

HERITAGE IMPACT ASSESSMENT



BRANTWOOD SCHOOL CONDOMINIUMS

221 Allan Street, Oakville ON

20 July 2022

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EXECUTIVE SUMMARY

Megan Hobson consulting was retained by Brantwood School Inc. to undertake a *Heritage Impact Assessment (HIA)* for a proposed redevelopment of the former Brantwood Public School located at 221 Allan Street in the Town of Oakville.

The *HIA* finds that the proposed design is compatible with heritage attributes of the former school building and that the proposed residential use is consistent with the long-term conservation of this resource through adaptive reuse.

The architectural drawings prepared by Hicks Design Studio are sensitive to the original design. The alterations proposed include demolition of a modern concrete block gymnasium addition at the rear that is not a heritage attribute and construction of a two-storey addition located at the rear that is the same height as the existing building and will not be visible from the front. The heritage attributes of the primary façade on Allan Street will be conserved and minor alterations are proposed that are compatible with the design elements of the existing façade. The minor alterations on the main elevation are limited to a 2nd floor extension of an existing bay window at the north end and addition of a matching 2-storey bay window at the south end to create a balanced and symmetrical façade in a manner that is sympathetic to the existing façade.

The Landscape Plan prepared by Daniel J. O'Brien & Associates Ltd. shows new plantings that will enhance the street frontage and are complimentary to the heritage building. The original school entrances oriented towards Allan Street will continue to be used as primary entrances and the landscape plan includes paved walkways from the sidewalk to each of the entrances. Visitor and accessible parking spaces required in front of the building has been located at the sides and is screened by plantings. One mature tree will be removed but all other trees along the Allan Street frontage will be retained.

It is recommended that a heritage permit be issued for the proposed alterations, with the following conditions:

1. that further details be provided to staff for the replacement doors and windows
2. that further details be provided to staff regarding the methodology for removing the paint from the brick foundation
3. that further details be provided to staff regarding repair/renewal of the exterior stucco
4. that further details be provided to staff regarding installation of the canopies on the main elevations

1.0 INTRODUCTION

Preparation of this report included site investigation and documentation by Hicks Design Studio. Megan Hobson consulting conducted a review of background heritage documents, relevant heritage policies and applicable legislation and consulted with heritage planning staff at the Town of Oakville.

2.0 LOCATION & SITE DESCRIPTION

The subject property is the former Brantwood Public School property located at 221 Allan Street in Brantwood, a residential neighbourhood in the Town of Oakville. The school building is comprised of a two-storey building on Allan Street with a Gymnasium addition at the rear. The property extends through the block to Douglas Avenue. There are residential properties on either side. The school is set back from Allan Street with a lawn and mature trees in front. The school yard is fenced and there are mature trees around the perimeter.



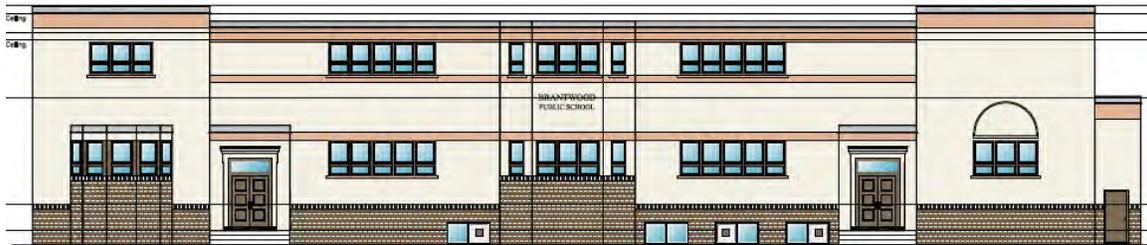
ALLAN STREET STREETSCAPE

The school building is a 2-storey structure with an L-shaped plan and a flat roofline. The exterior is stucco with horizontal stone banding. There is a one-storey link to a separate Gymnasium structure at the back. There are two entrances on Allan Street with cut stone surrounds in a Greek Revival Style.

There are two bay windows on the front elevation including a smaller 1-storey bay at the south end and a larger 2-storey bay in the centre. The other windows are arranged in banks and are rectangular. The front elevation is generally symmetrical with variations at either end. The north end has a bay window on the 1st floor with a bank of three windows above. The south end has a bank of three windows set in a shallow niche on the 1st floor with no windows above.

The building appears to be in good condition. The raised foundation is clad with brick that has been painted and the original basement windows have brick arches. The windows are metal framed replacement windows. The front doors are paneled wood doors and the door frames are embellished with Greek palmettes. The doors are framed with cut stone with a Greek Revival style moulding and architrave. The front steps are large stone blocks with two wrought iron hand railings. The railings are curved and are embellished with Greek urns.

The side and rear elevations are stucco and do not have horizontal stone banding. The Gymnasium addition and one storey link are constructed of concrete block. The interior of the Gym has lightweight exposed steel trusses. The interior of the link structure contains a mural painted directly on the concrete block wall.



AS-FOUND DRAWING – MAIN ELEVATION [GBCA]

3.0 HERITAGE PLANNING CONTEXT

The subject property is listed on the Town of Oakville’s *Register of Properties of Cultural Heritage Value or Interest* as a non-Designated property. The west half of the property that contains the school building is located within the boundary of the Trafalgar Road Heritage Conservation District and is therefore Designated under *Part V* of the *Ontario Heritage Act*. (By-law 1994-132). The Gymnasium addition at the rear is located outside the HCD Boundary and is not considered to be a heritage attribute. The Trafalgar Road Heritage Conservation District Plan has guidelines for additions to heritage buildings within the District.



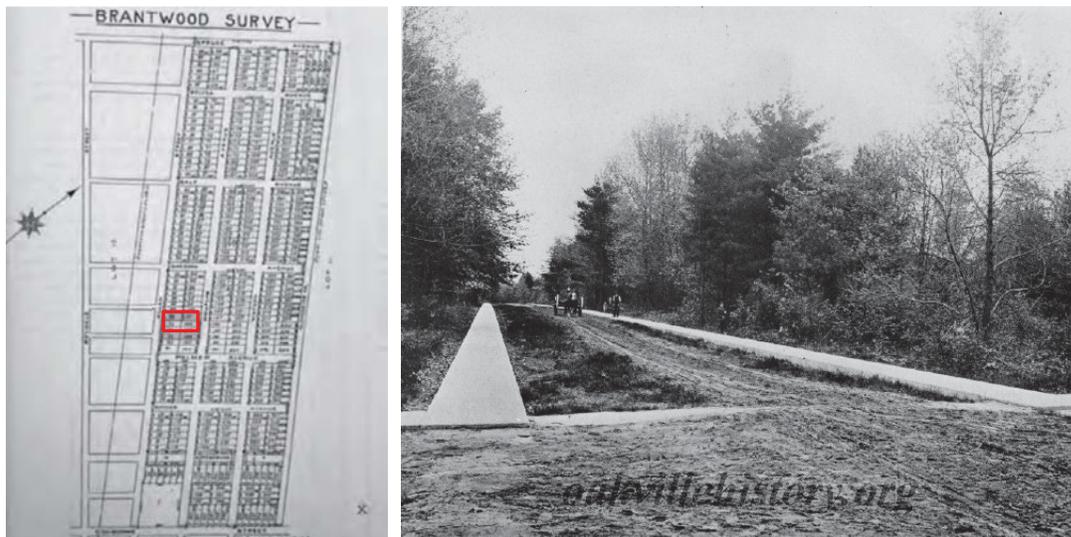
Source: ERA 2013

The Halton District School Board declared the school surplus in 2010. In 2012 The Town of Oakville purchase the Brantwood School site along with two other school properties. The Town has proactively provided direction on adaptive reuse of the former Brantwood School building through consultants retained by the Town of Oakville. A set of as-found drawings were prepared by Goldsmith Borgal Architects. A *Heritage Impact Assessment* was undertaken by ERA Architects to assess the cultural heritage value of the property and undertake a feasibility study to assess rehabilitation of the building into a multi-unit residence.

4.0 HISTORICAL CONTEXT

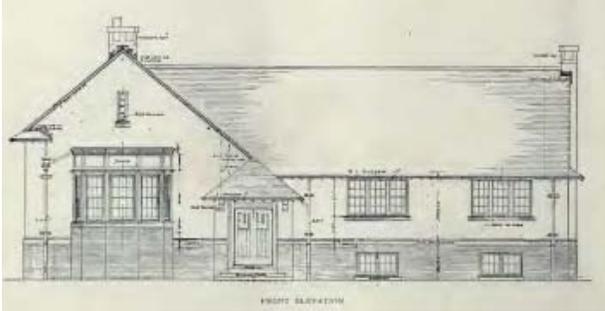
A detailed history of the site and the evolution of the school building is provided in a previous *Heritage Impact Assessment* (2013) by ERA Architects.

The original school was built to accommodate school age children in the newly laid out Brantwood Survey. The Brantwood survey was laid out in 1907 and is notable as one of the earliest planned subdivisions in Oakville. The Brantwood School was designed in an Arts & Crafts Style and had a residential character similar to houses designed for the new subdivision.



Brantwood School site, LOTS 24, 25 & 26 (left) – laying out streets and sidewalks in the Brantwood Survey, 1912 (right) [OHS]

The current structure has evolved through various building phases. The earlier building expansions were planned and were carried out in a unified style. The later expansions were less sympathetic to the original design intent. The addition of a second floor by Molesworth, Secord & Savage in 1947 replaced the picturesque roofline of the original design with a flat roof. The front entrances were redesigned with Greek Revival design elements and clad in stone and horizontal stone banding was introduced at the transitions between floors and along the roofline. More recent additions such as the Gymnasium that was built in 1980 are functional and are not considered to have design or physical value. The original wood windows were replaced with metal framed windows but the window groupings of the original design were retained.



1921 Arts & Craft style schoolhouse by Molesworth, West & Secord (left) - planned expansion in the same style in 1922 (right)



Grade 2 class, 1924 [OHS]

Greek Revival redesign of the front entrances

5.0 STATEMENT OF CULTURAL HERITAGE VALUE

A Draft Statement of Significance was prepared by ERA Architects in 2013.

Description of Property - 221 Allan Street, Oakville

Brantwood Public School is a two-storey educational building located on the east side of Allan Street within the original boundary of the Brantwood Survey, a residential neighbourhood east of Oakville's historic downtown.

Statement of Cultural Heritage Value or Interest

The cultural heritage value of the former Brantwood Public School property is found in its 90 year role as the local primary public school. Brantwood opened in 1920 in response to a population boom that caused overcrowding in the downtown public school. The school was located within the 'Brantwood Survey' - a residential development marketed as an exclusive suburb to Hamilton and Toronto.

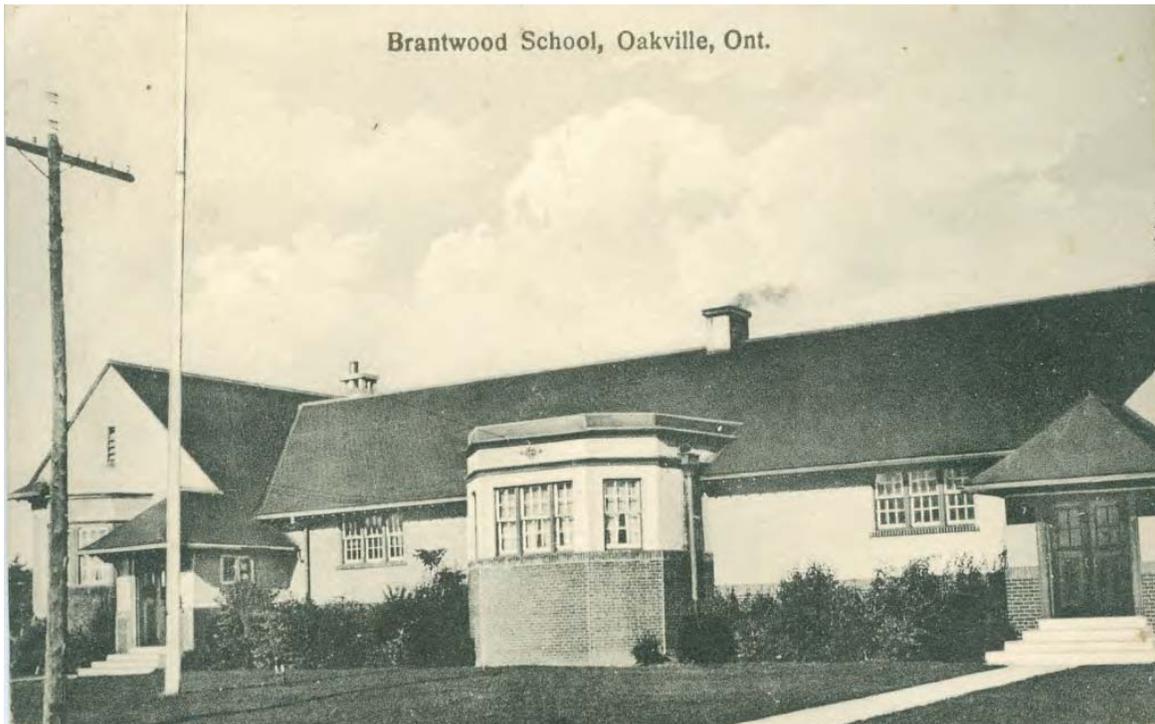
Brantwood Public School has cultural heritage value associated with the architecture firm of Molesworth, West & Secord / Molesworth, Secord & Savage; George Nepean Molesworth was an Oakville resident. The Toronto firm was known for its residential, ecclesiastical and commercial work in Toronto's prestigious neighbourhoods. It also completed many residences and school buildings in Oakville.

The school has cultural heritage value as a unique example of a building designed to fit within its residential setting and accommodate increased enrolment. The school was designed to accommodate, and undertook, several additions: a sideways duplication, a second floor and a rear addition.

Description of Heritage Attributes

Key exterior attributes that embody the heritage value of Brantwood School as an example of public school architecture in Oakville include its:

- Front lawn and setback from Allan Street;
- Main entrances on Allan Street clad in limestone with stone steps with metal rail leading up to solid wood double doors with an overhead transom;
- Two storey façades with a brick foundation and stucco wall treatment accented with horizontal limestone bands; and
- The punched openings for banked windows.



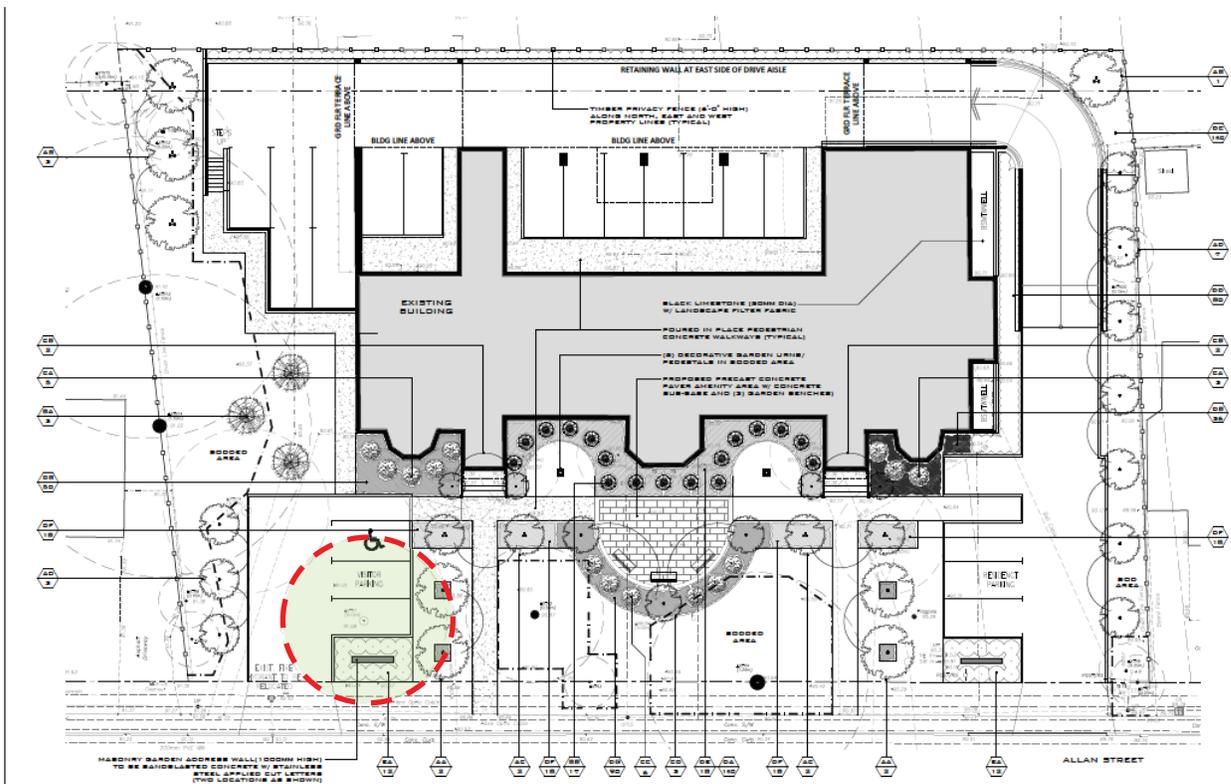
Brantwood School, Oakville Ontario, 1937 postcard [Oakville Historical Society]

6.0 PROPOSED DEVELOPMENT



PROPOSED DEVELOPMENT

[HICKS DESIGN STUDIO]

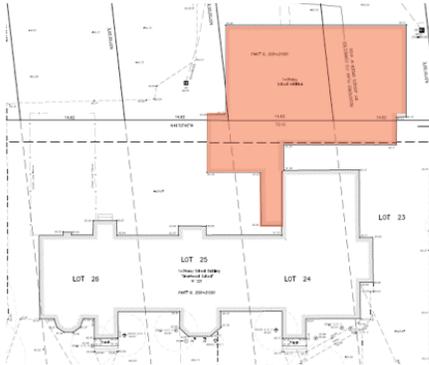


PROPOSED LANDSCAPE PLAN

[DANIEL J. O'BRIEN & ASSOCIATES LTD]

The proposed rehabilitation accommodates 9 condominiums and includes minor alterations to the front elevation and front yard. One mature tree will be removed and 6 parking spaces will be introduced at the edges of the property. The bay window at the north end will be extended to the 2nd floor and a matching bay will be constructed at the south end.

The Gymnasium addition will be demolished and a new 2-storey addition will be built at the rear. New openings through the rear wall will utilize existing window openings where possible.



SITE PLAN

REMOVAL - 1-STOREY GYMNASIUM ADDITION

Partial Demolition:

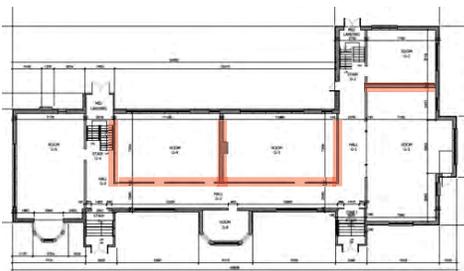
- the modern Gymnasium addition at the rear will be demolished.

Impact Assessment:

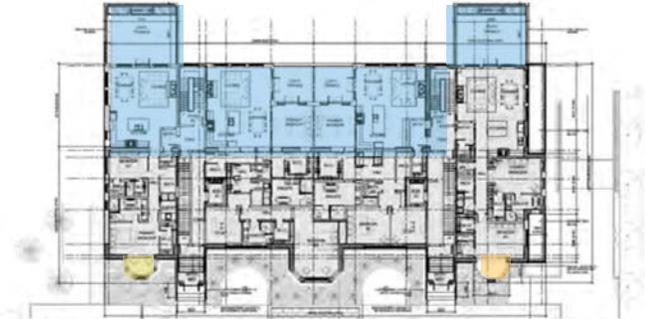
- the Gymnasium is not listed as a heritage attribute.
- the Gymnasium is a discrete structure that is linked by a 1-storey corridor to the heritage building so there are no structural concerns with removal of the Gymnasium or the 1-storey link.

Recommendations:

- all openings into the heritage building should be secured after demolition of the addition.



EXISTING
FLOOR PLAN – 1ST FLOOR



PROPOSED

- REMOVAL LOAD BEARING INTERIOR WALLS TO BE DEMOLISHED
- ADDITION 2-STOREY ADDITION TO BE CONSTRUCTED AT THE REAR
- ALTERATION 2ND FLOOR EXTENSION OF THE EXISTING 1-STOREY BAY WINDOW
- ALTERATION 2-STOREY BAY WINDOWS TO BE CONSTRUCTED TO MATCH EXISTING BAY WINDOW

Interior Alterations:

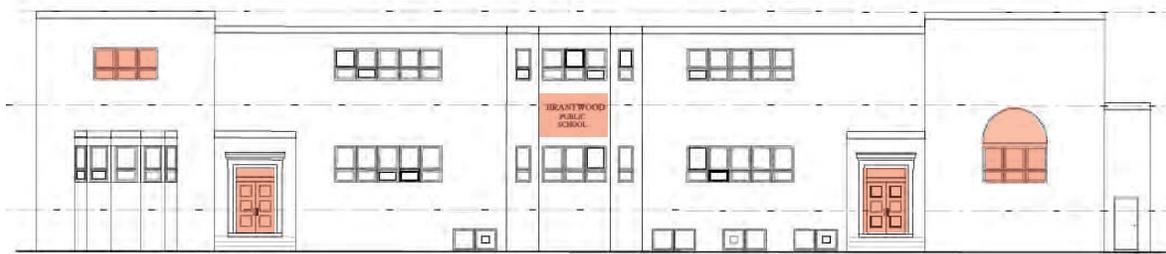
- some loadbearing interior walls will be demolished and interior finishes will be removed so that the new layout can be built.

Impact Assessment:

- interior features are not listed as heritage attributes.

Recommendations:

- provide detailed drawings that include structural supports in locations where load bearing walls are to be removed



EXISTING



PROPOSED

WEST (FRONT) ELEVATION

<p>■ REMOVAL</p> <p>■ REPLACEMENT-IN-KIND</p> <p>■ ADDITION</p>	<p>REMOVAL OF EXISTING WOOD ENTRANCE DOORS & GLAZED TRANSOMS REMOVAL OF 2 EXISTING WINDOWS REMOVAL OF THE 'BRANTWOOD PUBLIC SCHOOL' LETTERING</p> <p>REPLACEMENT-IN-KIND OF EXISTING WOOD ENTRANCE DOORS & GLAZED TRANSOM</p> <p>2nd FLOOR EXTENSION OF THE EXISTING 1-STORY BAY WINDOW CONSTRUCTION OF A 2-STORY BAY WINDOW TO MATCH INSTALLATION OF METAL CANOPIES ABOVE BOTH ENTRANCE DOORS</p>
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Exterior Alterations:

- installation of new windows in the existing window openings
- 2nd floor extension of the existing bay window at the south end
- construction of a new bay window at the south end to match the north bay window
- replacement 'in-kind' of the existing front doors and glazed transoms
- installation of canopies above the front doors
- repair/renewal of the existing stone steps and iron railings

Impact Assessment:

- the exterior stucco, brick foundation, and stone masonry are heritage attributes.
- the placement and configuration of the window openings is a heritage attribute.
- the existing windows and window frames are not listed as heritage attributes.
- the existing front entrances are listed as heritage attributes

Recommendations:

- minimize removal of existing masonry and repair to match the existing
- provide further details to heritage staff regarding the replacement windows
- consider retention and rehabilitation of the existing front doors, door frames, glazed transoms and decorative metal screens
- provide further details on the installation of the canopies above the front doors



EXISTING



PROPOSED

EAST (REAR) ELEVATION

- REMOVAL REMOVAL OF EXISTING WINDOWS
- ALTERATION ALTERATION TO EXISTING WINDOWS OPENINGS TO SUIT THE NEW LAYOUT
- ADDITION CONSTRUCTION OF A 2-STOREY ADDITION AT THE REAR

Addition:

- construction of a 2-storey addition at the rear

Impact Assessment:

- the addition is located at the rear and matches the height of the existing building
- the addition will not be visible from the front
- the design and proposed cladding materials are compatible with the existing building

Recommendations:

- minimize removal of existing masonry and repair stucco to match the existing
- preserve the original brick windows arches at the basement level, either as exposed features of the new interior where feasible or preserve beneath new finishes.



Alteration:

- removal of the existing windows
- alterations to the existing window openings

Impact Assessment:

- additional windows are required for the new residential use
- the alterations are located on the side elevations and will not be visible from the front
- the design and proposed cladding materials are compatible with the existing building

Recommendations:

- preserve the original brick windows arches at the basement level

The proposed development for 9 condominiums is consistent with the Conservation Strategy outlined by ERA Architects. The front portion of the school will be retained and additions will be located at the rear with no additional height being added. The alignment of the proposed development with the recommended Conservation Strategy is outlined in the following table:

CONSERVATION STRATEGY (ERA 2013)	COMPLIANCE
Retain the front portion of Brantwood School, including the front yard, the exterior walls, and the main entrances on Allan Street	<p>YES</p> <ul style="list-style-type: none"> The front portion of the building including the front yard, exterior walls and main entrances on Allan Street will be maintained
<p>Preserve the original building fabric and heritage attributes:</p> <ul style="list-style-type: none"> Front lawn and setback from Allan Street; Main entrances on Allan Street clad in limestone with stone steps with metal rail leading up to solid wood double doors with an overhead transom; Two storey façades with a brick foundation and stucco wall treatment accented with horizontal limestone bands; and The punched openings for banked windows. 	<p>YES</p> <ul style="list-style-type: none"> The front lawn is being retained and is being enhanced by new plantings. Accessible and visitor parking required at the front entrance will be located on the sides and will be buffered by vegetation. The wood entrance doors and glazed transoms will be replicated to match the existing The two-storey façade on the main elevation will be preserved with minor alterations to add a 2nd floor to an existing bay window and addition of a new 2-storey bay window to match The punched openings for banked windows will be preserved on the main elevation
Rehabilitate façades	<p>YES</p> <ul style="list-style-type: none"> the brick foundation will be restored to its original appearance by removing the paint the exterior stucco will be repaired and patched and will be repainted in a natural limestone colour

7.0 HERITAGE IMPACT ASSESSMENT

The *HIA* finds that the proposed design is compatible with heritage attributes of the former school building and that the proposed residential use is consistent with the long-term conservation of this resource through adaptive reuse.

The architectural drawings prepared by Hicks Design Studio are sensitive to the original design. The alterations proposed include demolition of a modern concrete block gymnasium addition at the rear that is not a heritage attribute and construction of a two-storey addition located at the rear that is the same height as the existing building and will not be visible from the front. The heritage attributes of the primary façade on Allan Street will be conserved and minor alterations are proposed that are compatible with the design elements of the existing façade. The minor alterations on the main elevation are limited to a 2nd floor extension of an existing bay window at the north end and addition of a matching 2-storey bay window at the south end to create a balanced and symmetrical façade in a manner that is sympathetic to the existing façade.

The Landscape Plan prepared by Daniel J. O'Brien & Associates Ltd. shows new plantings that will enhance the street frontage and are complimentary to the heritage building. The original school entrances oriented towards Allan Street will continue to be used as primary entrances and the landscape plan includes paved walkways from the sidewalk to each of the entrances. Visitor and accessible parking spaces required in front of the building has been located at the sides and is screened by plantings. One mature tree will be removed but all other trees along the Allan Street frontage will be retained.

8.0 CONCLUSIONS & RECOMMENDATIONS

It is recommended that a heritage permit be issued for the proposed alterations, with the following conditions:

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9.0 SOURCES

ERA Architects, *Heritage Impact Assessment: 221 Allan Street* (October 4, 2013)

Philip Goldsmith, *Brantwood School Redevelopment; 221 Allan Street, Oakville, Ontario* (1 April 2015)

Ministry of Tourism, Culture & Sport (MTCS), *Ontario Heritage Toolkit*
-----, *Eight Guiding Principles in the Conservation of Built Heritage Properties*

Parks Canada, *Standards & Guidelines for the Conservation of Historic Places in Canada* (2010)

Tacoma Engineers, *Building Condition Assessment: Brantwood Public School* (October 2016)

Town of Oakville, *Trafalgar Road Heritage Conservation District Plan and Guidelines* (January 2013)

10.0 QUALIFICATIONS OF THE AUTHOR

The author of this report is a professional member of the Canadian Association of Heritage Professionals. Formal education includes a Master of Arts in Architectural History from the University of Toronto and a diploma in Heritage Conservation from the Willowbank School of Restoration Arts. Professional experience includes an internship at the Ontario Heritage Trust, three years as Architectural Historian and Conservation Specialist at Taylor Hazell Architects in Toronto, and 10 years in private practice in Ontario as a heritage consultant. Other relevant experience includes teaching art history at the University of Toronto and McMaster University and teaching Research Methods and Conservation Planning at the Willowbank School for Restoration Arts in Queenston. In addition to numerous heritage reports, the author has published work in academic journals such as the *Journal of the Society for the Study of Architecture in Canada* and the *Canadian Historical Review*.

APPENDIX A: PHOTO DOCUMENTATION PHOTOS PROVIDED BY HICKS DESIGN STUDIO



EXTERIOR – FRONT ELEVATION



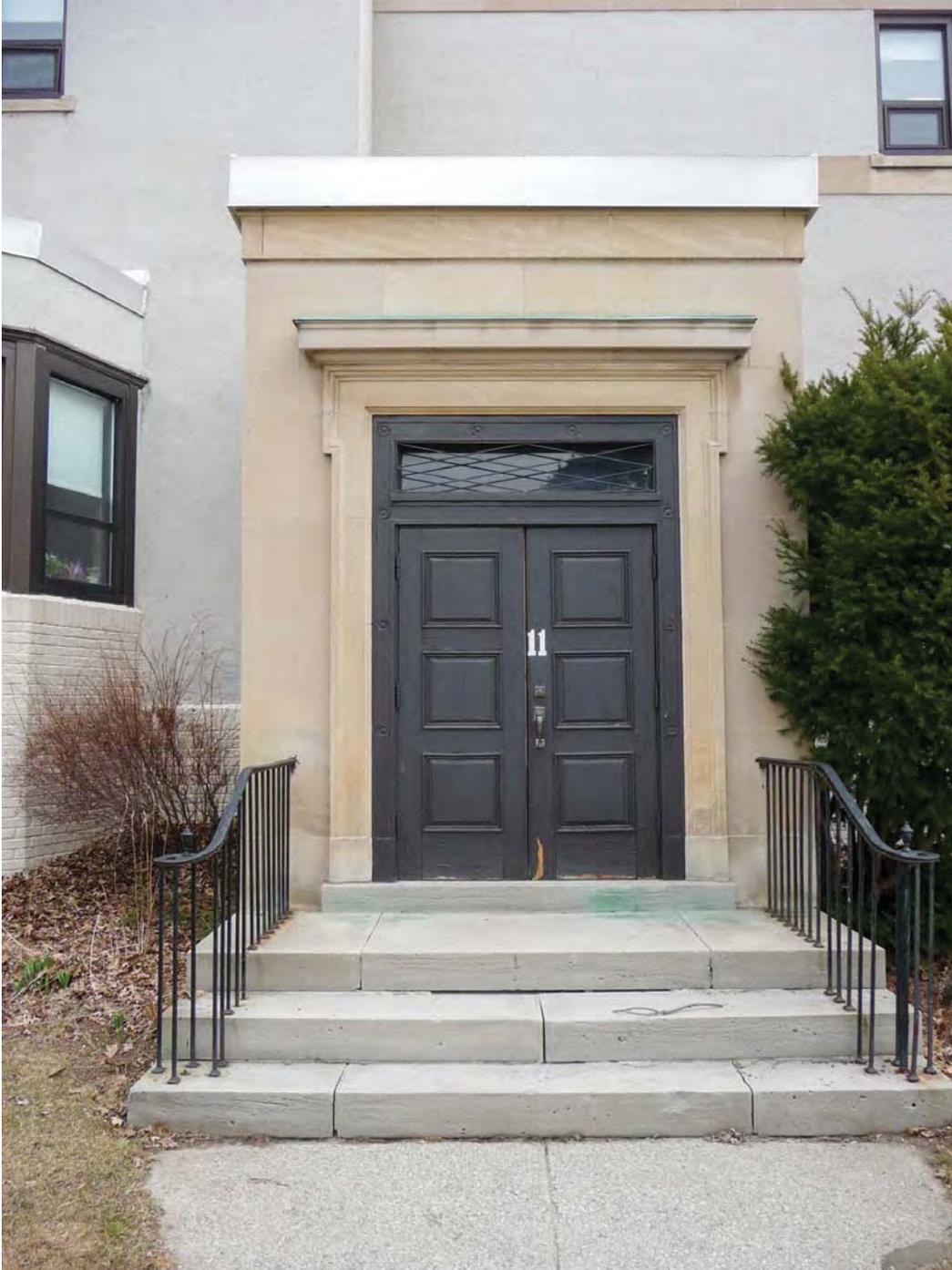
EXTERIOR – FRONT ELEVATION – STUCCO WITH HORIZONTAL STONE BANDING – PAINTED BRICK FOUNDATION



EXTERIOR – FRONT ELEVATION



EXTERIOR – FRONT ELEVATION



EXTERIOR – FRONT ELEVATION – ENTRANCE – CUT STONE GREEK REVIVAL STYLE DOOR SURROUND
– WOOD – WOOD PANELLED DOUBLE DOORS WITH SINGLE PULL – GLAZED TRANSOM WITH
DECORATIVE METAL GRILL – STONE STEPS – CURVED IRON HANDRAILS WITH DECORATIVE URNS



EXTERIOR – FRONT ELEVATION – BAY WINDOW – 'BRANTWOOD PUBLIC SCHOOL' LETTERING



EXTERIOR – FRONT ELEVATION



EXTERIOR – SOUTH SIDE ELEVATION



EXTERIOR – REAR ELEVATION



EXTERIOR – REAR ELEVATION & GYMNASIUM



EXTERIOR – REAR ELEVATION - GYMNAISUM LINK



EXTERIOR – REAR ELEVATION - GYMNASIUM



EXTERIOR – REAR ELEVATION - GYMNASIUM



EXTERIOR – REAR ELEVATION - GYMNASIUM LINK



EXTERIOR – REAR ELEVATION



EXTERIOR – REAR ELEVATION – BASEMENT WINDOWS WITH BRICK ARCHES



EXTERIOR – REAR ELEVATION



EXTERIOR – NORTH SIDE ELEVATION



EXTERIOR – FRONT YARD – LAWN & MATURE TREES



EXTERIOR – REAR SCHOOL YARD – PLAYING FIELD WITH MATURE TREES AROUND THE PERIMETER