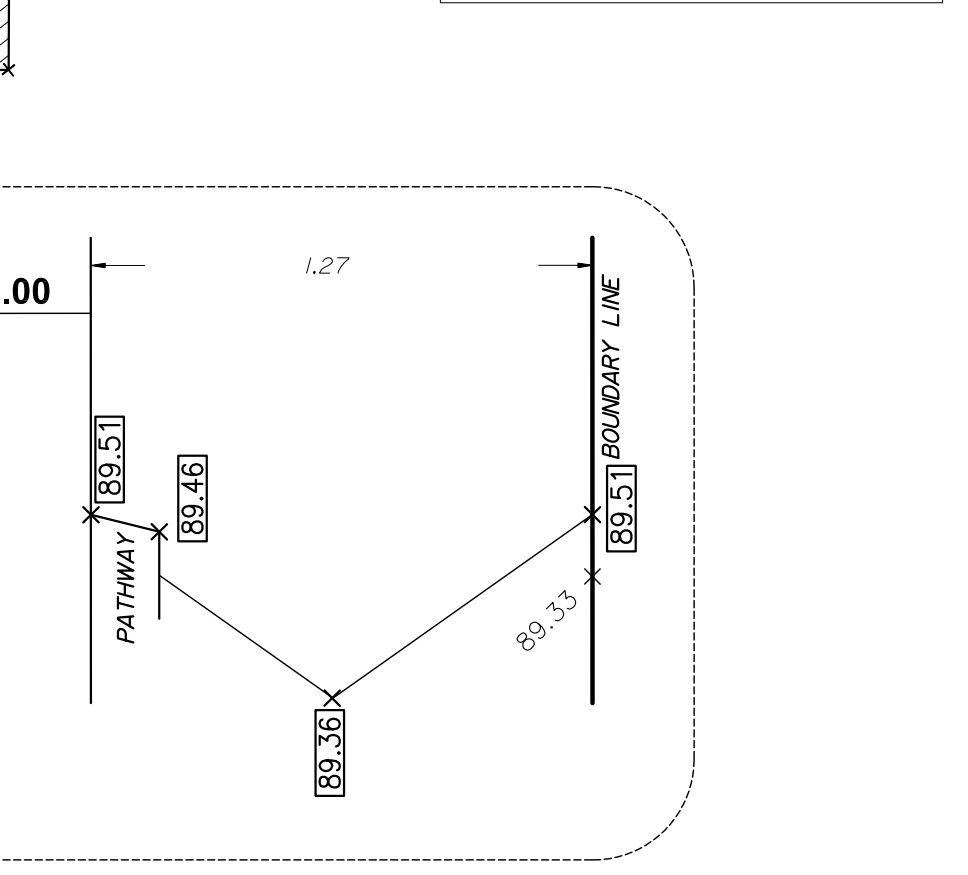
- Tree protection barriers for trees situated on the Town road allowance where visibility must be maintained can be 1.2m (4ft) high and consist of plastic web snow fencing on a wood frame inside of 2%.
- Where some excavate or fill has to be temporarily located near a tree protection barrier, plywood must be used to ensure no material enters the Tree Protection Zone.
- All supports and bracing should be outside the Tree Protection Zone. All such supports should maintain adequate clearances outside the Tree Protection Barrier.
- No construction activity, grade change, surface treatment or excavations of any kind is permitted within the Tree Protection Zone.

REGIONAL APPROVAL
REGION DESIGN OF WATER &/OR WASTEWATER SERVICES APPROVED SUBJECT TO DETAIL CONSTRUCTION CONFORMING TO HALTON REGION STANDARDS & SPECIFICATIONS & LOCATION APPROVAL FROM AREA MUNICIPALITY.

SIGNED: INFRASTRUCTURE PLANNING & POLICY

NOTE
EAVES DO NOT PROJECT MORE THAN 0.60M INTO PROPOSED SETBACKS.

All NEW water and sanitary main taps are to be performed by Region of Halton forces only



NOTE
DOWN SPOUT DISCHARGE LOCATIONS ARE TO BE DISCHARGED ONTO SPLASH PADS.

ANY WATER OR SANITARY SERVICE THAT DOES NOT MEET CURRENT REGIONAL STANDARDS MUST BE DISCONNECTED AT THE MAIN, AND A NEW SERVICE CONSTRUCTED AT THE SITE DEVELOPERS EXPENSE.

NOTE
Sewer contractor to verify in the field and provide 2.5m (MIN.) separation between the Water and Sanitary Lines.
Contractor to use existing services.

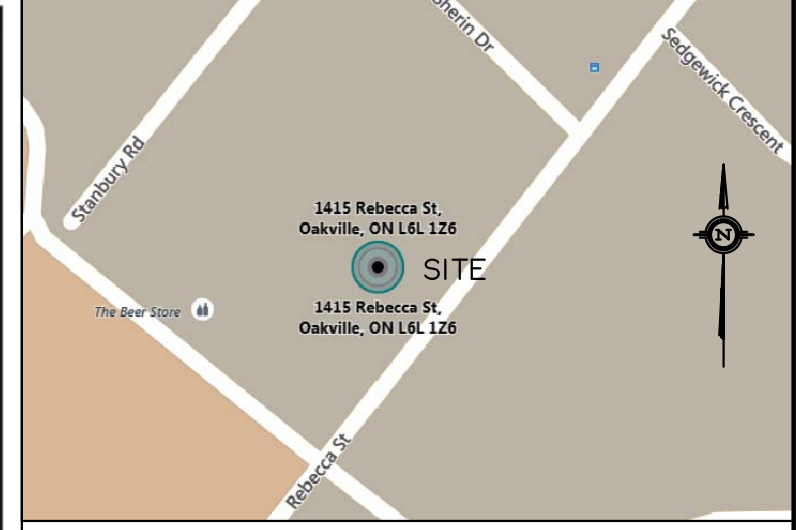
NOTE
If the existing sanitary service lateral is used, it must be inspected at the property line by the Regional Inspector, and televised by Regional forces PRIOR to connection

NOTE
THIS LOT REQUIRES A SUMP PUMP FOR THE FOUNDATION DRAINS AND SHALL DISCHARGE TO THE STORM SEWER, COMPLETE WITH BACKFLOW PREVENTER.

NOTE
Service sizes, inverts and types are derived from the Region of Halton Engineering Department Dwg. No. 0-5184
The contractor must verify inverts.

J. H. Gelbloom Surveying Limited
Ontario Land Surveyor
476 Morden Road, Unit 102, Oakville, Ont. L6K 3W4
office@jhsurveying.ca
Phone:(905) 338-8210 Fax:(905) 338-9446

Project: 21-103
Checked By: A.M.
Drawn By: Party Chief: J.W.
DATE: JULY 25, 2022



SITE, SERVICING & GRADING PLAN

LOT 16 REGISTERED PLAN 641 TOWN OF OAKVILLE REGIONAL MUNICIPALITY OF HALTON

SCALE 1 : 150
J.H. Gelbloom Surveying Limited
Ontario Land Surveyor
2022

METRIC
Distances shown on this plan are in metres and can be converted to feet dividing by 0.3048.

ITEM DESCRIPTION	PERMITTED (METERS)	ACTUAL OF PROPOSED (METERS)
OAKVILLE BY-LAW	204-014	
ZONING DESIGNATION	RL-2-O	
LOT AREA (MINIMUM)	636.00 SQ.M.	1045.42 SQ.M.
LOT FRONTAGE (MINIMUM)	22.50	22.89
LOT COVERAGE (MAXIMUM)	26.76 SQ.M.	266.75 SQ.M.*
LOT COVERAGE % (MAXIMUM)	25%	25.43%*
RFA (MAXIMUM)	386.61 SQ.M.	430.57 SQ.M.*
RFA/LOT RATIO (MAXIMUM)	37%	41.93%*
FRONT YARD SETBACK (MINIMUM)	11.37	11.80
SIDE YARD SETBACK (MINIMUM)	1.20 & 2.40	1.34 & 2.62
REAR YARD SETBACK (MINIMUM)	7.50	13.46
OVERALL HEIGHT	9.00	9.00

LEGEND

CLF	Chain Link Fence	RWL	Rain Water Leader
BF	Board Fence	EMB	Embankment
TFW	Top of Foundation Wall	TT	Tree to be Removed
MH	Maintenance Hole	TR	Tree to be Replaced
FF	Finished Floor	TR16	16 REPLACEMENT TREES 150 MM HEIGHT CONIFEROUS
UP	Utility Pole		
UT	Deciduous Tree		
CON	Coniferous Tree		
D	Diameter		
TC	Top of Curb		
BOS	Bottom of Slope		
ENT	Entrance		
HP	High Point		
TRW	Top of Retaining Wall		
BRW	Bottom of Retaining Wall		
ARB	Arborist's Tree Number		
INV	Invert Elevation		
EG	Established Grade		
92.50	Proposed Elevation		
T.B.R.	To Be Removed		
TOS	Top of Slope		
BOS	Bottom of Slope		
CSP	Corrugated Steel Pipe		
WV	Water Valve		
HO	Hoarding		
92.5	Existing Elevation		

DESP FILE No. 21-117012
SITE ADDRESS
1415 REBECCA STREET
OAKVILLE, ONTARIO

KHALID J. TOMA & HEDEEL SALMAN
5256 ADOLPHE COURT
MISSISSAUGA, ONTARIO

No.	Date	Description	By
1	JUNE 9, 2021	SITE & GRADING	M.A.
2	JULY 22, 2021	TOWN COMMENTS	M.A.
3	AUG. 27, 2021	TOWN COMMENTS	A.M.
4	JULY 7, 2022	REVISED BUILDING	M.K.
5	JULY 22, 2022	REVISED BUILDING LOCATION	M.K.

REVISIONS

INFORMATION TAKEN FROM A SURVEY PREPARED BY
J.H. GELBLOOM SURVEYING LTD., O.L.S.,
DATED : APRIL 23, 2021

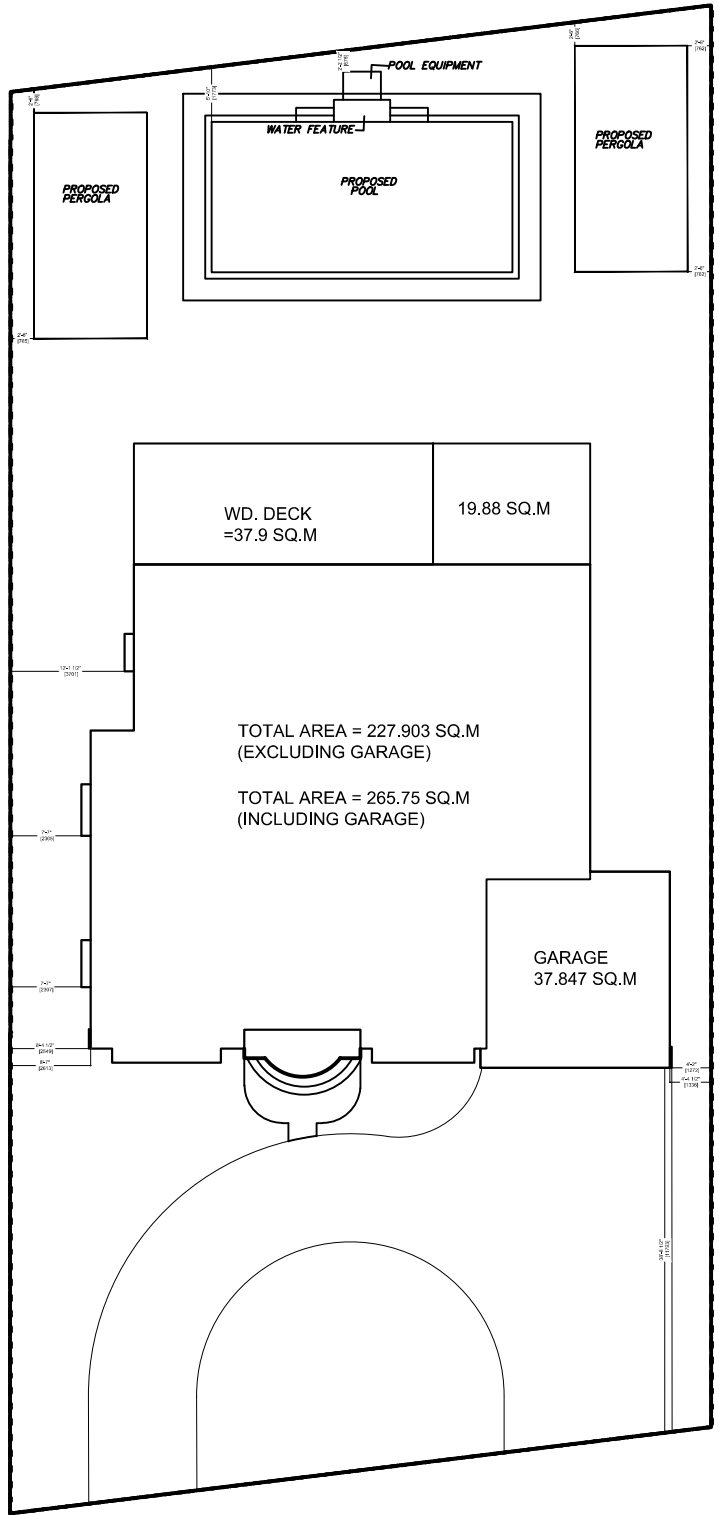
BENCHMARK
Elevations are Referred to the Town of Oakville Benchmark No. 36 having an Elevation of 90.284 m.

SURVEYOR'S CERTIFICATE
I HAVE REVIEWED THE PLANS FOR THE CONSTRUCTION OF A TWO STOREY DWELLING LOCATED AT 1415 REBECCA STREET AND HAVE PREPARED THIS PLAN TO INDICATE THE COMPATIBILITY OF THE PROPOSAL WITH ALL ADJACENT PROPERTIES AND EXISTING MUNICIPAL SERVICES. IT IS MY BELIEF THAT ADHERENCE TO THE PROPOSED ELEVATIONS AND GRADIENTS SHOWN WILL PRODUCE ADEQUATE SURFACE DRAINAGE AND PROPER FACILITY OF THE MUNICIPAL SERVICES WITHOUT DETRIMENTAL EFFECT TO THE EXISTING DRAINAGE PATTERNS OR ADJACENT PROPERTIES.

I HEREBY CERTIFY THAT THE DIMENSIONS AND SET-BACKS ARE CORRECTLY SHOWN.

JULY 25, 2022
DATE

Andrew Musak, O.L.S.
2030



ARCHISYSTEM INC.
CONSULTING ENGINEERS
 CERTIFICATE OF PRACTICE N 3963

64 EASTERN AVENUE UNIT A19
 BRANTFORD, ON N3A 3W9
 TEL: 519-751-2953 CELL: 541-295-2953
 WWW.ARCHISYSTEM.COM
 E-MAIL: ARCHISYSTEM@GMAIL.COM

PROPOSED CUSTOM HOUSE
 DESIGN AT 1415 REBECCA ST,
 OAKVILLE, ON

Owner:
 K.J. TOMA

Sheet title: SITE PLAN						
Scale: AS NOTED	Date: 10-07-2022	Project No:				
Revisions		D'wg. no.				
<table border="1"> <tr> <td>△</td> <td></td> </tr> <tr> <td>△</td> <td></td> </tr> </table>		△		△		A1.0
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△						
REV. NO. - MV R2						



ARTIST ILLUSTRATION

PROJECT ARCHITECTS:

ARCHITECTS



THE DRAWINGS SHALL NOT BE SCALE.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND TO COMPLY WITH ALL APPLICABLE REGULATIONS AND TO OBTAIN THE NECESSARY APPROVALS FROM THE APPLICABLE AGENCIES.
 ALL DIMENSIONS AND MATERIALS TO BE REPORTED IN ALL DRAWINGS TO THE PROJECT ARCHITECT AND TO BE APPROVED BY THE PROJECT ARCHITECT.
 THE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS AND MATERIALS SHOWN ON THESE DRAWINGS WITHOUT THE ARCHITECT'S PERMISSION.
 ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED.
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OWNER / CLIENT:

K.J. TOMA

Engineers:

BUILDING PERMIT ISSUED FOR: DATE



PROJECT:
CUSTOM DESIGN HOUSE
 1415 REBECCA ST.
 OAKVILLE, ON.

DRAWING TITLE:
BUILDING PERMIT APPLICATION

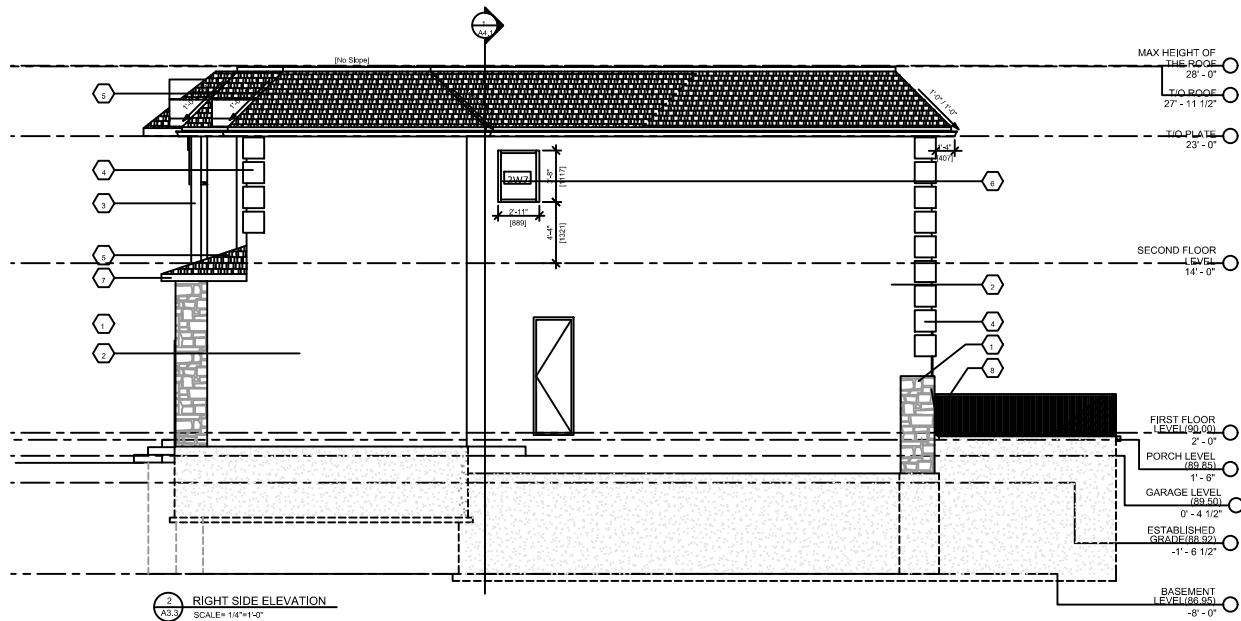
SHEET TITLE:
ARTIST ILLUSTRATION

JOB #:

SCALE: AS NOTED

SHEET NO: **A1.0**

REV NO: **MV R2**



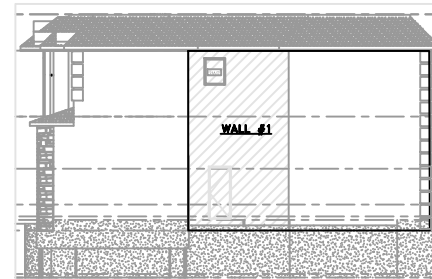
RIGHT SIDE ELEVATION
SCALE: 1/8"=1'-0"

CALCULATION OF UNPROTECTED OPENINGS ORC 2012 (9.10.14.4)

WALL #1
 TOTAL EXPOSED WALL AREA =39.95 SQ.M
 U/P WINDOW AREA =8.89 SQ.M
 LIMITING DISTANCE =4 M
 %AGE ALLOWED @1.5M*100 SQ.M =32% = 12.31 SQ.M
 %AGE OF TOTAL UNPROTECTED WINDOWS PROPOSED =23.10% =8.89 SQ.M

WALL #2
 TOTAL EXPOSED WALL AREA =36.71 SQ.M
 U/P WINDOW AREA =4.10 SQ.M
 LIMITING DISTANCE =3.01 M
 %AGE ALLOWED @1.5M*100 SQ.M =20% = 7.34 SQ.M
 %AGE OF TOTAL UNPROTECTED WINDOWS PROPOSED =11.17% =4.10 SQ.M

WALL #3
 TOTAL EXPOSED WALL AREA =40.32 SQ.M
 U/P WINDOW AREA =1.72 SQ.M
 LIMITING DISTANCE =2.55 M
 %AGE ALLOWED @1.5M*100 SQ.M =15% = 6.04 SQ.M
 %AGE OF TOTAL UNPROTECTED WINDOWS PROPOSED =4.26% =1.72 SQ.M



CALCULATION OF UNPROTECTED OPENINGS ORC 2012 (9.10.14.4)

TOTAL EXPOSED WALL AREA =31.27 SQ.M
 U/P WINDOW AREA =1 SQ.M
 LIMITING DISTANCE =5.35 M
 %AGE ALLOWED @1.5M*100 SQ.M =32% = 1.02 SQ.M
 %AGE OF TOTAL UNPROTECTED WINDOWS PROPOSED =3.2% =1 SQ.M

KEY LEGENDS FOR ELEVATION	
1	CULTURED STONE COLOUR TBD
2	STUCCO COLOUR T.B.D.
3	STUCCO FINISH COLUMN AS ELEVATIONAL FEATURE
4	CULTURED STONE QUOINS COLOUR TBD
5	ASHPHAL T SHINGLES COLOUR TBD
6	VINYL FRAMED DBL.GLAZED WINDOW
7	CANAMOLD STYROFOAM MOULDING W/STUCCO FINISH
8	3" HIGH GUARD RAIL

PROJECT ARCHITECTS:

ARCHITECTS



THIS DRAWING SHALL NOT BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. ANY REPRODUCTION OF THIS DRAWING WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT IS PROHIBITED. ALL RIGHTS RESERVED.

OWNER / CLIENT:
K.J. TOMA

Engineers:

BUILDING PERMIT ISSUED FOR: 31.27.2022
DATE FOR: _____

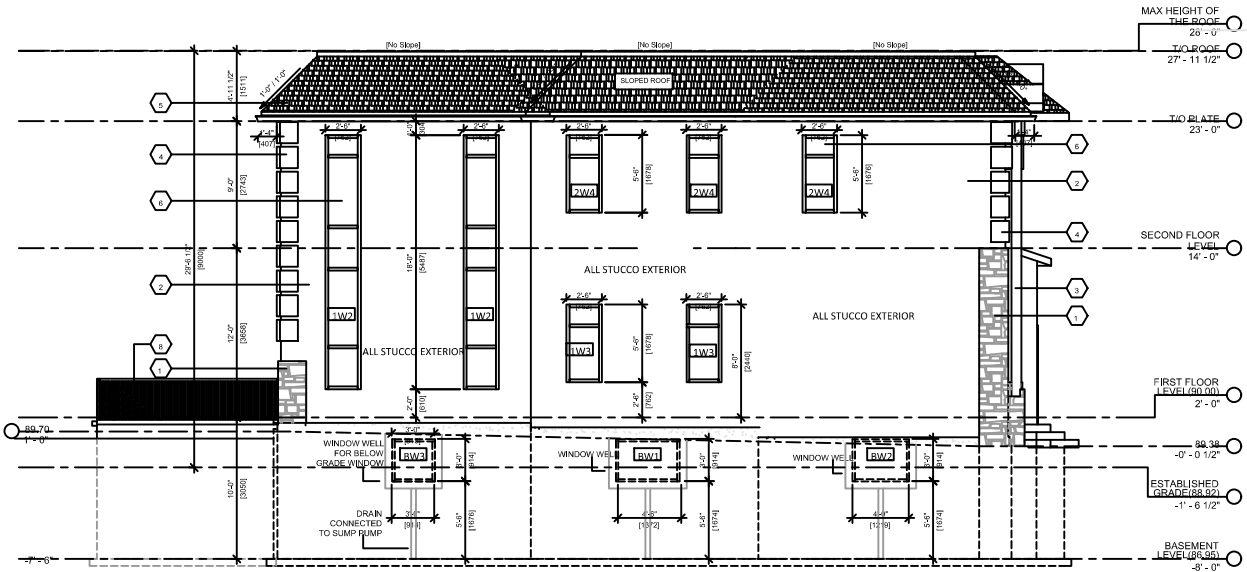


PROJECT:
CUSTOM DESIGN HOUSE
1415 REBECCA ST.
OAKVILLE, ON.

DRAWING TITLE:
BUILDING PERMIT APPLICATION

SHEET TITLE:
ELEVATIONS

JOB #:
SCALE: AS NOTED
SHEET NO: **A3.3**
REV NO: **MV R2**



1 LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0"

CALCULATION OF UNPROTECTED OPENINGS OBC 2012 (9.10.14.4)

WALL #1

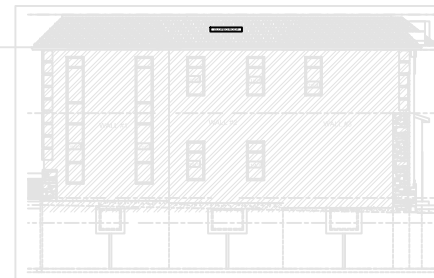
TOTAL EXPOSED WALL AREA	=39.95 SQ.M
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%AGE OF TOTAL UNPROTECTED WINDOWS PROPOSED	=23.10% =8.89 SQ.M

WALL #2

TOTAL EXPOSED WALL AREA	=36.71 SQ.M
U/P WINDOW AREA	=4.10 SQ.M
LIMITING DISTANCE	=3.01 M
%AGE ALLOWED @1.5M*100 SQ.M	=20% = 7.34 SQ.M
%AGE OF TOTAL UNPROTECTED WINDOWS PROPOSED	=11.17% =4.10 SQ.M

WALL #3

TOTAL EXPOSED WALL AREA	=40.32 SQ.M
U/P WINDOW AREA	=1.72 SQ.M
LIMITING DISTANCE	=2.55 M
%AGE ALLOWED @1.5M*100 SQ.M	=15% = 6.04 SQ.M
%AGE OF TOTAL UNPROTECTED WINDOWS PROPOSED	=4.26% =1.72 SQ.M



CALCULATION OF UNPROTECTED OPENINGS OBC 2012 (9.10.14.4)

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8	8" HIGH GUARD RAIL

PROJECT ARCHITECTS:
ARCHITECTS
K.J. TOMA ARCHITECTS

THE DRAWINGS SHALL NOT BE SCALE
AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY
LEVELS REFER TO CONSTRUCTION WORK. ALL WORK SHALL BE TO THE
CONTRACTOR'S RISK. THE ARCHITECT'S LIABILITY IS LIMITED TO THE
DESIGN AND CONSTRUCTION OF THE WORK SHOWN ON THESE DRAWINGS.
ALL OTHERS SHALL BE RESPONSIBLE FOR ANY OTHER WORK NOT SHOWN ON THESE
DRAWINGS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY OTHER WORK
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RESPONSIBLE FOR ANY OTHER WORK NOT SHOWN ON THESE DRAWINGS.

OWNER / CLIENT:
K.J. TOMA

Engineers:

BUILDING PERMIT: 31.21.2022
ISSUED FOR: DATE



PROJECT:
CUSTOM DESIGN HOUSE
1415 REBECCA ST.
OAKVILLE, ON.

DRAWING TITLE:
BUILDING PERMIT APPLICATION

SHEET TITLE:
ELEVATIONS

JOB #:
SCALE: AS NOTED
SHEET NO.: **A3.2**
REV NO.: **MV R2**

