



**SURVEYOR'S REAL PROPERTY REPORT - PART 1**  
 PLAN OF SURVEY AND TOPOGRAPHIC OF  
**LOT 20 & PART OF LOT 19**  
**REGISTERED PLAN 995**  
**TOWN OF OAKVILLE**  
 REGIONAL MUNICIPALITY OF HALTON

0 5 10 15 20 Metres  
 SCALE 1 : 200  
 J. H. Gelbloom Surveying Limited  
 Ontario Land Surveyor 2021

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**SURVEYOR'S REAL PROPERTY REPORT - PART 2**  
**REGISTERED EASEMENTS AND/OR RIGHT-OF-WAY**  
 - Subject to a 1.22m wide Easement in Favour of the Bell Telephone Company of Canada as in Inst. No. 115962

**NOTABLES**  
 Note the Location of the Fences around the Subject Property.  
 Note the Location of the Shed along the Easterly Limit of the Subject Property.

**LEGEND**

- Survey Monument Found
- Survey Monument Set
- SIB Standard Iron Bar
- IB Iron Bar
- IP Iron Pipe
- (OU) Origin Unknown
- (623) Tarasick, McMillan Ltd., O.L.S.
- P1 Registered Plan 995
- P2 Plan of Survey by Kenneth H. McConnell O.L.S., dated July 27, 1961
- P3 Plan of Survey by Kenneth H. McConnell O.L.S., dated August 9, 1961
- P4 Plan of Survey by Tarasick, McMillan Ltd., O.L.S., dated September 30, 1986
- P5 Plan of Survey by Sewell & Sewell O.L.S., dated November 21, 1960
- DEC. Deciduous
- CON. Coniferous
- EG Established Grade
- CLF Chain Link Fence
- PRF Past Rail Fence
- BF Board Fence
- MH Maintenance Hole
- FF Finished Floor
- WV Water Valve
- GW Guy Wire
- UP Utility Pole
- N Denotes North
- S Denotes South
- E Denotes East
- W Denotes West

**BENCHMARK**  
 Elevations are Referred to the Town of Oakville Benchmark No. 236, having an Elevation of 159.311 m. (CGVD 1928.(1978) adjustment)

**NOTE**  
 This REPORT can be updated by this office, however NO ADDITIONAL PRINTS of this ORIGINAL REPORT will be issued, subsequent to the DATE OF CERTIFICATION.  
 All building ties are from the foundation and are perpendicular to property lines, unless otherwise noted.

This REPORT was prepared for Renato Meleca and the undersigned accepts no responsibility for use by other parties.

**NOTE**  
 Distances shown on this plan are in metres and can be converted to feet by dividing by 0.3048.

**BEARING NOTE**  
 Bearings are Astronomic, and are Referred to the Easterly limit of Ingledene Drive as shown on Reg'd Plan 995, having a Bearing of N 16° 53' 30" E

**SURVEYOR'S CERTIFICATE**  
 I certify that:  
 1. This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act, and the Regulations made under them.  
 2. The survey was completed on the 3rd day of December, 2021.

ASSOCIATION OF ONTARIO  
 LAND SURVEYORS  
 PLAN SUBMISSION FORM  
 V-18825

THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR. In accordance with Regulation 1026, Section 29(3).

Dec. 17, 2021  
 Date Andrew Musil, O.L.S.

Party Chief: L.K.	Drawn By: M.S.	Checked By: A.M.	Project: 21-316
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**J. H. Gelbloom Surveying Limited**  
 Ontario Land Surveyor  
 476 Morden Road, Unit 102, Oakville, Ont, L6K 3W4  
 office@jhgsurveying.ca  
 Phone:(905) 338-8210 Fax:(905) 338-9446

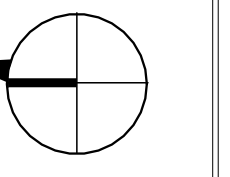
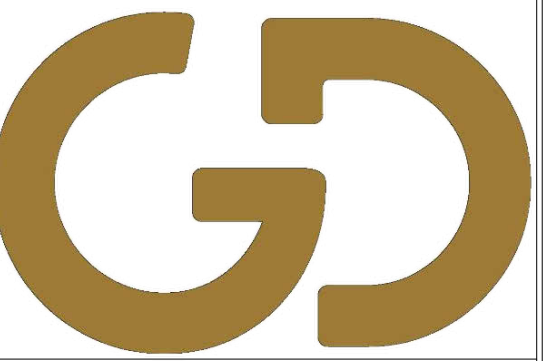




FRONT PERSPECTIVE



REAR PERSPECTIVE



TRUE NORTH PROJECT NORTH

**GASPAR DESIGN GROUP**  
 5359 Timberlea Blvd. Unit #23 | Mississauga, ONT. L4W 4N5  
 T. (647) 894-0889 | F. (905) 501-9230  
 W. GASPARDESIGNGROUP.COM | E. INFO@GASPARDESIGNGROUP.COM

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PROJECT:  
**1235 INGLEDENE DRIVE**  
**OAKVILLE, ONTARIO**

Project number: 22-15  
 Date: 2022-04-06  
 ISSUED FOR: DESP

ARCHITECTURAL DESIGN

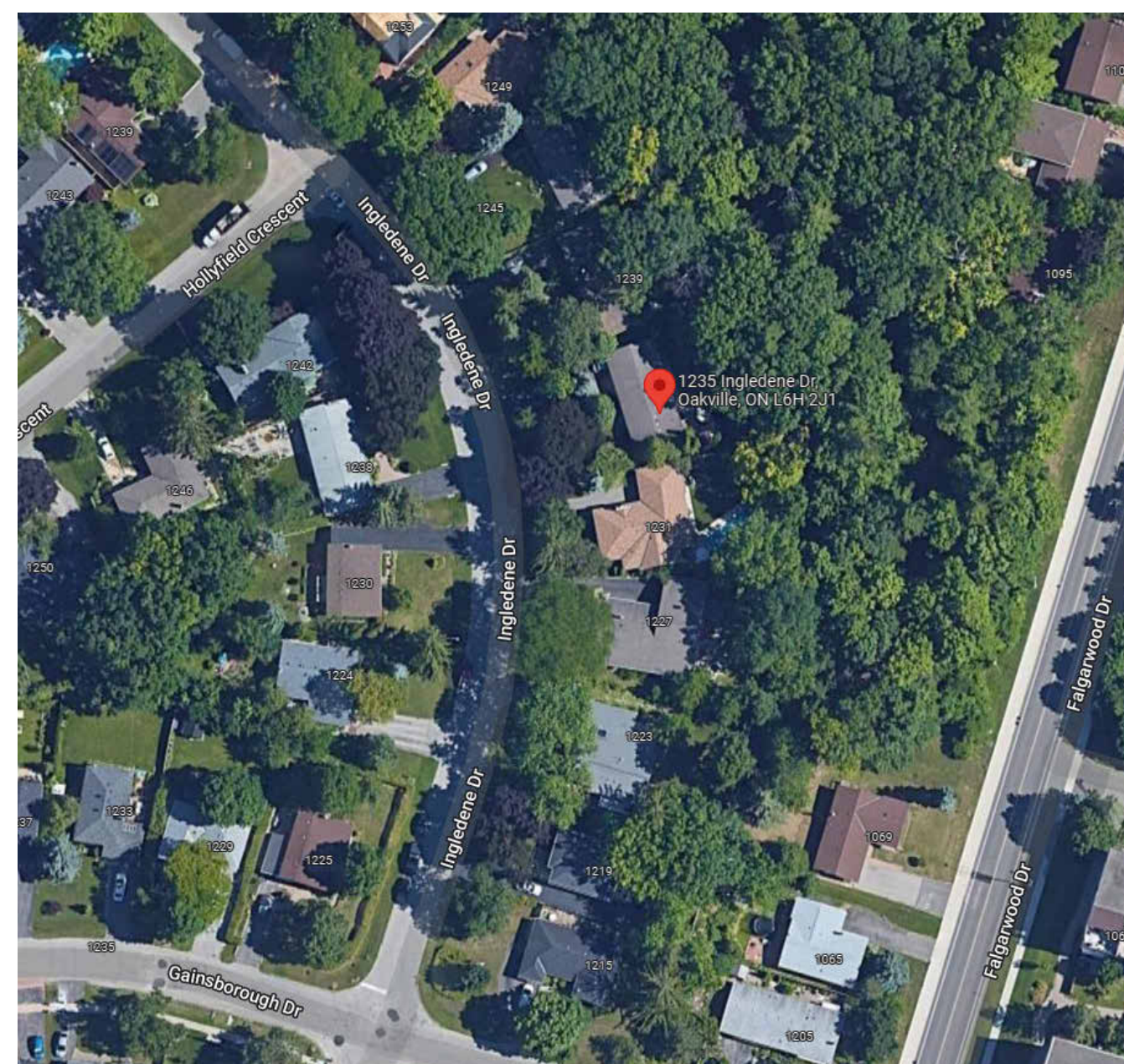
**GASPAR DESIGN GROUP**

5359 Timberlea Blvd. Unit #23  
 Mississauga, Ontario L4W 4N5  
 O. (647) 894-0889  
 E. info@gaspardesigngroup.com  
 W. www.gaspardesigngroup.com

SURVEYOR

**J. H. GELBLOOM SURVEYING LIMITED**

476 Morden Road, Unit #102  
 Oakville, Ontario L6K 3V4  
 O. (405) 338-8210  
 E. office@jhgsurveying.ca



Sheet Number	Sheet Name
A-0.0	COVER PAGE
A-0.1	SITE PLAN
A-1.0	EXISTING BASEMENT
A-1.1	EXISTING FIRST FLOOR PLAN
A-1.2	EXISTING ROOF PLAN
A-1.3	PROPOSED BASEMENT FLOOR PLAN
A-1.4	PROPOSED FIRST FLOOR PLAN
A-1.5	PROPOSED SECOND FLOOR PLAN
A-1.6	PROPOSED ROOF PLAN
A-1.7	CROSS SECTION
A-2.0	WEST ELEVATION
A-2.1	EAST ELEVATION
A-2.2	SOUTH ELEVATION
A-2.3	NORTH ELEVATION

**PROJECT**

INTERIOR RENOVATIONS  
 & PROP. NEW 2 STOREY  
 S.F.D. AT  
 1235 INGLEDENE DRIVE  
 OAKVILLE, ONTARIO

NO.	DESCRIPTION	DATE (DD/MM/YY)

INGLEDENE DRIVE  
 RESIDENCE

DRAWING  
 COVER PAGE

DRAWN BY  
 M.M.

APPROVED BY  
 M.R.

SCALE

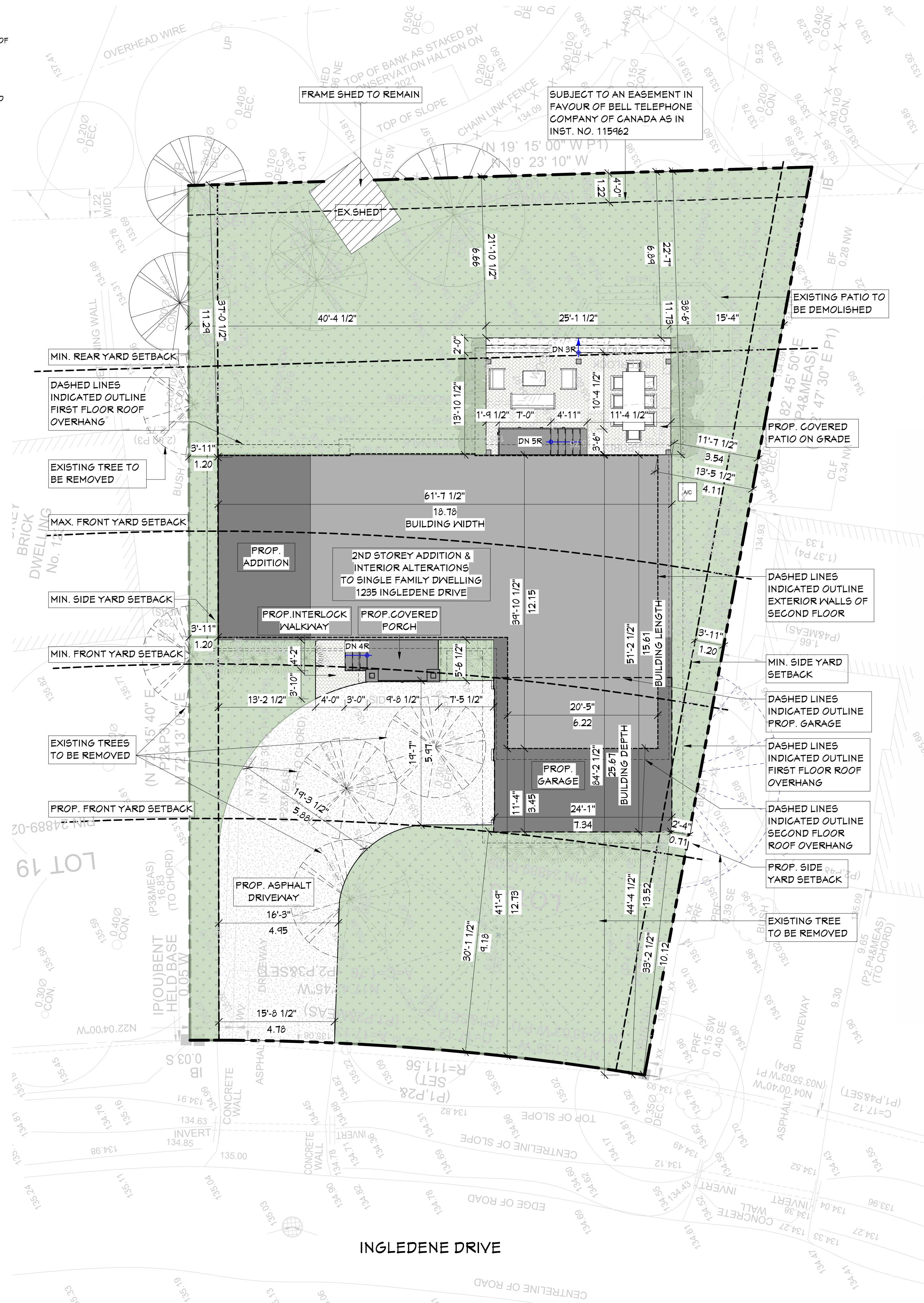
DATE  
 04/09/2020

PROJECT NO.  
 22-15

DWG NO.  
**A-0.0**

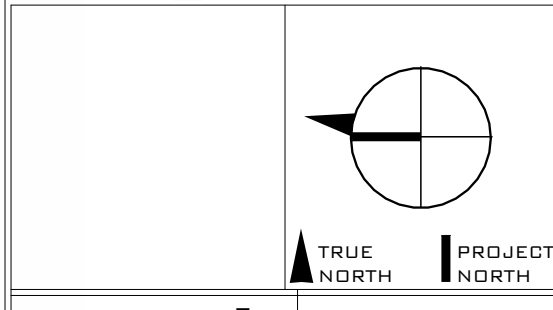


INFORMATION TAKEN FROM:  
 PLAN OF SURVEY & TOPOGRAPHIC OF  
 LOT 20 & PART OF LOT 11  
 REGISTRATION PLAN 945  
 TOWNSHIP OF OAKVILLE  
 CREATED BY: M.S.  
 J. H. GELBLOOM SURVEYING LIMITED



1235 INGLEDENE DRIVE - OAKVILLE, ON.  
 ZONED AS: RL7-0

	PROPOSED		ALLOWED	
LOT AREA	=	809.99 m2	8,718.65	sq. ft.
LOT FRONTAGE @ STREET LINE	=	111.56 m	366.01	ft.
LOT DEPTH	=	38.21 m	125.36	ft.
<b>PROPOSED G.F.A.:</b>				
EXIST. FIRST FLOOR AREA	=	112.19 m2	1,207.60	sq. ft.
PROP. FIRST FLOOR ADDITION AREA	=	29.25 m2	314.84	sq. ft.
PROP. SECOND FLOOR AREA	=	150.93 m2	1,624.60	sq. ft.
TOTAL G.F.A.	=	292.37 m2	3,147.04	sq. ft.
FLOOR AREA RATIO	=	36.10 %	40% max.	
<b>PROPOSED COVERAGE:</b>				
EXIST. FIRST FLOOR W/ PROP. GARAGE	=	202.48 m2	2,179.47	sq. ft.
PROP. COVERED PORCH	=	4.90 m2	52.74	sq. ft.
PROP. COVERED PATIO	=	32.40 m2	348.75	sq. ft.
TOTAL COVERAGE	=	239.78 m2	2,580.97	sq. ft.
	=	29.60%	35% max.	
<b>BUILDING HEIGHT:</b>				
	=	8.83 m	95.05	sq. ft.
	=		9 m. max.	29,52756 ft.
<b>OPEN SPACE LANDSCAPE:</b>				
TOTAL COVERAGE	=	239.78 m2	2,580.97	sq. ft.
PROP. WALKWAY	=	3.38 m2	36.38	sq. ft.
PROP. DRIVEWAY	=	103.85 m2	1,117.83	sq. ft.
TOTAL OPEN SPACE LANDSCAPE	=	347.01 m2	3,735.18	sq. ft.
	=	42.84%		



**GASPAR DESIGN GROUP**  
 5359 TIMBERLEA BLVD. UNIT #203 MISSISSAUGA, ONT. L4W 4N5  
 T. (647) 894-0899 | F. (905) 501-9230  
 W. GASPARDESIGNGROUP.COM | E. INFO@GASPARDESIGNGROUP.COM

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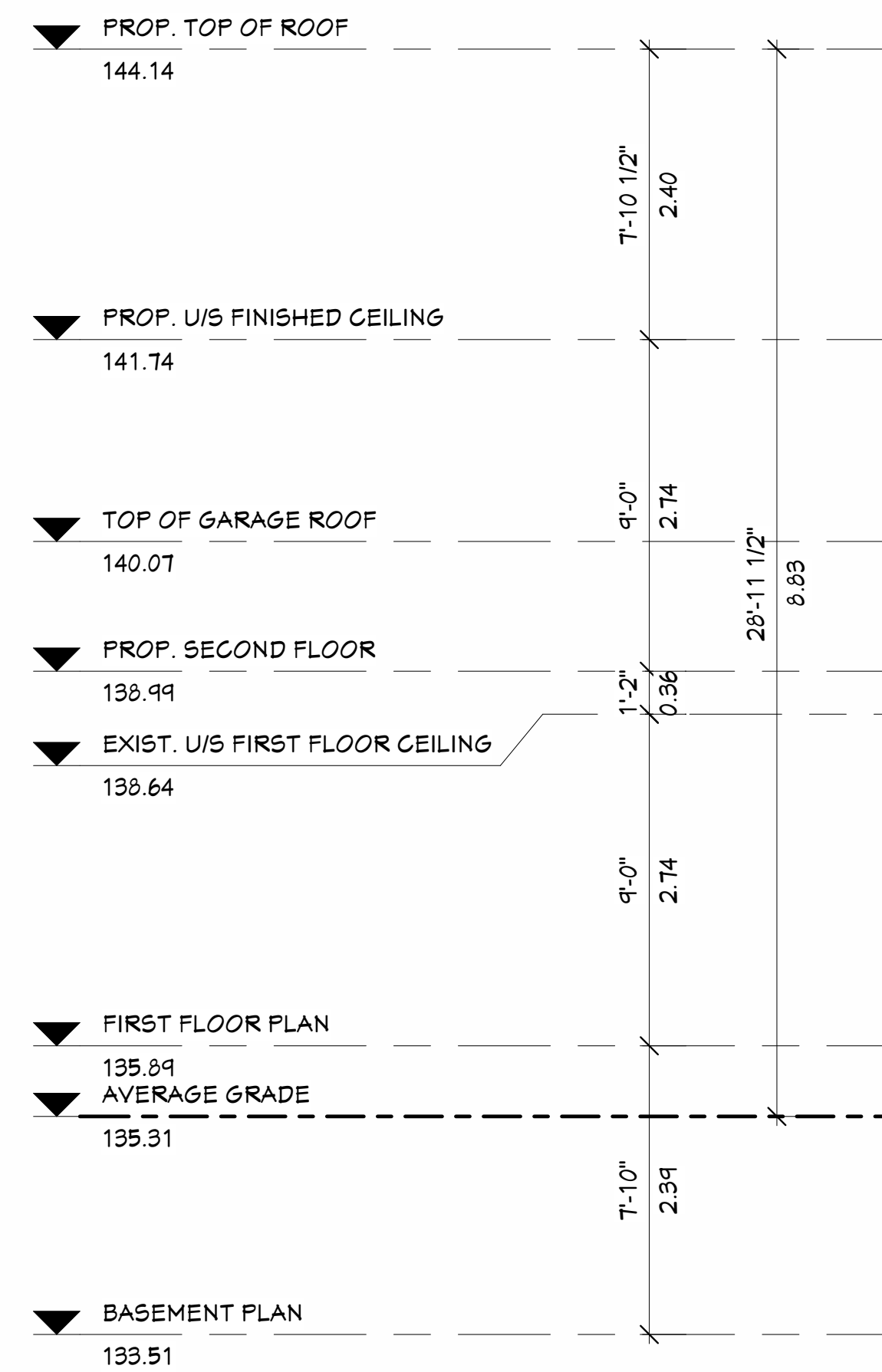
**PROJECT**  
 INTERIOR RENOVATIONS & PROP. NEW 2 STOREY S.F.D. AT  
 1235 INGLEDENE DRIVE  
 OAKVILLE, ONTARIO

NO.	DESCRIPTION	DATE
	INGLEDENE DRIVE RESIDENCE	
	DRAWING SITE PLAN	
	DRAWN BY M.M.	
	APPROVED BY M.R.	
	SCALE 1/8" = 1'-0"	
	DATE 07/13/2022	
	PROJECT NO. 22-15	

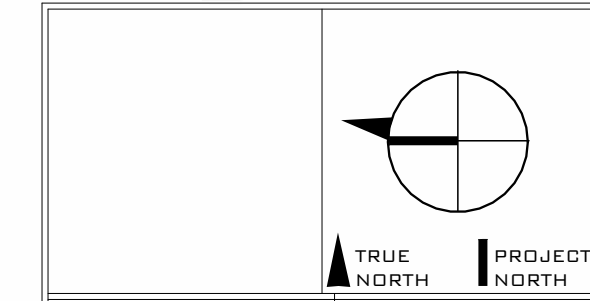
DWG No. **A-0.1**

1 SITE PLAN  
 A-0.1 1/8" = 1'-0"





1 PROP. WEST ELEVATION (FRONT)  
A-2.0 1/4" = 1'-0"



**GASPAR DESIGN GROUP**  
 5359 TIMBERLEA BLVD. UNIT #203 MISSISSAUGA, ONT. L4W 4N5  
 T. (647) 894-0889 | F. (905) 501-9230  
 W. GASPARDESIGNGROUP.COM | E. INFO@GASPARDESIGNGROUP.COM

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**PROJECT**  
 INTERIOR RENOVATIONS  
 & PROP. NEW 2 STOREY  
 S.F.D. AT  
 1235 INGLEDENE DRIVE  
 OAKVILLE, ONTARIO

NO.	DESCRIPTION	DATE (DD/MM/YY)

INGLEDENE DRIVE  
 RESIDENCE  
 DRAWING  
 WEST ELEVATION  
 DRAWN BY  
 M.M.  
 APPROVED BY  
 M.R.  
 SCALE  
 1/4" = 1'-0"  
 DATE  
 07/13/2022  
 PROJECT NO.  
 22-15

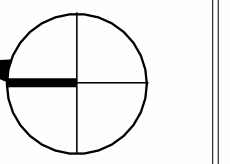
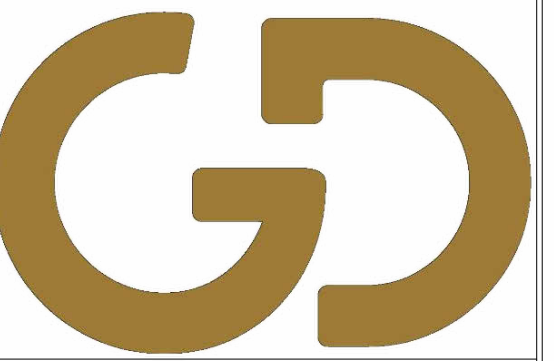
DWG No.  
**A-2.0**



▼ PROP. TOP OF ROOF	144.14	
▼ PROP. U/S FINISHED CEILING	141.74	T-10 1/2" 2.40
▼ TOP OF PATIO ROOF	140.12	9'-0" 2.74
▼ PROP. SECOND FLOOR	138.99	28'-11 1/2" 8.83
▼ EXIST. U/S FIRST FLOOR CEILING	138.64	1'-2" 0.36
▼ FIRST FLOOR PLAN	135.89	9'-0" 2.74
▼ AVERAGE GRADE	135.31	
▼ BASEMENT PLAN	133.51	T-10" 2.39



1 PROP. EAST ELEVATION  
A-2.1 1/4" = 1'-0"



TRUE NORTH PROJECT NORTH

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**PROJECT**  
INTERIOR RENOVATIONS & PROP. NEW 2 STOREY S.F.D. AT 1235 INGLEDENE DRIVE OAKVILLE, ONTARIO

NO.	DESCRIPTION	DATE (DD/MM/YY)

INGLEDENE DRIVE RESIDENCE

DRAWING EAST ELEVATION

DRAWN BY M.M.

APPROVED BY M.R.

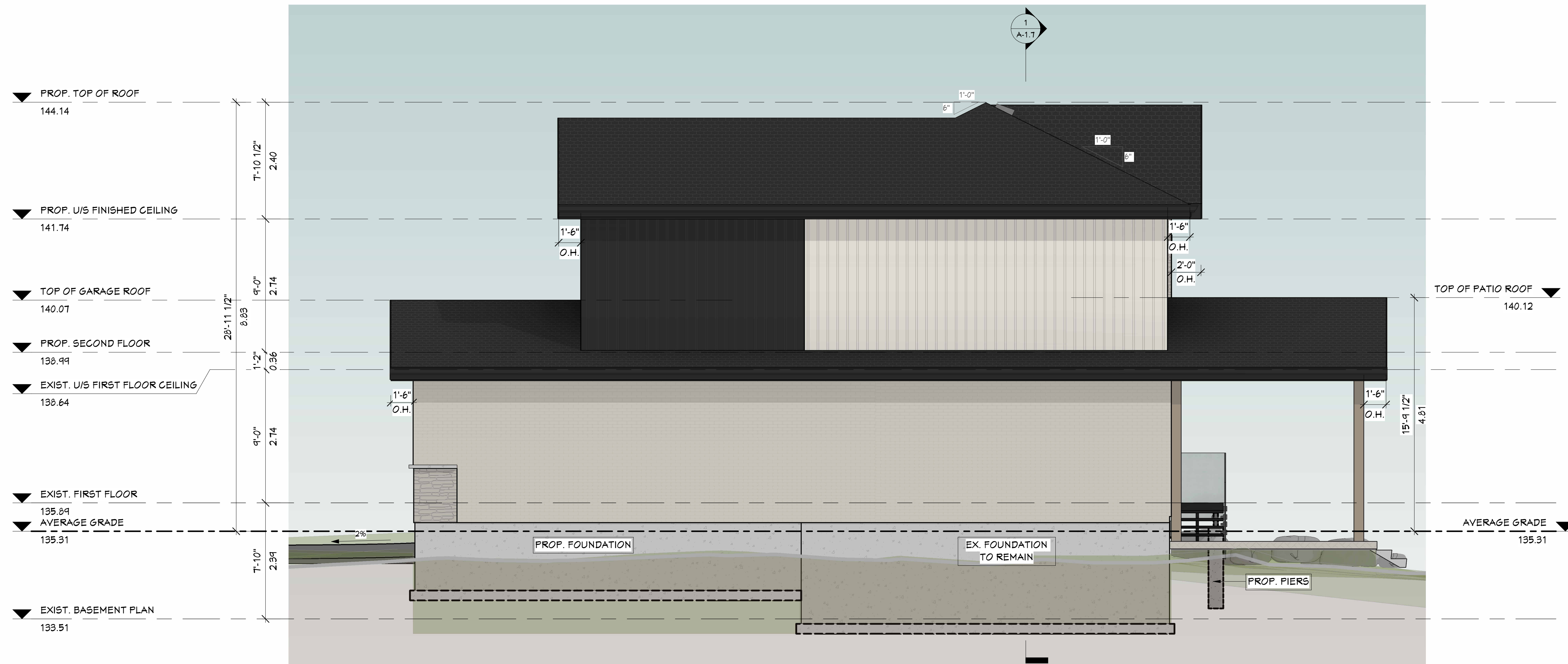
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DATE 07/13/2022

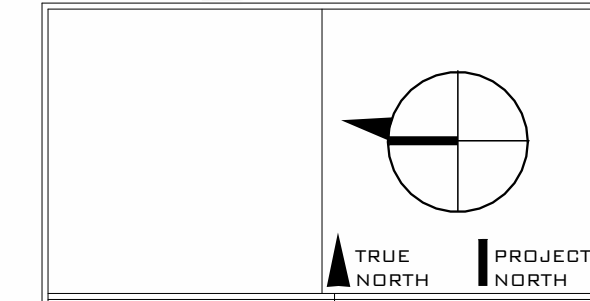
PROJECT NO. 22-15

DWG No. A-2.1





1 PROP. SOUTH ELEVATION  
A-2.2 1/4" = 1'-0"



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**PROJECT**  
 INTERIOR RENOVATIONS  
 & PROP. NEW 2 STOREY  
 S.F.D. AT  
 1235 INGLEDENE DRIVE  
 OAKVILLE, ONTARIO

NO.	DESCRIPTION	DATE (DD/MM/YY)

INGLEDENE DRIVE  
RESIDENCE

DRAWING  
SOUTH ELEVATION

DRAWN BY  
M.M.  
 APPROVED BY  
M.R.

SCALE  
1/4" = 1'-0"

DATE  
07/13/2022

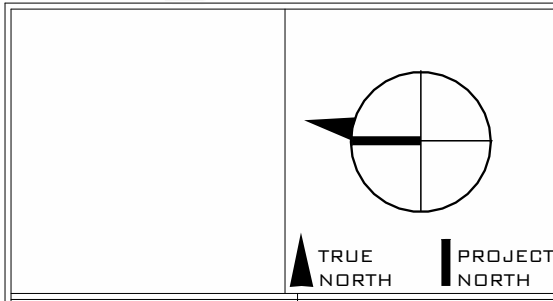
PROJECT NO.  
22-15

DWG No.  
**A-2.2**





1 PROP. NORTH ELEVATION  
A-2.3 1/4" = 1'-0"



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**PROJECT**  
 INTERIOR RENOVATIONS  
 & PROP. NEW 2 STOREY  
 S.F.D. AT  
 1235 INGLEDENE DRIVE  
 OAKVILLE, ONTARIO

NO.	DESCRIPTION	DATE (DD/MM/YY)

INGLEDENE DRIVE  
 RESIDENCE  
 DRAWING  
 NORTH ELEVATION

DRAWN BY  
 M.M.  
 APPROVED BY  
 M.R.

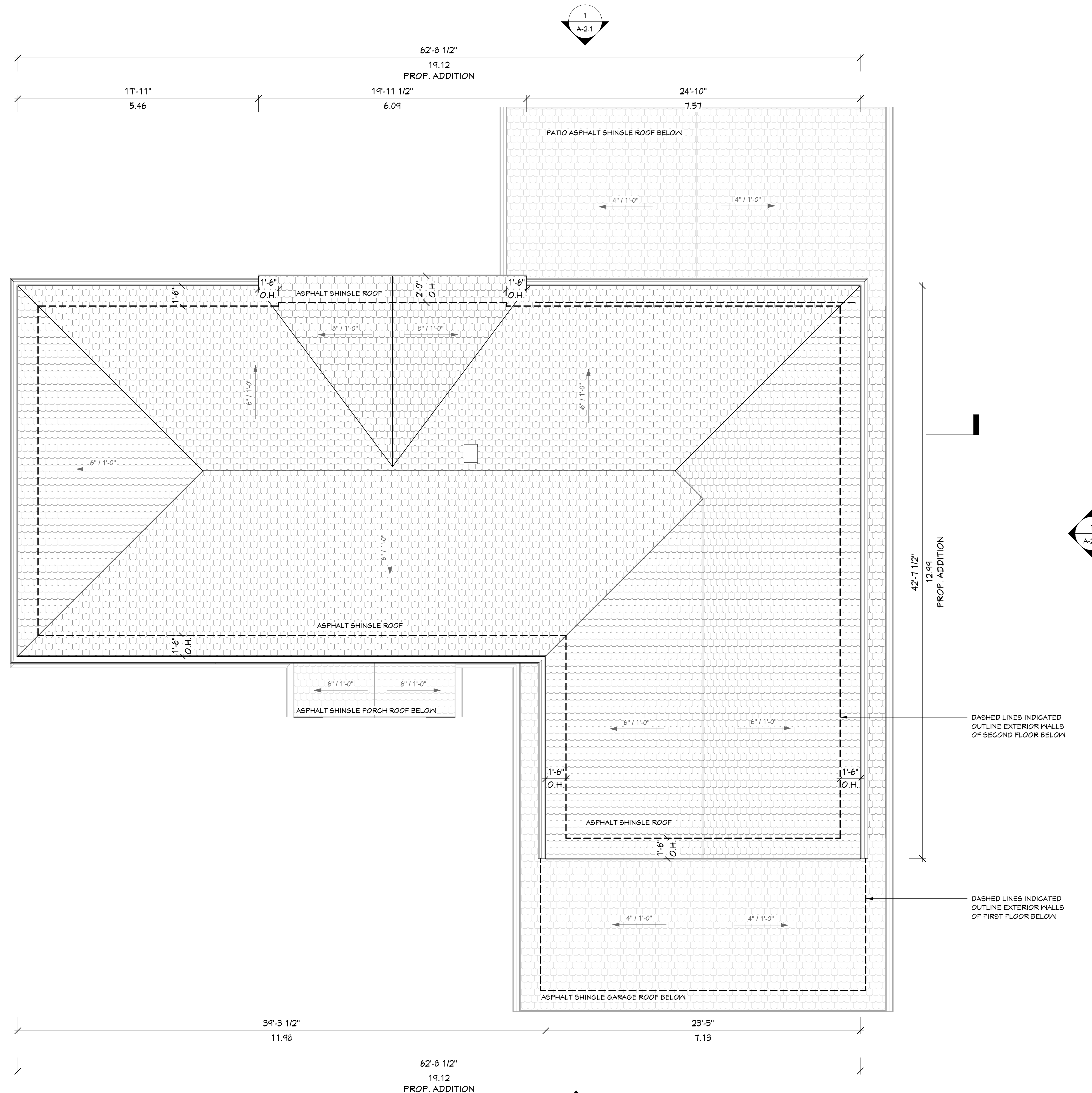
SCALE  
 1/4" = 1'-0"  
 DATE  
 07/13/2022  
 PROJECT NO.  
 22-15

DWG No.  
**A-2.3**



**LEGEND**

- EXISTING WALLS TO BE REMOVED
- EXISTING WALL TO REMAIN
- INFILL EXIST. OPENING W/ EXISTING BUILDING ENVELOPE
- S.B. SOLID WOOD BEARING
- P.L. POINT LOAD FROM ABOVE
- F.D. FLOOR DRAIN
- A.D. AREA DRAIN
- S.M.O. SMOKE ALARM
- C.M.D. CARBON MONOXIDE DETECTOR
- M.V. MECHANICAL VENTILATION



1 PROP. TOP OF ROOF  
A-1.6 1/4" = 1'-0"



TRUE NORTH PROJECT NORTH

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 5359 TIMBERLEA BLVD. UNIT #203 MISSISSAUGA, ONT. L4W 4N5  
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 INTERIOR RENOVATIONS  
 & PROP. NEW 2 STOREY  
 S.F.D. AT  
 1235 INGLEDENE DRIVE  
 OAKVILLE, ONTARIO

NO.	DESCRIPTION	DATE (DD/MM/YYYY)

INGLEDENE DRIVE RESIDENCE

DRAWING PROPOSED ROOF PLAN

DRAWN BY M.M.  
 APPROVED BY M.R.

SCALE 1/4" = 1'-0"

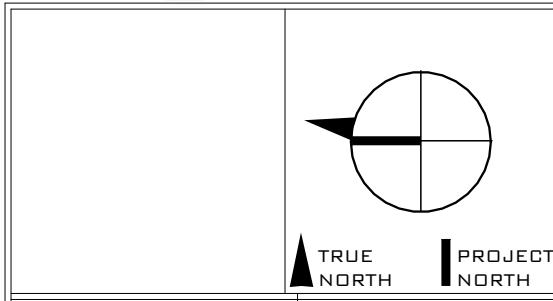
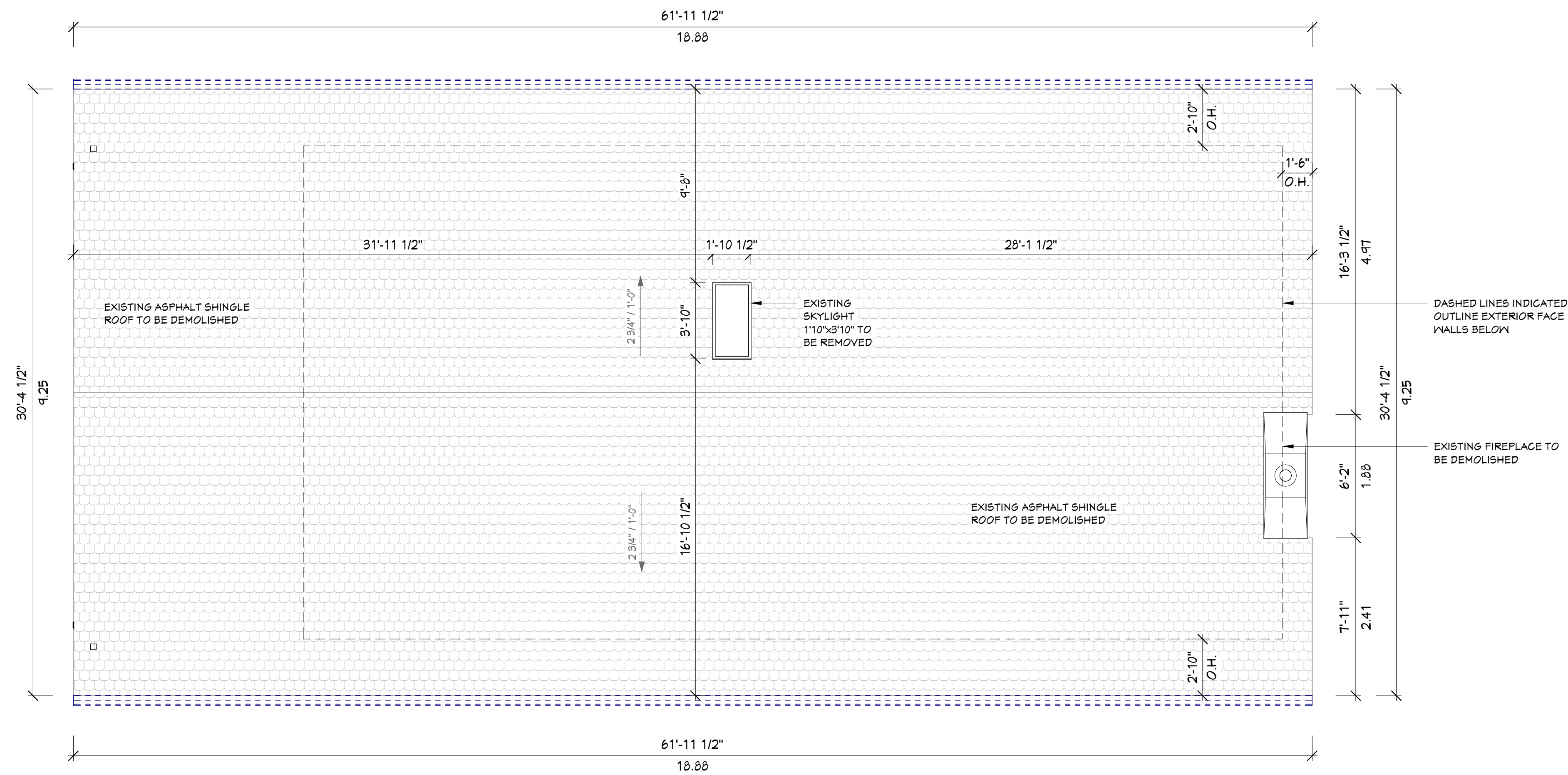
DATE 07/13/2022  
 PROJECT NO. 22-15

DWG No. A-1.6



**LEGEND**

- EXISTING WALLS TO BE REMOVED
- ▬ EXISTING WALL TO REMAIN
- INFILL EXIST. OPENING W/ EXISTING BUILDING ENVELOPE
  
- S.B. SOLID WOOD BEARING
- P.L. POINT LOAD FROM ABOVE
- F.D. FLOOR DRAIN
- A.D. AREA DRAIN
  
- 20A I.S.A. SMOKE ALARM
- 20B C.M.D. CARBON MONOXIDE DETECTOR
- 18 MECHANICAL VENTILATION



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**PROJECT**  
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 & PROP. NEW 2 STOREY  
 S.F.D. AT  
 1235 INGLEDENE DRIVE  
 OAKVILLE, ONTARIO

NO.	DESCRIPTION	DATE (REVISED)

INGLEDENE DRIVE  
 RESIDENCE

DRAWING  
 EXISTING ROOF PLAN

DRAWN BY  
 M.M.  
 APPROVED BY  
 M.R.

SCALE  
 1/4" = 1'-0"  
 DATE  
 07/13/2022  
 PROJECT NO.  
 22-15

DWG No.  
**A-1.2**

1 TOP. OF EXISTING ROOF  
 A-1.2 1/4" = 1'-0"