

METRIC: DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.


CLIENT

JM Lakeshore -Bronte Inc.

ISSUED

No.	DATE	DESCRIPTION
	2022/01/10	ISSUED FOR COORDINATION
1	31/03/2021	ISSUED FOR SITE PLAN APPLICATIONS
2	20/08/2021	ISSUED FOR REVIEW
3	2021/09/24	RE-ISSUED FOR SITE PLAN APPLICATIONS
4	2021/12/22	RE-ISSUED FOR SITE PLAN APPLICATIONS
5	2022/04/22	RE-ISSUED FOR SITE PLAN APPLICATIONS

SURVEYOR'S REAL PROPERTY REPORT
PART 1
TOPOGRAPHIC PLAN OF SURVEY OF
PART OF LOTS 1, 7, 8, 10 AND 11 AND
ALL OF LOTS 1A, 2, 3, 4, 5 AND 9
REGISTERED PLAN M-8
TOWN OF OAKVILLE
REGIONAL MUNICIPALITY OF HALTON
SCALE 1:200



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SURVEYOR'S REAL PROPERTY REPORT
PART 2
THIS PLAN MUST BE READ WITH SURVEYOR'S REAL PROPERTY
REPORT DATED FEBRUARY 18, 2021.

NOTES

Q	DENOTES	STAINED MONUMENT
A	"	FOUND MONUMENT
B	"	STANDARD IRON BAR
C	"	SUBSTANDARD IRON BAR
D	"	IRON BAR
E	"	CONCRETE PIN
CC	"	CUT CROSS
P1	"	HALTON CONDOMINIUM PLAN No. 282
P2	"	HALTON CONDOMINIUM PLAN No. 275
P3	"	KIT & MELL, O.L.S., SURVEY DATED MAY 18, 1978
P4	"	REGISTERED PLAN M-8
P5	"	PLAN ZOR-3653
P6	"	PLAN ZOR-3921
M	"	MEASURED
760	"	KIT, McCONNELL, O.L.S.
W	"	WITNESS
HCP	"	HALTON CONDOMINIUM PLAN
CONC.	"	CONCRETE
MR	"	METAL RAILING
W	"	WOOD RAILING
TRW	"	RETAINING WALL
	"	BOARD FENCE

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE NORTHEAST LIMIT OF
OF LOT 11 AS SHOWN ON REGISTERED PLAN M-8, HAVING A BEARING OF N51°46'00"W

THIS REPORT WAS PREPARED FOR TERCOT
AND OTHER APPLICABLE PARTIES TO CURRENT TRANSACTIONS ONLY,
AND THE UNDERSIGNED IS NOT LIABLE FOR ANY FUTURE TRANSACTIONS.

BENCHMARK NOTE

ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE REFERRED TO TOWN OF OAKVILLE BENCHMARK No. O.B.M. No. 187, HAVING A PUBLISHED ELEVATION OF 83.018 METRES.

CONTOUR INTERVAL 0.50m

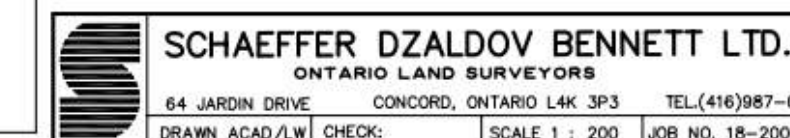
SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 28TH DAY OF JANUARY, 2021.

DATE: FEBRUARY 18, 2021.

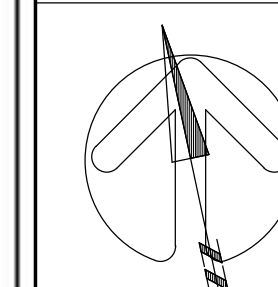
DAN DZALDOV
ONTARIO LAND SURVEYOR



No.	DATE	DESCRIPTION
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REVISIONS

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PROJECT
Lakeshore and Bronte
Development
Lakeshore Rd W.
Oakville, ON
L6L 1H7

SHEET TITLE
SURVEY

DRAWN BY:	CHKD BY:	DATE:	SCALE:
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DRAWN BY:	CHECKED BY:	DATE:	SCALE:
Author	Checker	2022/01/10	

PROJECT NO:	DWG NO.
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125341

A003



O.B.C.MATRIX

IBI GROUP ARCHITECTS (CANADA) INC.

7th floor - 55 St. Clair Avenue West
Toronto, Ontario
M4V 2Y7

Certificate of Practice Number: 3833

Name of Project:
Location: Lakeshore Rd W. Oakville, ON L6L 1H7

This Ontario Building Code Matrix applies to drawings listed on this sheet.

Title			Ontario Building Code Data Matrix Part 3		O.B.C. Reference
1	Project Description:		New Construction of a Residential Building 6 Storey Mixed Use Building with Mechanical Penthouse and roof access 2 Levels of Below Grade Parking		<input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Alteration <input type="checkbox"/> Change Of Use
2	Major Occupancy(s):		Residential Retail space on ground floor 2 Levels Of Below Grade Parking		3.1.2.1. 11.5.1.1
3	Building Area (sm)		Total = 4,868 sm		3.2.2.
4	Zoning Gross Floor Area (sq.m.)		Overall = 17,279 sm		
5	Number of Storeys:		Above Grade: 6 Below Grade: 2		
6	Height of Building: (m)		20.75 m		
7	Number of Streets/Access Routes:		2		
8	Building Classification:		Group C - Any Height, Any Area Group F - Div. 3 - Loading Area, P1 to P2 Levels Group E - Div. 3 - Mercantile		3.2.2.43, 3.2.2.57, 3.2.275 and 3.2.215
9	Sprinkler System Proposed:		<input checked="" type="checkbox"/> Entire Building <input type="checkbox"/> Basement <input type="checkbox"/> In Lieu of Roof Rating <input type="checkbox"/> Not Required		
10	Standpipe Required:		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		3.2.9.
11	Fire Alarm Required:		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		3.2.4.
12	Water Service/Supply is Adequate:		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		3.2.5.7.
13	High Building:		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		3.2.6
14	Construction:		<input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-Combustible		3.2.2.43, 3.2.2.57, 3.2.275 and 3.2.215
15	Mezzanine(s) Area (s.m.)		N/A		3.2.1.1. (3)-(8)
16	Occupant Load	<input checked="" type="checkbox"/> sq.m./person	<input checked="" type="checkbox"/> design of building		3.1.17.
17	Barrier Free Design:		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No(explain)		3.8.2.1.
18	Hazardous Substances:		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
19	Required Fire Resistance Ratings (FRR)	Horizontal Assemblies FRR (Hours)	O.B.C. Supp. Standard SB-2		
		Floors:	2 Hr		Concrete Slab
		Roof:	0 Hr		Concrete Slab
		Load-bearing walls:	2 Hr		Concrete
		Occupied roof:	2 Hr		Concrete
20	Spatial Separation - Construction Of Exterior Walls				3.2.3.

DEVELOPMENT STATISTICS

m - Denotes Meters
sm - Denotes Square Meters
Gross Lot Area - is lot area without road widening
Net Lot Area - is lot area with the deduction of road widening

PROJECT DATA			
Municipal Address of Subject Lands:		2452-2432 Lakeshore Road West & 87-99 Bronte Road, Oakville, ON	
Zoning:		By-law 2014-014	
Site Plan Application No.:		Dec-21	
Permitted Use:	MU1	Proposed Use : Commerical Residential	MU1
Permitted F.S.I. - Overall:		Proposed F.S.I.:	
Permitted F.S.I. - Residential:		Gross FSI	2.95
Permitted F.S.I. - Commercial:		Net FSI	3.02
Permitted GFA Combined:	sm	Proposed Floor Area, Net - Overall:	17,297.00 sm
		Floor Area, Net - Residential :	15,263.00 sm
		Floor Area, Net - Commercial:	2,034.00 sm
Permitted Lot Coverage:	N/A	Proposed Lot Coverage:	
		Gross Lot Coverage:	83.0%
		Net Lot Coverage:	85.1%
		LOTS 1, 7, 8,10 AND 11 AND ALL OF LOTS 1A, 2, 3, 4, 5, AND 9 REGISTERED PLAN M-8	
Lot Area - overall:			
	Gross Lot Area	5,868.10 sm	
	Net Lot Area	5,719.00 sm	
	Road Widening Area	149.10 sm	
Lot Frontage:	100.71	No of Frontages:	2
Lot Depth (Average):			
	Gross Lot Depth	69.500 m	
	Net Lot Depth	67.900 m	
Established Grade:	82.05 m	CDG (Canadian Geodatic Datum)	

BUILDING HEIGHT			
PERMITTED	m	PROPOSED	m
Height	22	Height to Top of Residential Floor:	20.75
		Height to Top of MPH Roof:	24.75
No. of Storeys Permitted	6	No. of Storeys Proposed:	6

BUILDING SETBACKS			
PERMITTED	m	PROPOSED	m
Front Yard Setback		Front Yard Setback (West Side)	
Side Yard Setback		Ground floor - 4th Floor	1.00
Side Yard Setback		5th - 6th floor	5.10
Rear Yard Setback		Side Yard Setback (South Side)	
		Ground floor - 4th Floor	0.30
		2nd - 4th Floor	0.40
		5th - 6th Floor	4.00
		Side Yard Setback(North Side)	
		Ground floor - 2nd Floor	5.00
		3rd - 4th Floor	6.00
		5th - 6th Floor	7.50
		Rear Yard Setback (East Side)	
		Ground Floor	0.00
		2nd - 4th Floor	7.50
		5th - 6th Floor	8.50

PROPOSED AREAS			
Residential Floor Area, Net****	17,297.00	**** Floor Area, Net as defined by Zoning By-law 2014-014	
		At Grade Condition:	
		Ground Floor Area*	4,868.00
		Landscaped Open Space**	979.00
		Soft Landscaping	184.00
		Hard Landscaping areas	795.00
		** Soft Landscaping + Hard Landscaping areas	

RESIDENTIAL UNITS			
		PROPOSED	Units
		Total Number of Residential Units:	203

BREAKDOWN OF PROJECT DATA BY COMPONENTS			
		RESIDENTIAL UNIT MIX	
Unit Type:	Unit Count:	Typical Unit Size:	Percent
Studio	3		1%
1 Bedroom	97		48%
2 Bedroom	103		51%
TOTAL:	203		100%

AMENITY			
REQUIRED	sm	PROVIDED	sm
Total Indoor Residential Amenity		Total Indoor Residential Amenity	470.00
Total Outdoor Residential Amenity		Total Outdoor Residential Amenity	1181.00

PARKING SPACE			
REQUIRED	Prk.Spaces	PROVIDED	Prk.Spaces
Total Parking Spaces:	271	Total Parking Spaces:	272
Breakdown of parking space by use allocation:		Breakdown of parking space by use allocation:	
Residential	174	Residential	175
Visitor	41	Visitor	41
Retail	56	Retail	56

BICYCLE PARKING SPACE			
REQUIRED		PROVIDED	
Bicycle Parking:	Spaces 30 min.	Bicycle Parking :	Spaces 49

LOADING SPACE			
REQUIRED		PROVIDED	
RESIDENTIAL (Dwelling Unit in and Apartment Building)			
Type of Loading Space Required:	1 Type "G"	Type of Loading Space Provided:	Shared Type "G"

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GENERAL NOTES

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- OVERHEAD DOORS THE COLLECTION VEHICLE WILL BE PASSING THROUGH HAVE A MINIMUM WIDTH OF 4 m AND A MINIMUM OVERHEAD CLEARANCE OF 4.4 m.
- TYPE G LOADING SPACE THAT IS LEVEL (+/-2%), AND IS CONSTRUCTED OF A MINIMUM OF 200 MM REINFORCED CONCRETE.
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- BUILDING TO BE FULLY SPRINKLED
- AREA INDICATED ON FLOOR PLANS IS INCLUDING EXTERIOR WALLS. FOR THE PURPOSE OF THE STATISTICS, AREA IS CALCULATED BASED ON BY-LAW 2014-014

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REVISIONS		

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SEAL

PROJECT
Lakeshore and Bronte Development
Lakeshore Rd W.
Oakville, ON
L6L 1H7

SHEET TITLE
STAT. & CONTEXT

DRAWN BY: CHK'D BY: DATE: SCALE:
Author Checker 2022/01/10 As indicated

PROJECT NO: DWG NO.
125341 A001

LAKESHORE AND BRONTE MIXED-USE DEVELOPMENT

Lakeshore Rd W.
Oakville, ON
L6L 1H7

SITE PLAN APPROVAL APPLICATION



DRAWING LIST	
A000	COVER PAGE
A001	STAT. & CONTEXT
A002	CONTEXT VIEWS
A003	SURVEY
A004	SITE PLAN
A101	PARKING LEVEL P2 PLAN
A102	PARKING LEVEL P1 PLAN
A103	GROUND FLOOR PLAN
A103A	GROUND FLOOR PLAN (LAND USE SKETCH)
A104	2nd FLOOR PLAN
A105	3rd FLOOR PLAN
A106	4th FLOOR PLAN
A107	5th FLOOR PLAN
A108	6th FLOOR PLAN
A109	MECH. LEVEL PLAN
A110	ROOF PLAN
A201	SECTIONS
A301	ELEVATIONS
A302	ELEVATIONS
A303	LAKESHORE SIDE ENLARGED ELEV.
A304	BRONTE SIDE ENLARGED ELEV.
A401	RENDERED VIEWS
A402	RENDERED VIEWS
A403	RENDERED VIEWS
A501	SAMPLE MATERIALS

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SEAL

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L6L 1H7

SHEET TITLE
COVER PAGE

DRAWN BY: Author	CHKD' BY: Checker	DATE: 2022/01/10	SCALE: 1 : 100
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PROJECT NO: 125341	DWG NO. A000
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1 LAKESHORE SIDE ELEV.
A301 Scale: 1 : 200



2 BRONTE SIDE ELEV.
A301 Scale: 1 : 200

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SEAL

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Oakville, ON
L6L 1H7

SHEET TITLE
ELEVATIONS

DRAWN BY: CHK'D BY: DATE: SCALE:
Author Checker 2022/01/10 As indicated

PROJECT NO: DWG NO.
125341 A301



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 - BUILDING TO BE FULLY SPRINKLED.
 - AREA INDICATED ON FLOOR PLANS IS INCLUDING EXTERIOR WALLS, FOR THE PURPOSE OF THE STATISTICS, AREA IS CALCULATED BASED ON BY-LAW 2014-014.

No.	DATE	DESCRIPTION
REVISIONS		

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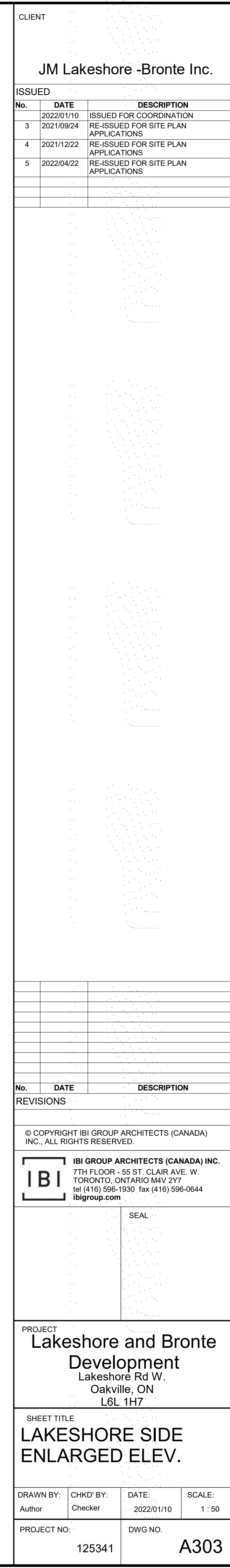
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tel (416) 596-1930 fax (416) 596-0644
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SEAL

PROJECT
Lakeshore and Bronte Development
Lakeshore Rd W.
Oakville, ON
L6L 1H7

SHEET TITLE
ELEVATIONS

DRAWN BY: Author	CHKD' BY: Checker	DATE: 2022/01/10	SCALE: As indicated
PROJECT NO: 125341	DWG NO. A302		



PROJECT NO: 125341	DWG NO. A303
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CLIENT

JM Lakeshore -Bronte Inc.

ISSUED		
No.	DATE	DESCRIPTION
3	2022/01/10	ISSUED FOR COORDINATION
4	2021/09/24	RE-ISSUED FOR SITE PLAN APPLICATIONS
5	2021/12/22	RE-ISSUED FOR SITE PLAN APPLICATIONS
6	2022/04/22	RE-ISSUED FOR SITE PLAN APPLICATIONS

No.

DATE

DESCRIPTION

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SEAL

PROJECT
Lakeshore and Bronte Development
Lakeshore Rd W.
Oakville, ON
L6L 1H7

SHEET TITLE
BRONTE SIDE
ENLARGED ELEV.

DRAWN BY: Author	CHKD' BY: Checker	DATE: 2022/01/10	SCALE: 1 : 50
PROJECT NO: 125341		DWG NO. A304	



CLIENT

JM Lakeshore -Bronte Inc.

ISSUED		
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1	2022/01/10	ISSUED FOR COORDINATION
2	31/03/2021	ISSUED FOR SITE PLAN APPLICATIONS
3	20/08/2021	ISSUED FOR REVIEW
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SEAL

PROJECT
Lakeshore and Bronte Development
Lakeshore Rd W.
Oakville, ON
L6L 1H7

SHEET TITLE
RENDERED VIEWS

DRAWN BY: Author	CHKD' BY: Checker	DATE: 2022/01/10	SCALE: 1 : 100
PROJECT NO: 125341		DWG NO. A401	



CLIENT

JM Lakeshore -Bronte Inc.

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SEAL

PROJECT
Lakeshore and Bronte Development
Lakeshore Rd W.
Oakville, ON
L6L 1H7

SHEET TITLE
RENDERED VIEWS

DRAWN BY: Author	CHKD' BY: Checker	DATE: 2022/01/10	SCALE:
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PROJECT NO: 125341	DWG NO: A402
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CLIENT

JM Lakeshore -Bronte Inc.

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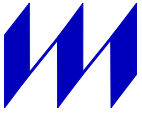
SEAL

PROJECT
**Lakeshore and Bronte
Development**
Lakeshore Rd W.
Oakville, ON
L6L 1H7

SHEET TITLE
RENDERED VIEWS

DRAWN BY: Author	CHKD' BY: Checker	DATE: 2022/01/10	SCALE:
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PROJECT NO: 125341	DWG NO. A403
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WESTON CONSULTING

planning + urban design

Town of Oakville
Committee of Adjustment
1225 Trafalgar Road
Oakville, ON.
L6H 0H3

December 23, 2021
File 9871

Attn: Heather McCrae, Secretary-Treasurer

**RE: Minor Variance Application
2452-2432 Lakeshore Road West & 87-99 Bronte Road
Town of Oakville**

Weston Consulting is the planning consultant for JM Lakeshore-Bronte Inc., the legally registered owner of the lands located at 2452-2432 Lakeshore Road West and 87-99 Bronte Road (herein referred to as the “subject lands”) in the Town of Oakville. This Planning Letter has been prepared in support of a Minor Variance application to seek relief from provisions in the Town of Oakville Zoning By-law 2014-014. The requested variances will facilitate the development of a 6-storey mixed-use building which is comprised of 203 residential units, 2,210 square metres of commercial space and 1,653 square metres of amenity space. The purpose of this Minor Variance application is to address non-compliances that were identified by Town Zoning Staff through their review of Site Plan Approval application SP.1729.073/01.

Description of Subject Lands and Area Context

The subject lands are located on the north east corner of Lakeshore Road West and Bronte Road. The site has a net lot area of 5,719 square metres (1.4 acres) and has a lot frontage of 92.75 metres on Lakeshore Road West and 70.40 metres on Bronte Road. The subject lands are currently occupied by commercial uses and associated parking (Figure 1).

Land Uses surrounding the subject lands are as follows:

- **North:** Directly north of the subject lands, across Lakeshore Road, is a commercial plaza and associated parking which has approvals in place for mixed- use high density development. Further to the north is a low-rise residential neighbourhood consisting primarily of single-detached houses.
- **South:** Directly south of the subject lands, across Bronte Road, is a commercial building. Further to the south is the Bronte Harbour.

- **East:** Directly east of the subject lands, on the east side of Marine Drive, is the Shores Condominiums building. Further east of Ontario Street is the Bronte Heritage Waterfront Park.
- **West:** Directly west of the subject lands, commercial uses front onto Lakeshore Road West and Bronte Road. Condominium and apartment buildings also front onto Bronte Road, backing onto Bronte Creek.



Figure 1: Subject Lands and Area Context

Applicable Planning Policy

The subject lands are located within the Bronte Village Growth Area of the Town of Oakville. The Livable Oakville Official Plan designates the lands as *Main Street Two* on Schedule P-1. Mixed-use apartments are permitted to a height of 6 storeys. The subject lands are similarly zoned *H1-MU2: Main Street 2* in the Town of Oakville Zoning By-law 2014-014. The *MU2* zone permits uses and heights consistent with that of the Official Plan. Minimum and maximum permitted heights are 4 and 6 storeys (13.5 metres to 22 metres respectively).

The site is subject to Holding Provision *H1*. Section 16.3 of Zoning By-law 2014-014 provides the details of the Holding Provision and the conditions for its removal. A Hold Removal application was submitted to the Town in November of 2021 to address the condition of the Holding Provision. The application has been circulated to the required reviewing departments and agencies. Through correspondence with City Staff, it is anticipated that the Hold Removal application will be considered by Council in February 2022.

Proposed Development

In April 2021, Weston Consulting on behalf of J.M Lakeshore-Bronte Inc., submitted a Site Plan Application (SP.1729.073/01) to the Town of Oakville to facilitate the redevelopment of the subject lands. Based on the comments received in July 2021, the proposed development has subsequently been revised.

The proposed development consists of a 6-storey mixed-use building with a net floor area of 17,287 square metres and building height of 20.75 metres. The ground floor of the proposed development consists of 2,086 square metres of commercial space. A mail room is located on the ground floor, near the lobby of the residential entrance. A total of 203 residential units are proposed, including studio, two-bedroom and three-bedroom units. These units are located on floors 2 to 6 of the proposed development. Vehicular access to the proposed development is provided off of Bronte Road. All loading, waste collection and vehicular movements will be contained within the podium of the building from Bronte Road.

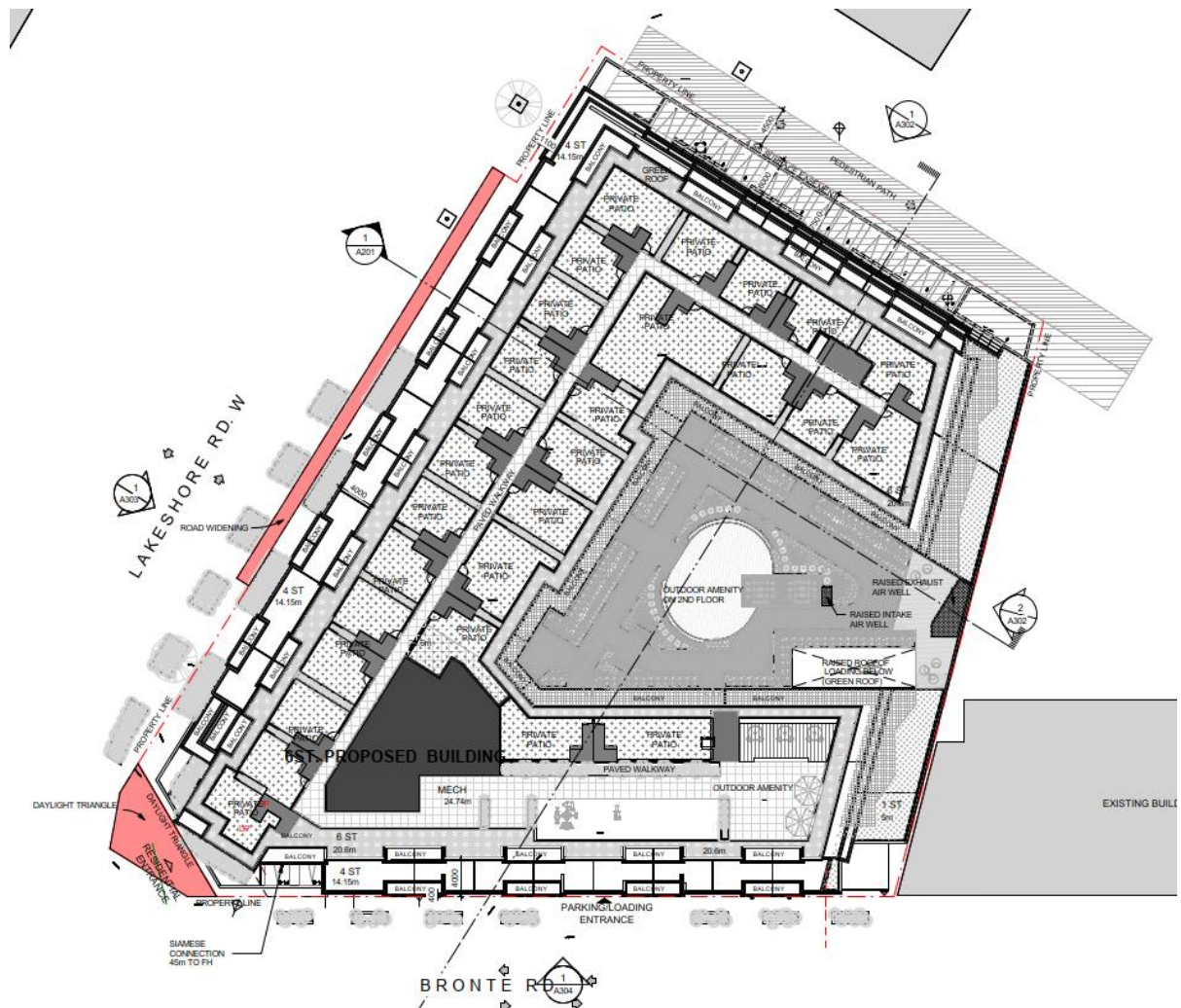


Figure 2: Proposed Site Plan

A total of 276 parking spaces are provided, with 38 spaces provided at grade and 245 spaces located within 2-levels of underground parking. Of the parking total, 220 parking stalls will be for residents/visitors and 56 parking stalls will be provided for the proposed commercial uses located at grade. Additionally, a total of 205 bicycle parking stalls are provided.

Purpose of Requested Minor Variance Application

As noted above, zoning non-compliances were identified through the review of Site Plan Application. The enclosed Minor Variance application seeks address these deficiencies:

1. Part 4 – General Provisions, Section 4.3 Allowable Encroachments and Projections:

Table 4.3 permits *Balconies* only within front and rear yards.

The proposed development contemplates balconies within the flankage yard (Lakeshore Road) (Figure 3).

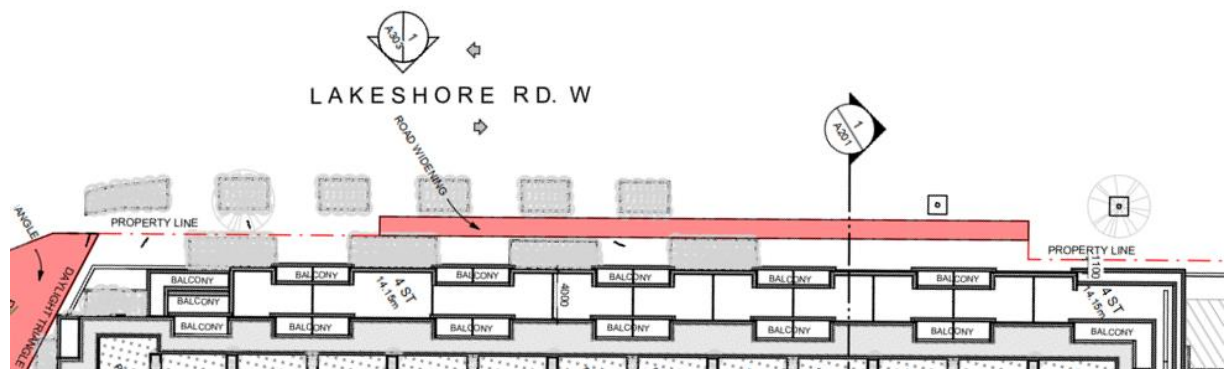


Figure 3: Site Plan (Drawing A004)

2. Part 4 – General Provisions, Section 4.3 Allowable Encroachments and Projections:

Table 4.3 limits Balcony projections to a maximum of 1.5 m beyond the main wall.

The development proposes a maximum balcony projection of 3.6 m beyond the main wall (Figure 4).

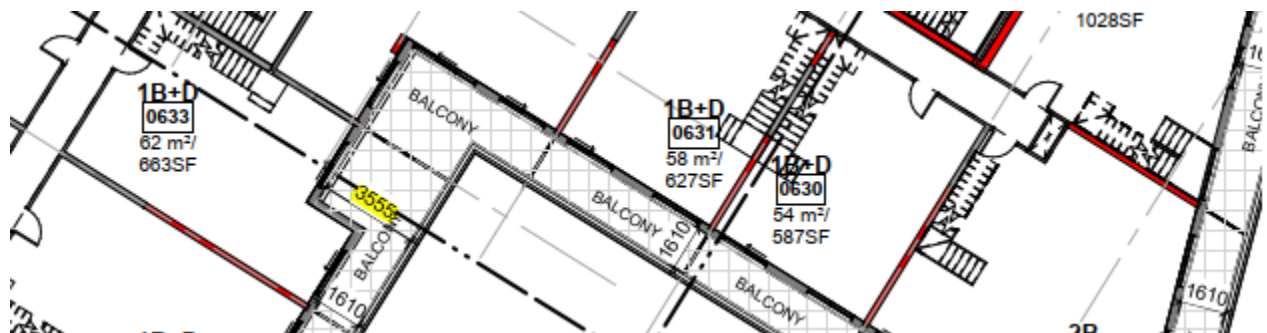


Figure 4: Sixth Floor Plan (Drawing A108)

3. Part 8 – Mixed Use Zones, Section 8.2 Permitted Uses:

Table 8.2, Footnote 3b) limits ancillary residential uses on the first storey to a maximum of 15% of the length of the main wall oriented toward a front lot line (Bronte Road).

The proposed development contemplates ancillary residential uses to occupy 17% of the length of the main wall oriented toward the Bronte Road front lot line (Figure 5).

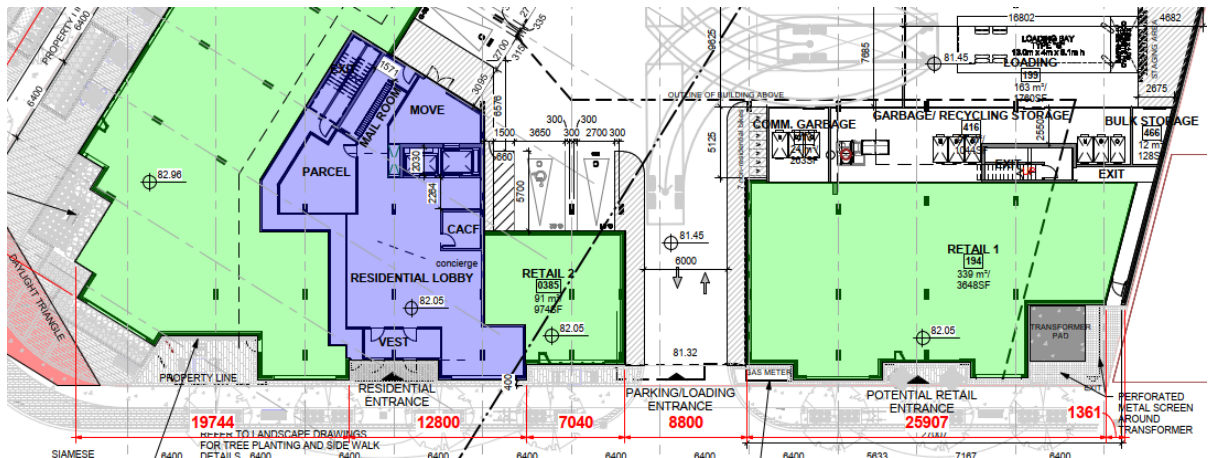


Figure 5: Ground Floor Plan – Land Use Sketch (Drawing A103A)

Planning Analysis and Justification

Section 45 (1) of the *Planning Act* authorizes the Committee of Adjustment to grant minor variances from the provisions of the Zoning By-law, provided that the application satisfies the following four tests:

- *The variance requested maintains the general intent and purpose of the Official Plan;*
- *The variance requested maintains the general intent and purpose of the Zoning By-law;*
- *The variance is desirable for the appropriate use of the land; and,*
- *The variance is minor in nature.*

The following will demonstrate how the proposed development and associated requested variances will satisfy each test.

Four Tests – Section 45(1) of the *Planning Act*

Test 1: Does the application conform to the general intent and purpose of the Official Plan?

The subject lands are located within the Bronte Village Growth Area of the Town of Oakville. The Livable Oakville Official Plan designates the lands as *Main Street Two*. The intent of the *Mixed-Use Two* designation is to allow for a mix of residential, commercial and office uses through the

efficient use of municipal services and infrastructure. Additionally, development is intended to be mixed-use and characterized by high quality design standards appropriately scaled for the pedestrian environment for the emerging Bronte Village gateway. The minimum building height permitted within the *Mixed Use Two* designation is 4-storeys, with a maximum permitted height of 6-storeys. Additionally, the ground floor uses are intended to consist primarily of retail and service commercial with minimal office, ancillary and residential uses.

The proposed development will provide a mix of residential and commercial uses in a pedestrian friendly built-form which is consistent with the Village scale of the Lakeshore corridor. The ground floor of the proposed development is comprised of 2,086 square metres of commercial space, with minimal ancillary residential uses (apartment vestibule and lobby). Additionally, the development proposes a maximum height of 6-storeys (20.75 metres), of which is permitted by of the Official Plan.

The proposed development supports and compliments the planned character of the *Main Street Two* land use designation and proposes a height and density that is supported by the applicable policies of the Official Plan. It is our opinion that the proposed development conforms to the general intent and purpose of the Official Plan.

Test 2: Does the application conform to the general intent and purpose of the Zoning By-law?

The requested variances maintain the general intent and purpose of the City of Oakville Zoning By-law 2014-014 with respect to the *MU2: Main Street Zone 2* zone requirements. The intent of the *MU2* zone is to provide the opportunity for this zone to be developed and used for mixed-use purposes and to provide development restrictions to regulate how development is situated on the lot. The proposed commercial and residential uses are permitted under the *MU2* zone.

Below is a summary of the requested variances with an explanation as to how they maintain the general intent and purpose of the Zoning By-law:

- **Balcony Encroachment:** The proposed development contemplates balconies within the flankage yard. Lakeshore Road West is a large boulevard that is designated as a *Primary Street* that connects to the *Gateway* at the corner of Lakeshore Road West and Bronte Road. *Gateways* and *Primary Streets* are intended to enhance the character of the neighbourhood by providing visually prominent built forms and structures that have consideration for the creation of an enhanced pedestrian realm. By providing balconies along the flankage yard, the proposed development will contribute to the unique character of Lakeshore Road West, enhancing the pedestrian realm and continuing the high degree of transparency proposed for the commercial uses on the ground floor. The Lakeshore balconies, which start at the second storey, are setback from the property line by 2.6 metres. As the building rises, the balconies are set further away at 6.2 metres (6th floor). This setback dramatically limits overlook into public realm.
- **Balcony Projection:** The proposed development contemplates a maximum balcony projection of 3.6 metres beyond the main wall. It is important to note that a projection of

3.6 metres is provided at a select few locations of the proposed development, specifically at an interior corner facing the internal courtyard. Figure 4 above highlights the location of the largest balcony. The majority of the proposed balconies have a balcony projections ranging from 1.3 metres to 2.1 metres. The locations that propose larger balcony projections are located within the interior courtyard and on the fourth-storey, fronting onto Lakeshore Road West. Additionally, the requested increase in permitted balcony projection acts as an extension of living spaces, allowing residents to access useable private outdoor space from their unit.

- **Ancillary Residential Uses:** The proposed development contemplates ancillary residential uses to occupy 17% of the length of the main wall oriented toward the Bronte Road front lot line. As illustrated on Figure 5, the ancillary residential area (blue) represents a small portion of the Bronte Road street wall. The requested variance reflects the need to provide adequate and safe residential access to the building, while also providing ample lobby space to meet the needs of future residents. Recognizing that the subject lands are located on a corner lot, a 2% increase of ancillary residential use on the Bronte Road frontage is justified through the provision of maximized commercial frontage along Lakeshore Road West and the pedestrian path along the rear lot line. Taken as a whole, the three public-facing facades of the building have 7% dedicated to ancillary residential uses. The intent of this zoning regulation is to ensure that public uses are the primary use that face the public realm. As stated above, only 7% of the pedestrian realm is dedicated to residential uses. The proposed 2,220 square metres of commercial floor space is an increase from the initial submission of 1,966 square metres.

Test 3: Is the variance desirable for an appropriate use of the lands?

The requested variances are consistent with the policy directions for the Bronte Village as it continues to evolve and serve as a vibrant community, with thriving commercial areas and a variety of housing opportunities. The subject lands are located in an area intended for mixed-use development. The subject lands are well serviced by existing transportation infrastructure, commercial uses and is located along a *Minor Arterial* road. The lands are in close proximity to Ontario Highway 403 and Bronte GO Station. In addition, Bronte Harbor is located approximately 500-metres south of the subject lands which provides outdoor leisure space for future residents. It is also anticipated that the proposed development will contribute to the future re-urbanization and beautification of the area, which may attract future investment opportunities.

It is our opinion that the application is desirable and appropriate for the subject lands as it contributes to modest intensification on a property that is appropriately located near exiting transportation infrastructure and commercial uses. Further, the proposed variances do not detract from the public realm and ensure the retail-focus along Lakeshore.

Test 4: Is the application minor in nature?

The proposed development seeks relief from the implementing Zoning By-law with respect to the inclusion of balconies in the flankage yard, increased balcony encroachment and exceeding

ancillary residential uses. The potential individual and cumulative impacts of these variances are mitigated with the design to ensure the vibrant streetscape is provided, high-quality of life for residents and potential adjacent mixed-use developments is maintained and that overlook from the proposed balconies is mitigated. The location of balconies on Lakeshore Avenue West is minor as it will not impact the pedestrian realm or function of the streetscape; it will be a continuation of the permitted balconies along Bronte Road, and will repeat the existing condition of balconies on Lakeshore Avenue West at the northwest and southwest corners of the Lakeshore/Bronte intersection. The proposed increase in balcony depth will not be discernible with the largest depths located on the interior of the site. Last, the increase in ancillary residential area along Bronte is minor given the amount of retail provided on all three facades of the building. Residential access was considered on Lakeshore Avenue West and would have allowed increased non-residential uses on Bronte Road, however a residential lobby on the Lakeshore façade would have broken up the retail-focused streetscape and would have detracted from Village feel of the corridor.

Conclusion

Based on our evaluation of the proposed development and the requested variances to the Town of Oakville Zoning By-law 2014-04, we are of the opinion that the requested variances satisfy the conditions outlined in Section 45(1) of the *Planning Act*, represents good planning and is worthy of support by the Committee of Adjustment. In order to allow for the appropriate review of the application, the following materials have been provided:

1. Completed Application Form;
2. Architectural Drawing Set;
3. Application Fee in the amount of \$3,734

We trust that the enclosed materials appropriately constitute a complete Minor Variance Application. We ask that the materials be circulated for review and comment, and that this application be heard by the Committee of Adjustment at the earliest available hearing date.

Please contact the undersigned at ext. 266 or Bryanne Robinson at ext. 296 should you require any additional information.

Yours truly,
Weston Consulting,
 Per



Martin Quarcoopome, BSc, MCIP, RPP
 Senior Associate

C JM Lakeshore-Bronte Inc