





- SITE PLAN NOTES**
1. THIS DRAWING USES AN R-PLAN AND SURVEY OF EXISTING CONDITIONS CAD DRAWING BY J. H. GELBLOOM SURVEYING LIMITED THAT PROJECT NO. 19-189, DATED OCT. 7, 2019, AS AN UNDERLAYMENT FOR THE SITE DESIGN TO LOCATE THE ASTON MARTIN / BENTLEY OAKVILLE BUILDING.
  2. J. H. GELBLOOM SURVEYING LIMITED IS RESPONSIBLE FOR THE ACCURACY OF THE SITE SURVEY, CAD DRAWING (NOTED ABOVE) AS IT RELATES TO THE EXISTING SITE CONDITIONS (LEGAL, SURVEY, PROPERTY LINES, SETBACKS, EXISTING STREETS AND ADJACENT BUILDINGS, VIEW TRIANGLE, EASEMENTS, LEASE LINES, AND, ANY OTHER AGREEMENTS WITH THE LAND OWNERS).
  3. WEIS/LGA IS RESPONSIBLE TO CONSTRUCT THE BUILDING AND HAVE SUPERIMPOSED THE BUILDING FOOT PRINT OF THE ASTON MARTIN / BENTLEY OAKVILLE BUILDING INTO THE J. H. GELBLOOM SURVEYING LIMITED CAD SITE SURVEY PLAN (AS NOTED ABOVE).
  4. SITE WORK IN THE DRAWING IS FOR REFERENCE ONLY. REFER TO TRAFALGAR CIVIL SITE PLANS FOR ALL SITE RELATED WORK.

**SITE PLAN LEGEND**

REFER TO SITE PLAN NOTES

---	EXISTING PROPERTY LINE
----	EXISTING EASEMENT
----	ASPHALT PAVING AREA
----	PAINTED DIAGONAL REGION LINES
----	FINISHED CONCRETE
----	HEAVY DUTY CONCRETE PAVERS
----	LANDSCAPED AREA REFER TO LANDSCAPE
----	FIRE ACCESS ROUTE - HEAVY DUTY ASPHALT
----	SNOW DEPOSIT AREA
----	SNOW MELT SYSTEM AREA
----	GRAVEL AREA
----	ACCESSIBLE CURB RAMP C/W TACTILE INDICATOR
+	ACCESSIBLE PARKING SIGN
PH	FIRE HYDRANT
FD	FIRE DEPARTMENT CONNECTION
GM	GAS METER REFER TO MECH
▶	PRINCIPAL BUILDING ENTRANCE
▶	EXIT
▶	PEDESTRIAN ACCESS DOOR
▶	NEW VEHICLE DELIVERY DOOR
▶	CAR OVERHEAD DOOR
□	LAMP STANDARD / BOLLARD LIGHT FIXTURE
○	EV CHARGING STATION - INSTALLED / PROPOSED

REFER TO A102 - ROOF PLAN FOR ROOF TOP UNITS LOCATIONS AND SCREENING.  
REFER TO CIVIL PLANS FOR CURB ELEVATIONS, CATCH BASIN LOCATIONS.  
REFER TO LANDSCAPE PLANS FOR ALL LANDSCAPE ITEMS.  
REFER TO ELECTRICAL FOR ALL ELECTRICAL ITEMS.

BUILDING ENVELOPE

ISSUE DATE:

NO.	DATE	DESCRIPTION
1	2022.06.06	ISSUED FOR COMMITTEE OF ADJUSTMENT
2	2022.06.06	ISSUED FOR SPA RE-SUBMISSION 2
3	2022.06.17	ISSUED FOR BUILDING ENVELOPE TENDER
4	2022.06.17	ISSUED FOR SPA RE-SUBMISSION 1
5	2021.11.05	ISSUED FOR SPA
6	2021.09.13	ISSUED FOR BRANDS DESIGN REVIEW

PROJECT:  
**ASTON MARTIN & BENTLEY DEALERSHIP**

1311 NORTH SERVICE ROAD WEST  
OAKVILLE, ONTARIO

DRAWING TITLE:  
**SITE PLAN**

PROJECT NO: 19890  
SCALE: As Indicated  
DRAWN BY: Author  
REVIEWED BY: Checker

PROJECT NORTH

DRAWING NO:  
**A010**

**SITE STATISTICS**

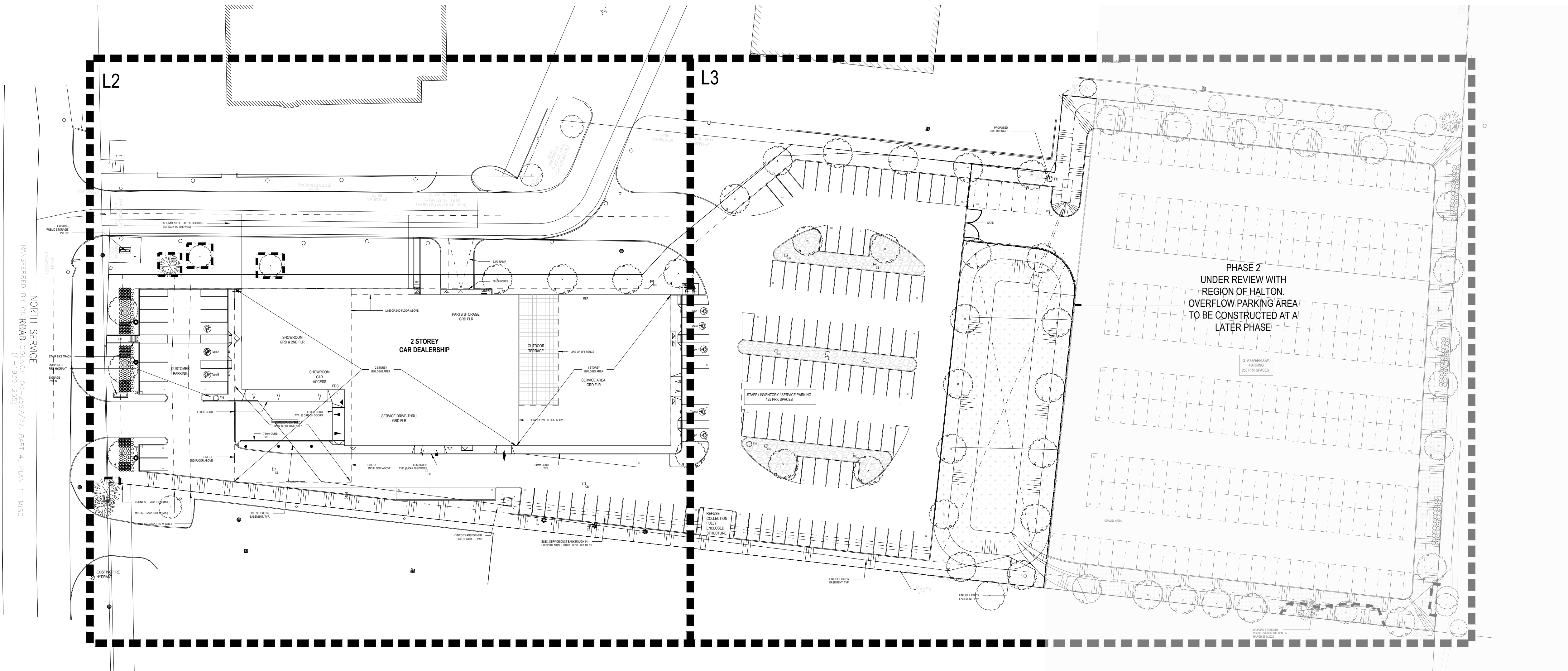
ZONING:	E1 - EMPLOYMENT
ABUTTING PROPERTIES:	EAST & WEST
NORTH:	N - NATURAL AREA
LOT AREA:	21,752.56 m <sup>2</sup> (5.175 ha / 3.38 Acres)
LOT FRONTAGE:	44.07 m
BUILDING AREA (1):	3,296.85 m <sup>2</sup> 15.2% Coverage
LANDSCAPED AREA:	5,238.07 m <sup>2</sup> 24.1% Coverage
HARD SURFACE AREA:	13,317.62 m <sup>2</sup> (2) 60.8% Coverage
SNOW STORAGE AREA:	1,995.50 m <sup>2</sup> 9.1% (3)
GFA:	GROUND FLR: 2,800.24 m <sup>2</sup> ± SECOND FLR: 2,311.81 m <sup>2</sup> GROSS FLOOR AREA: 5,112.05 m <sup>2</sup>
FLOOR AREA, NET:	GROUND FLR: 2,438.09 m <sup>2</sup> ± SECOND FLR: 2,060.09 m <sup>2</sup> NET FLOOR AREA: 4,498.18 m <sup>2</sup>
BUILDING HEIGHT:	ALLOWED: 30.0 m (4) PROPOSED: 12.87 m
PARKING:	REQUIRED: 107 TOTAL PARKING SPACES 107 Customer Spaces (6) 12 Customer Spaces (7) 2 B.F. Spaces (7) 126 Parking Spaces 243 Overflow Spaces (8)
BICYCLE PARKING:	REQUIRED: 2 = 0.25 / 1,000 m <sup>2</sup> net flr. a. 3 Spaces (9) PROVIDED: 3 Bicycle Racks 6 Total Bike PRK SPACES
SETBACKS:	REQUIRED: 3.0 m (Max.), 17.5 m (Max.) FRONT YARD: 28.94 m MTO SETBACK: 14.0 m REAR YARD: 3.0 m (Max.) SIDE YARDS: 3.0 m (Max.) FLANKAGE YARD: 3.0 m (Max.), 17.5 m (Max.)
BUILDING CLASSIFICATION:	MULTIPLE OCCUPANCY, 3.2.2.60 'E' and 3.2.2.70 'B' F2

1. As per O.B.C. 1.4.1.2  
2. Lot Area, minus (1) Building area, minus (1) Landscape area = 13,317.62 m<sup>2</sup> (Includes 7,267.68 m<sup>2</sup> of gravel surface Overflow parking area)  
3. Relative to at Hard Surface area incl. Overflow parking area  
4. As the Lot abuts a highway corridor and the building will be <20m from a residential low area  
5. Motor vehicle dealership - As per Zoning By-law 2014-014  
6. 1 + 2% of the total number of parking spaces  
7. Spaces located within the 14.0m highway setback area => do not count as parking spaces  
8. For Grand Touring Automobiles' overflow parking  
9. Employment Uses - As per Zoning By-law 2014-014



SITE PLAN  
A010 1:300





1 LANDSCAPE PLAN  
L-1 1:500

#### LEGEND

- PROPOSED DECIDUOUS TREE
- PROPOSED CONTINUOUS SHRUB BED
- HYDROSEEDING
- TREE PROTECTION FENCING PER TOWN OF OAKVILLE STANDARDS
- EXISTING DECIDUOUS TREE TO REMAIN
- EXISTING CONIFEROUS TREE TO REMAIN
- SOD SODDED AREA
- CSW CONCRETE WALKWAY

#### GENERAL NOTES


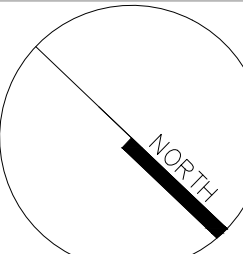
- Do not scale the drawings. All dimensions are in millimetres unless noted otherwise.
- This drawing is to be read in conjunction with the overall master plan and engineering drawings prepared by the project engineer and site plans prepared by the project architect.
- The contractor shall check and verify all existing and proposed grading and conditions on the project and immediately report any discrepancies to the consultant before proceeding with any work.
- The contractor is to be aware of all existing and proposed services and utilities. The contractor is responsible for having all underground services and utility lines staked by each agency having jurisdiction prior to commencing work.
- This drawing is to be used for development approval only. For layout of all work refer to construction drawings.
- Plant quantities indicated on the plan supercede the quantities from the plant list (report any discrepancies to the landscape architect).
- Do not leave any holes open overnight.
- Keep area outside construction zone clean and useable by others at all times. Contractor shall thoroughly clean areas surrounding the construction zone at the end of each work day.
- Contractor to make good any and all damages outside of the development area that may occur as a result of construction at no extra cost.
- This drawing is Copyright MHBC 2022.

2.	JUNE 09, 2022	ISSUED FOR MINOR VARIANCE	CC
2.	APRIL 1, 2022	ISSUED FOR SPA	HH
1.	NOVEMBER 3, 2021	ISSUED FOR SPA	CC
REVISION NO.	DATE	ISSUED / REVISION	BY

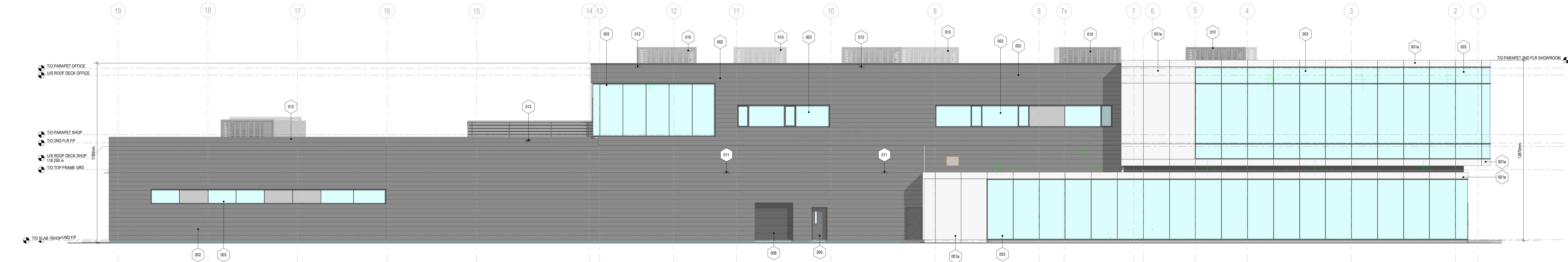


PLANNING  
URBAN DESIGN  
& LANDSCAPE  
ARCHITECTURE

230-7050 WESTON ROAD WOODBRIDGE, ON, L4L 6G7 | P: 905 761 5588 F: 905 761 5589 | WWW.MHBCPLAN.COM

<div>STAMP</div> <div></div> <div>ISSUED FOR SPA ONLY NOT FOR CONSTRUCTION</div> <div><small>All drawings and specifications are instruments of service and will remain the property of MHBC Planning and must be returned at the completion of the work. This drawing shall not be used for construction purposes unless the drawings are marked 'Issued for Construction' and the professional seal is signed and dated by the landscape architect.</small></div> <div>PROJECT</div> <div>1333 NORTH SERVICE ROAD W. OAKVILLE, ON</div> <div>FILE NAME</div> <div>LANDSCAPE PLAN</div> <div>SOURCE</div> <div><small>N:\19279\VA - 1333 North Service Road\2. Drawings\4. Landscape\5. 05-30-2022\19279A - Landscape Plan - 05-30-2022.dwg</small></div>	DATE	OCTOBER 2021
	DRAWN BY	CC
	PLAN SCALE	1:500
	FILE NO.	19279A
	CHECKED BY	N.M.
	OTHER	
		
	DWG NO.	L1

LEGEND - KEYNOTES	
TAG	DESCRIPTION
001	ALUMINUM COMPOSITE PANEL CLADDING SYSTEM, ACM 1, COLOR: WHITE
001a	ALUMINUM PANEL CLADDING SYSTEM, AP 1, COLOR: WHITE TO MATCH ACM 1
002	PREFINISHED METAL SIDING SYSTEM, MSc 1, COLOR: GREY
003	GLAZED ALUMINUM CURTAIN WALL SYSTEM
004	GLAZED DOOR
005	SOLID DOOR, COLOUR TO MATCH TRAPEZIUM METAL CLADDING SYSTEM, GREY
006	OVERHEAD DOOR, HIGH SPEED W/ GLAZED PANELS
007	OVERHEAD DOOR, HIGH SPEED W/ SOLID PANELS
008	OVERHEAD DOOR, SECTIONAL W/ SOLID PANELS
009	SIGNAGE
010	ROOF TOP UNIT SCREENS, TYP. COLOUR TO MATCH TRAPEZIUM METAL CLADDING SYSTEM, GREY
011	EXTERIOR WALL MOUNTED LIGHTS
012	ROOF SCUPPER, WALL MOUNTED
013	FIRE DEPARTMENT CONNECTION
014	MECHANICAL UNIT (REFER TO MECHANICAL DRAWINGS)
017	ROOF HATCH



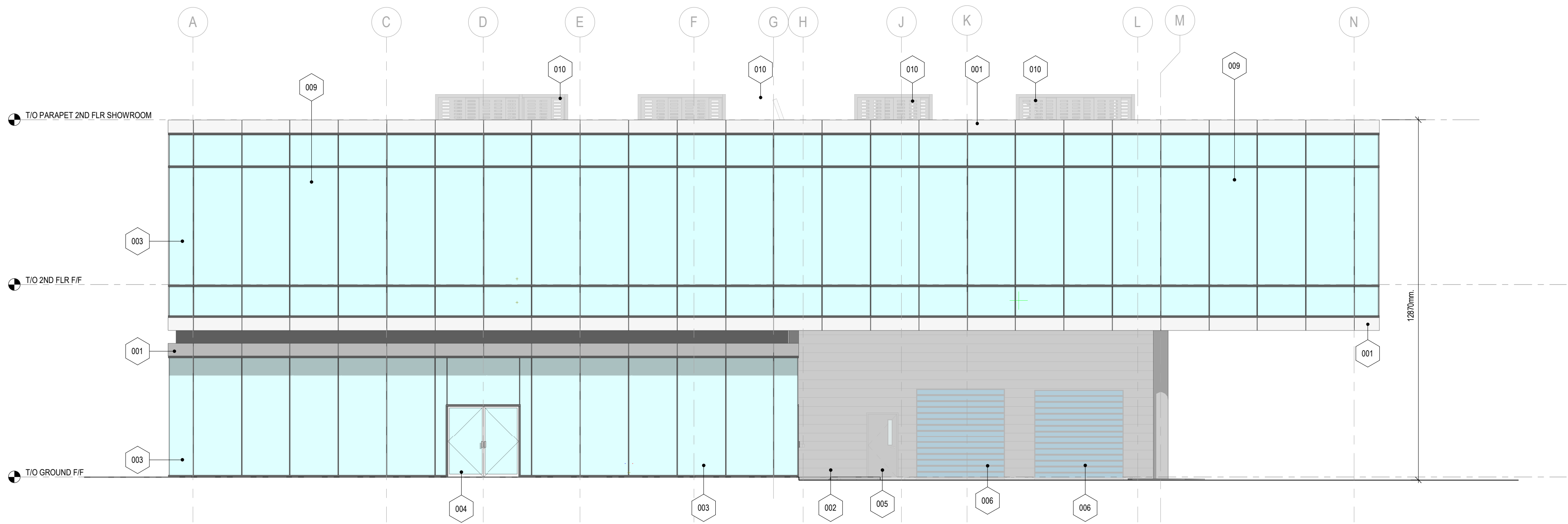
4 WEST ELEVATION

A200 ssp 1 : 100



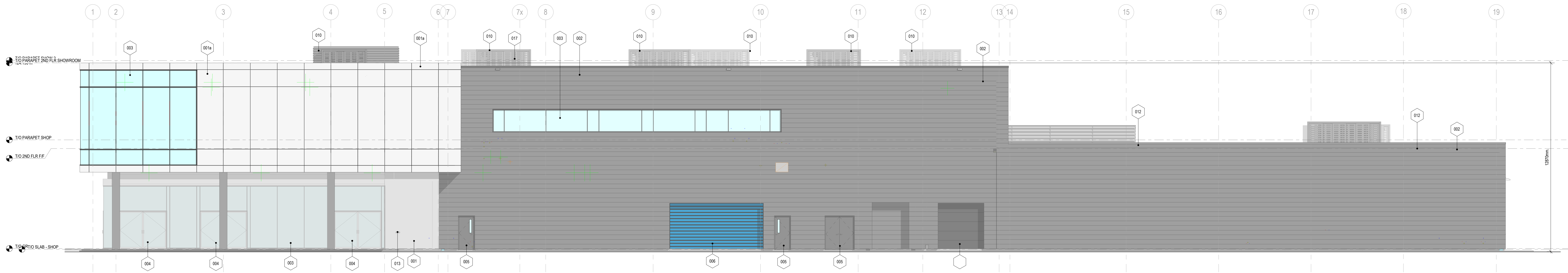
2 NORTH ELEVATION

A200 ssp 1 : 100



3 SOUTH ELEVATION

A200 ssp 1 : 100



1 EAST ELEVATION

A200 ssp 1 : 100

ISSUE DATE:

NO.	DATE	DESCRIPTION
1	2022.06.06	ISSUED FOR COMMITTEE OF ADJUSTMENT
2	2021.03.25	ISSUED FOR SPA RE-SUBMISSION 1
3	2021.11.05	ISSUED FOR SPA

PROJECT:

ASTON MARTIN &  
BENTLEY  
DEALERSHIP

1333 NORTH SERVICE ROAD  
OAKVILLE, ONTARIO

DRAWING TITLE:

EXTERIOR  
ELEVATIONS

PROJECT NO:

19890

SCALE:

1 : 100

DRAWN BY:

Author

REVIEWED BY:

Checker

DRAWING NO:

A200