

TREE PROTECTION BARRIERS

- TREE PROTECTION BARRIERS MUST BE 1.2m (4'-0") HIGH, WAFERBOARD HOARDING OR AN EQUIVALENT APPROVED BY URBAN FORESTRY SERVICES. TREE PROTECTION BARRIERS FOR TREES SITUATED ON THE TOWN ROAD ALLOWANCE WHERE VISIBILITY MUST BE MAINTAINED CAN BE 1.2m (4'-0") HEIGHT AND CONSIST OF ORANGE PLASTIC WEB SNOW FENCING ON A WOOD FRAME MADE OF 2"X4"'S.
- WHERE SOME EXCAVATE OR FILL HAS TO BE TEMPORARILY LOCATED NEAR A TREE PROTECTION BARRIER, PLYWOOD MUST BE USED TO ENSURE NO MATERIAL ENTERS THE TREE PROTECTION ZONE.
- ALL SUPPORTS AND BRACING SHOULD BE OUTSIDE THE TREE PROTECTION ZONE. ALL SUCH SUPPORTS SHOULD MINIMIZE DAMAGING ROOTS OUTSIDE THE TREE PROTECTION BARRIER.
- NO CONSTRUCTION ACTIVITY, GRADE CHANGES, SURFACE TREATMENT OR EXCAVATIONS OF ANY KIND IS PERMITTED WITHIN THE TREE PROTECTION ZONE. ALL LOCATES MUST BE OBTAINED PRIOR TO THE INSTALLATION OF THE

PROPOSED HOARDING WITHIN THE MUNICIPAL RIGHT OF WAY.

SECTION 4, SIGNAGE

A SIGN (AS PER BELOW) MUST BE MOUNTED ON ALL SIDES OF A TREE PROTECTION BARRIER FOR THE DURATION OF THE PROJECT. THE SIGN SHOULD BE A MINIMUM OF 40cmX60cm AND MADE OF WHITE GATOR BOARD OR EQUIVALENT MATERIAL

TREE PROTECTION ZONE NO GRADE CHANGE, STORAGE OF MATERIALS OR EQUIPMENT IS PERMITTED WITHIN THIS AREA. THE TREE PROTECTION BARRIER MUST NOT BE REMOVED WITHOUT THE WRITTEN AUTHORIZATION OF THE TOWN OF OAKVILLE.

TOWN OF OAKVILLE

PARKS AND RECREATION DEPARTMENT

NAME: TREE PROTECTION BARRIERS

FILE NO.:

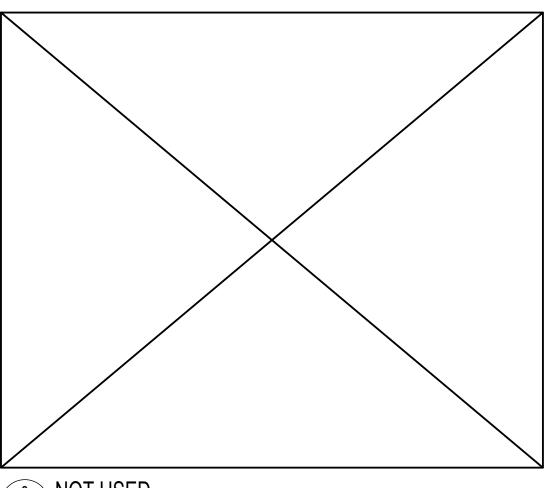
DATE:

1 OAKVILLE SITE REQUIREMENTS A1.2 SCALE: NTS

ARCHITECT:		APPLICANT:		OWNER:		
HICKS DESIGN STUDIO		HICKS DESIGN STUDIO		GINO MARTONE		
295 ROBINSON STREET., SUITE 200		295 ROBINSON STREET.	295 ROBINSON STREET., SUITE 200		ARE	
OAKVILLE, ONTARIO L6J 1G7		OAKVILLE, ONTARIO L6J 1G7		OAKVILLE, ON.		
ATTENTION: WILLIAM R. HICKS		ATTENTION: CYNTHIA G	ATTENTION: CYNTHIA GIBSON			
PH: 905-339-1212 EXT. 222		PH: 905-339-1212 EXT. 2	33			
SITE STA	TOTICS					
ADDRESS		32 ENNISCLARE	T			
		OAKVILLE, ON.				
		L6J 4N2				
LEGAL DE	ESCRIPTION:	LOT 9 REGISTERED PLAN 397				
ZONING:		RL1-0 BY LAW 2014-014				
			1			
DESCRIPTION		REQUIRED METRIC IMPERIAL	EXISTING - METRIC	DEMO IMPERIAL	PROPOSED METRIC IMPERIAL	
LOT AREA	\ :					
LOT AREA	4	1,393.500 15,000	1,463.770	15,756	1,463.770 15,756	
LOT FROM	NTAGE:					
1. AT STR			31.94	105		
	R DEFINITION k from property line)	30.5 100	32.350	106		
LOT COVI	ERAGE:					
OWELLIN					352.846 3,798	
	ENTRY PORCH				22.111 238	
	VERED TERRACE				37.719 406	
TOTAL		365.943			412.675 4,442	
COVERAG	SE (%)	25%			28.19%	APPROVED CAV A/129/20
	GROSS FLOOR AREA:					
	GROUND FLOOR				291.901 3,142	
	SECOND FLOOR				174.193 1,875	
	TOTAL					APPROVED CAV A/129/20:
					3,511	
	NEW SECOND FLOOR				223.246 2,403	
	NEW TOTAL				515.147 5,545	
BASED ON	RESIDENTIAL FLOOR AREA RATI	0				
BASED ON ZONING	TOTAL	424.493 4,569			466.095 5017	
BY-	G.F.A (%)	29.0%		•	31.84%	APPROVED CAV A/129/20
LAW 2014-						
14	NEW G.F.A (%)	29.0%			35.19%	
DWELLIN	G DEPTH	0			22.350 71.000	APPROVED CAV A/129/20
BASEMEN					246 200 2 254	
FINISHED AREA UNFINISHED AREA		+	-	+	246.286 2,651 44.779 482	
TOTAL BA					291.065 3,133	
PARKING	GARAGE:					
	REA (INC. STORAGE)	56 602.8			55.742 600	
	Y WIDTH	9 29.5			7.120 23.4	
YARDS:						
	FRONT YARD	40.22	44.00	200	10.50	
FRONT YA		10.22 50.3 10.5 34.4	11.22 8.11		10.50 34.4 10.57 34.7	
SIDE YARD EAST		4.2 13.8	4.58		4.20 13.8	
	D - WEST	4.2 13.8	8.38		4.20 13.8	
MAXIMUN	1 HEIGHT:					
MAXIMUM HEIGHT TO RIDGE		9.00 29.53			8.970 29.4	
CADACE	WALL PROJECTION:	1.5 4.92			0.00 0.0	
GARAGE						
	Y COVERAGE:					
DRIVEWA	ARD AREA	206.48 2,222.53			412.960 4,445.1 161.150 1,734.6	

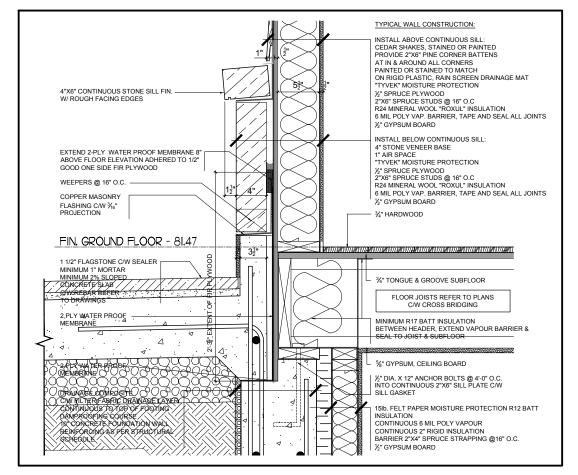
7 SITE PLAN A1.2 SCALE: 1:200

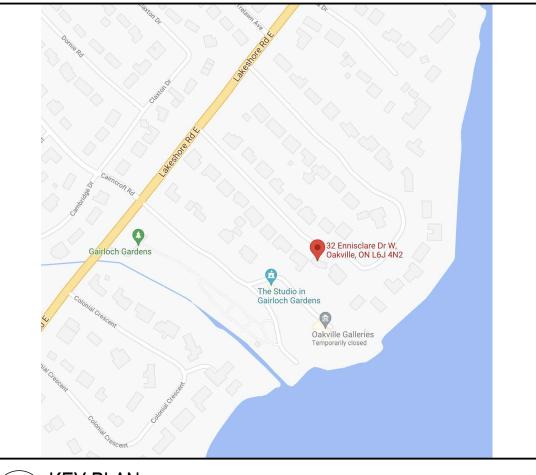
2 SITE STATISTICS A1.2 SCALE: NTS

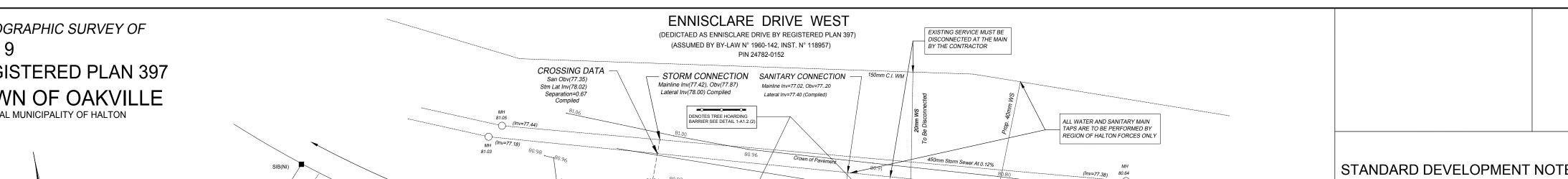


INSI ALL ABOVE CONTINUOUS SILL:
CEDAR SHAKES, STAINED OR PAINTED
PROVIDE 2"X6" PINE CORNER BATTENS
AT IN & AROUND ALL CORNERS
PAINTED OR STAINED TO MATCH
ON RIGID PLASTIC, RAIN SCREEN DRAINAC
"TYVEK" MOISTURE PROTECTION

"S" SPRUCE PLYWOOD
"X6" SPRUCE STUDS @ 16" O.C
R24 MINERAL WOOL "ROXUL" INSULATION
SHAIN ON YAND ADDITION TO SEN. 4"X6" CONTINUOUS STONE SILL FIN. — W/ ROUGH FACING EDGES 6 MIL POLY VAP. BARRIER, TAPE AND SEAL ALL JOINTS ½" GYPSUM BOARD 4" STONE VENEER BASE 1" AIR SPACE "TYVEK" MOISTURE PROTECTION %" SPRUCE PLYWOOD
2"X6" SPRUCE STUDS @ 16" O.C
R24 MINERAL WOOL "ROXUL" INSULATION
6 MIL POLY VAP. BARRIER, TAPE AND SEAL ALL JOINTS
½" GYPSUM BOARD COPPER MASONRY FLASHING C/W $\frac{3}{16}$ " PROJECTION WEEPERS @ 16" O.C. -FIN. GROUND FLOOR - 81.47 DARRO DI DA 34" TONGUE & GROOVE SUBFLOOR GRADE WITH MINIMUM 2% SLOPE IINIMUM R17 BATT INSULATION ETWEEN HEADER, EXTEND VAPOUR BARRIER & AWAY FROM BUILDING EAL TO JOIST & SUBFLOOR %" GYPSUM, CEILING BOARD DRAINAGE COMPOSITE
CW FILTER FABRIC DRAINAGE LAY
CONTINUOUS TO TOP OR FOOTING
DAMPROOFING COURSE.
10" CONCRETE FOUNDATION WALL,
REINFORCING AS PER







- THEE EAST HING SKALES SHOWN ON THIS DIRAWING ARE TO REMAIN DIRCHARGED.

 THERE IS NO EASEMENTS REGISTERED ON TITLE AND AFFECTING THE SUBJECT LANDS.

 THE STOCKPILING OF CONSTRUCTION MATERIAL TO BE DONE AT THE SIDE OF THE PROPOSED. DWELLING ON PROPOSED DRIVEWAY.
- ALL ROOF DOWNSPOUTS FROM EAVESTROUGH TO DISCHARGE ONTO SURFACE AND THE RUNOFF DIRECTED TOWARDS THE REAR WHERE POSSIBLE AND TO THE ROAD. ROOF DOWNSPOUT IS LOCATED IN SUCH MANNER AS TO DIRECT DRAINAGE AWAY FROM WALKWAYS, DRIVEWAYS OR PATIO AREAS. MAINTAIN EXISTING GRADES IN AREA AROUND TREES TO BE PRESERVED.
 PRIOR TO CONSTRUCTION, CONTRACTOR TO VERIFY IN FIELD THE EXACT SIZE AND INVERTS OF THE
 EXISTING WATER SERVICE CONNECTION AND SEWER CONNECTIONS AND REPORT IT TO THE
- ALL SURPLUS/EXCAVATED MATERIAL TO BE REMOVED FROM THE SITE.

 CONTRACTOR TO MATCH EXISTING GRADES ALONG PROPERTY LINES.

 ALL DISTURBED AREAS WITHIN EXISTING ROAD ALLOWANCE TO BE REINSTATED WITH TOPSOIL AND
- SOD TO THE SATISFACTION OF THE TOWN OF OAKVILLE.
 THE CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS, IF ANY DISCREPANCIES, THEY MUST BE REPORTED TO THE ENGINEER IMMEDIATELY PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES DURING CONSTRUCTION. GAS, HYDRO, TELEPHONE OR ANY OTHER UTILITIES THAT MAY EXIST ON THE SITE OR WITHIN THE STREETLINE MUST BE LOCATED BY ITS OWN UTILITIES AND VERIFIED PRIOR TO CONSTRUCTION. ALL CONNECTIONS SHALL BE INSTALLED AS PER REGIONAL STANDARDS AND SPECIFICATIONS
- BUILDER IS TO VERIFY TO THE ENGINEER THAT THE FINAL FOOTING ELEVATION AND TOP OF FOUNDATION WALL ELEVATION ARE IN CONFORMITY WITH THE BUILDING CODE AND THE CERTIFIED GRADING PLAN PRIOR TO PROCEEDING. GRADING PLAN PRIOR TO PROCEEDING.

 OUTSIDE FINISHED GRADE TO BE A MINIMUM OF 150 mm BELOW BRICK/STONE VENEER ELEVATION.

 PRIOR TO ANY SODDING, THE BUILDER IS TO ENSURE TO THE SOIL CONSULTANT AND/OR THE ENGINEER THAT THE LOT HAS BEEN GRADED AND TOPSOILED AND SODDED COMPLETELY WITH A MINIMUM DEPTH OF 100 mm OF TOPSOIL AND N° 1 NURSERY SOD AND A MINIMUM DEPTH OF 150 mm CRUSHED STONE TO BE PROVIDED ON THE ENTIRE LENGTH OF EACH DRIVEWAY ON A FIRM SUBGRADE AND THE DRIVEWAY TO BE PAVED WITH A MINIMUM COMPACTED DEPTH OF 75 mm OF ASPHALT BETWEEN THE CURB AND THE GARAGE.
- NO SODDING ON ANY LOT IS PERMITTED UNTIL PRELIMINARY INSPECTION IS DONE BY THE ENGINEER AND THE BUILDER.

 DRIVEWAY GRADES SHOULD BE NOT LESS THAN 2.0% AND NOT GREATER THAN 7.0%.
- 9. LAWN AND SWALES SHALL HAVE MINIMUM SLOPE OF 2.0% AND A MAXIMUM SLOPE OF 5.0%. 0. WHERE GRADES IN EXCESS OF 5% ARE REQUIRED, THE MAXIMUM SLOPE SHALL BE 3:1. GRADE CHANGES IN EXCESS OF 1.0m ARE TO BE ACCOMPLISHED BY USE OF A RETAINING WALL. RET.

 WALLS HIGHER THAN 0.6m SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE.

 THE SERVICE CONNECTION TRENCH THROUGH THE TRAVELED PORTION OF THE ROAD ALLOWANCE
- SHALL BE BACKFILLED WITH UNSHRINKABLE BACKFILL MATERIAL AS PER TOWN OF OAKVILLE
 STANDARDS UNLESS OTHERWISE SPECIFIED PRIOR APPROVAL FOR OTHER BACKFILL MATERIAL HAS
 BEEN OBTAIN.
 ALL WATERMAINS AND WATER SERVICE MATERIALS AND CONSTRUCTION METHODS MUST
- CORRESPOND TO CURRENT REGION OF HALTON STANDARDS AND SPECIFICATIONS.

 WATERMAINS AND/OR WATER SERVICES ARE TO HAVE A MINIMUM DEPTH OF 1.7 m WITH A MINIMUM HORIZONTAL SPACING OF 1.5 m FROM THEMSELVES AND OTHER UTILITIES AND 2.5m MINIMUM FROM 24. SEDIMENT CONTROL FENCE TO BE INSTALLED AS PER THE TOWN OF OAKVILLE STANDARDS.
 25. ALL DAMAGED AND DISTURBED AREAS TO BE REINSTATED WITH TOPSOIL AND SOD.

(C) UTILITIES CONNECTION

1. SANITARY: (A) MUNICIPAL SANITARY SEWER AVAILABLE ON THE SITE. (B) EXISTING CONNECTION MAIN TO PROPERTY LINE TO BE USED SUBJECT TO REGION OF HALTON APPROVAL. (C) NEW LATERAL 125mm SDR-28, PVC TO BE CONSTRUCTED PROPERTY LINE

2. STORM: (A) MUNICIPAL STORM SEWER AVAILABLE ON THE SITE. (B) STORM WATER TO BE DISCHARGED ONTO GROUND AND INTO THE EXISTING

3. WATER: (A) EXISTING 19mm SERVICE CONNECTION MAIN TO P/L TO BE USED SUBJECT TO REGION OF HALTON APPROVAL. (B) NEW 25mm WATER SERVICE, SOFT COPPER, TYPE "K" TO BE CONSTRUCTED (C) 20mm WATER METER TO BE INSTALLED WHERE SERVICE ENTERS BUILDING.

REGIONAL APPROVAL ASSOCIATION OF ONTARIO REGION DESIGN OF WATER AND/OR WASTEWATER LAND SURVEYORS PLAN SUBMISSION FORM SERVICES APPROVAL SUBJECT TO DETAIL CONSTRUCTION CONFORMING TO HALTON REGION

STANDARDS AND SPECIFICATIONS AND LOCATION 2156086 APPROVAL FROM AREA MUNICIPALITY. The approval of the water system on private property is the responsibility of the Local Municipality , regardless, the Applicant must ensure that the Region of Halton's THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR

Applicant must ensure that the Kegion or Halton's standards and specifications are met. (the Water and Wastewater Linear Design Manual may be be obtained on Halton.ca or by calling 311) all water quality tests must be completed to the Region of Halton's satisfaction before the water supply can be turned on. ARBORIST'S REPORT NOTE TREE NUMBERING SHOWN HEREON WAS DERIVED

FROM THE ARBORIST'S REPORT PREPARED BY

BEARING NOTE ALL BEARINGS SHOWN HEREON ARE UTM GRID, DERIVED FROM THE GPS OBSERVATIONS AT POINTS "A" AND "B" BEING NAD 83 (CSRS-2010.0).

SITE PLAN SITE STATISTICS

21-280

HE USER OF THIS PLAN SHALL CONTACT THE LOCAL UTILITY COMPANIES CENTRAL MERIDIAN 81° WEST LONGITUDE, ZONE 17. 1200 SPEERS ROAD, UNIT 38 205 MAIN STREET MILTON, ONTARIO L9T 1N7 OBSERVED REFERENCE POINTS (ORPs): UTM ZONE 17, NAD-83 (CSRS-2010.0). CO-ORDINATES TO URBAN ACCURACY PER SEC. 14(2) OF O.REG. 216/10. SURVEYOR'S CERTIFICATE OAKVILLE, ONTARIO L6L 2X4 PHONE (905) 878-7810 PHONE (905) 845-3497 I CERTIFY THAT: POINT N° NORTHING EASTING milton.office@cmlsurveyors.ca infooak@cmlsurveyors.ca . THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH "A" 4,812,949.43 609.431.55 THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS CLIENT: HICKS STUDIO "B" 4,812,984.66 609,481.78 MADE UNDER THEM. PLAN 13-21-1 2 THE SURVEY WAS COMPLETED ON MARCH 15, 202 O-ORDINATES CAN NOT, IN THEMSELVES, BE USED TO RE-ESTABLISH COPYRIGHT CORNERS OR BOUNDARIES SHOWN ON THIS PLAN. DATE: MARCH 26, 2021 O PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR ALTER THIS PLAN IN WHOLE OF ALL BEARINGS IN COMPARISONS ARE ASTRONOMIC.

REVERSE LEDGE DETAIL AT PORCH 4 REVERSE LEDGE DETAIL AT GRADE A1.2 SCALE: NTS \A1.2 / SCALE: NTS A1.2 SCALE: NTS 、A1.2/SCALE: NTS TOPOGRAPHIC SURVEY OF **REGISTERED PLAN 397** TOWN OF OAKVILLE REGIONAL MUNICIPALITY OF HALTON (Inv=76.92) LOT 7 N77°22'38"₩ Meas C=22.50 A=22.58 _____ BARRIER SEE DETAIL 1-A1.2. AUTO COURT 4 ______ 800 |-----/----------No. 32 ENNISCLARE ROPOSED 2 STOREY SIDING LOT 8 LSINGLE FAMILY DWELLING FIN. GROUND FLR. ELEV. 781.47.1 PIN 24782-0124 PROPOSED 3 STOREY STONE FIN. SECOND FLR. ELEV. - 84,87 SINGLE FAMILY DWELLING ARGISTER CHARLO BSMT FLR. SLAB ELÉV./-78.07% GARÁGE FLR. ELEV. / - 81.21 LOT 10 PIN 24782-0126 Mainline Inv(78.45) Lateral(78.70) C/W Beehive Prop. STM CBMH—/ N79°16'40"W Meas OPSD 701.010 / (N78°13'00"W P1) __Steel Pos C/W Beehive Top PIN 24782-0048 Inv(78,49) Bench ______ _____ GAIRLOCK LOT 7 NOTE: REFER TO GRADING PLAN **CONCESSION 4 SOUTH OF DUNDAS STREET** FOR SITE GRADING ELEVATIONS. UNDERGROUND SERVICES NOTE LEGEND TOPOGRAPHIC LEGEND CUNNINGHAM McCONNELL LIMITED DISTANCE NOTE ONLY UNDERGROUND SERVICES VISIBLE ON THE GROUND WERE LOCATED FOR THIS PLAN. DISTANCES SHOWN HEREON ARE GROUND DISTANCES ONTARIO LAND SURVEYORS

DENOTES McCONNELL MAUGHAN LTD., O.L.S. DENOTES CUNNINGHAM McCONNELL LIMITED

AND CAN BE CONVERTED INTO GRID DISTANCES BY

ALL DISTANCES SHOWN HEREON ARE IN METRES AND

ALL ELEVATIONS SHOWN HEREON ARE GEODETIC

AND WERE DERIVED FROM THE TOWN OF OAKVILLE BENCHMARK N° O-251 HAVING AN ELEVATION OF

CAN BE CONVERTED INTO FEET BY DIVIDING BY 0.3048.

MULTIPLYING BY A SCALE FACTOR OF 0.999747456.

METRIC NOTE

ELEVATION NOTE

118.729m (CGVD-1928:1978).

REPORT EXISTING TREE TO BE REMOVED EXISTING DECIDUOUS TREE TO REMAIN. STANDARD DEVELOPMENT NOTES (A) ENGINEERING AND CONSTRUCTION DEPARTMENT EXISTING CONIFEROUS TREE TO REMAIN. DRIVEWAYS ON THE MUNICIPAL RIGHT-OF-WAY SHALL BE PAVED BY THE APPLICANT. AT THE ENTRANCES TO THE SITE, THE MUNICIPAL CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY AND A CURB DEPRESSION WILL BE PROVIDED FOR THE ENTRANCE. THE TOPS OF ANY CURBS BORDERING THE DRIVEWAYS WITHIN THE MUNICIPAL BOULEVARD WILL BE FLUSH WITH THE MUNICIPAL SIDEWALK AND ROAD CURB. (B) GENERAL NOTES THE EXISTING GRADES SHOWN ON THIS DRAWING ARE TO REMAIN UNCHANGE

> 6 | 05.11.22 | ISSUED FOR C OF A 5 | 04.19.22 | REISSUED FOR BUILDING PERMIT

O ASSOC

WILLIAM RHYS HICKS LICENCE

3355

Drawings must NOT be scaled. Contractor

specifications and drawings on site and report any discrepancies to the architect prior to

must check and verify all dimensions,

proceeding with any of the work.

PROPOSED DIMENSIONS TO NEW STRUCTURES 2.09 EXISTING EXISTING DIMENSIONS TO EXISTING STRUCTURE

TYPE 1= TREE HOARDING WAFER BOARD

-(2) TYPE 2 = TREE HOARDING ORANGE SNOW FENCE

TR 7 TREE NUMBER PER ARBOURIST REPORT

EXISTING TREE TO REMAIN -

DASHED LINE INDICATES TPZ (TREE

PROTECTION ZONE PER ARBOURIST

SITE LEGEND:

W/W NEW LANDSCAPE WINDOW WELL

PROPERTY LINE

83.37 FINISHED GRADE

EXISTING GRADE

MAIN ENTRANCE

SECONDARY ENTRANCE

04.08.22 ISSUED FOR BUILDING PERMIT 3 | 10.19.21 | ISSUED FOR DESP 2 | 08.03.21 | REISSUED FOR C OF A

06.14.21 | ISSUED FOR C OF A REF. DATE: DESCRIPTION:

REVISIONS / ISSUANCE:



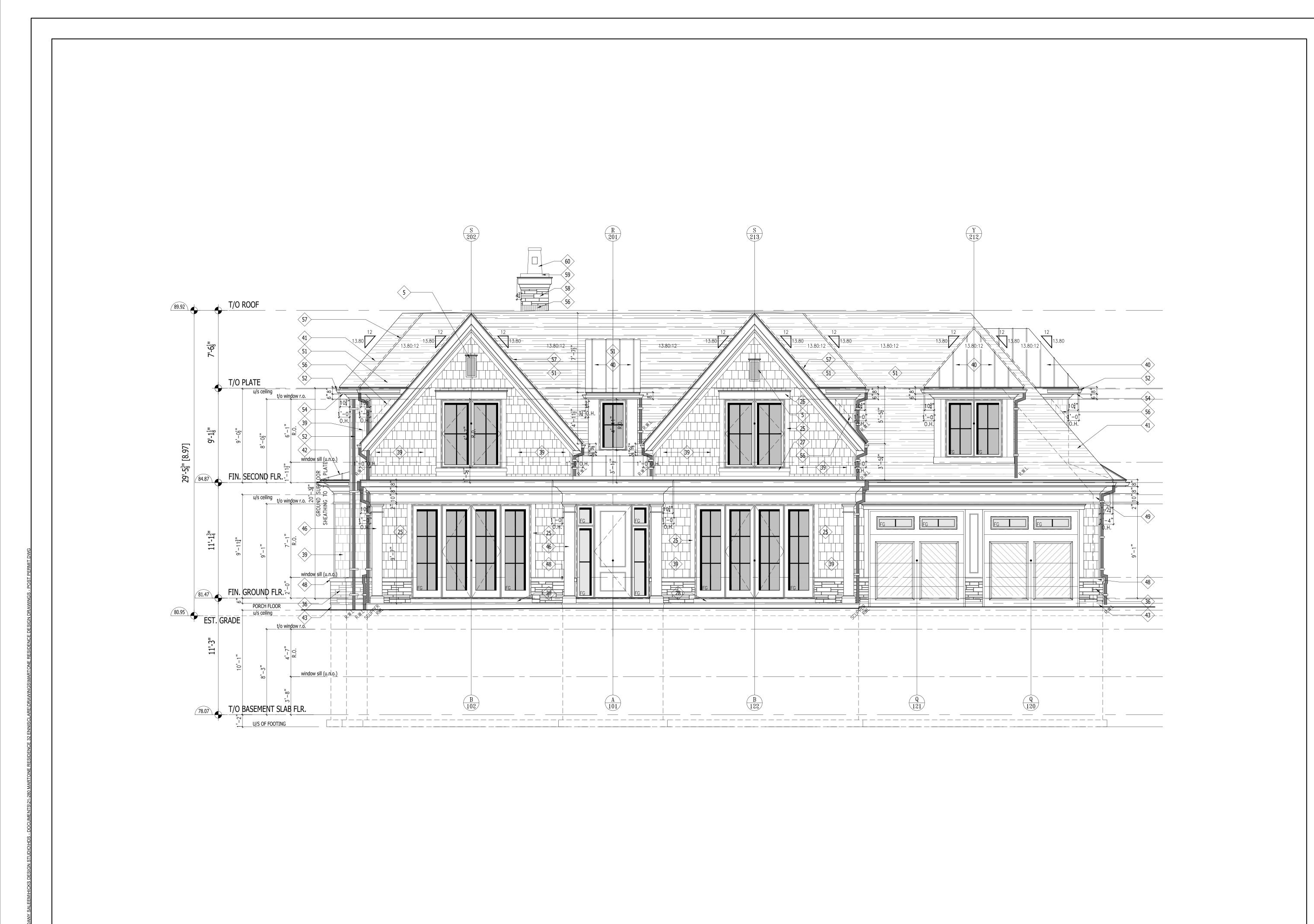
295 ROBINSON STREET, SUITE 200 OAKVILLE ON, CAN L6J 1G7 WWW.HICKSDESIGNSTUDIO.CA T.905.339.1212

MARTONE RESIDENCE

ADDRESS: 32 ENNISCLARE

OAKVILLE, ONTARIO DRAWING TITLE:

DRAWN: D.M./D.S. DATE: 09.03.20 | SCALE: 1:200 SHEET NUMBER: JOB NUMBER: A1.2





Drawings must NOT be scaled. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the architect prior to proceeding with any of the work.

4 05.11.22 ISSUED FOR C OF A
3 04.19.22 REISSUED FOR BUILDING PERMIT
2 04.08.22 ISSUED FOR BUILDING PERMIT

1 06.14.21 ISSUED FOR C OF A REF. DATE: DESCRIPTION:

REVISIONS / ISSUANCE:



HICKS DESIGN STUDIO

1 295 ROBINSON STREET, SUITE 200 OAKVILLE ON, CAN L6J 1G7

WWW.HICKSDESIGNSTUDIO.CA T.905.339.1212

CLIENT:

THE MARTONE RESIDENCE

ADDRESS: 32 ENNISCLARE DRIVE W. CITY: OAKVILLE, ON

DRAWING TITLE:

NORTH ELEVATION

DRAWN: T.K./D.S.

DATE: 08.06.23 SCALE: 1/4"=1'-0"

JOB NUMBER: SHEET NUMBER:

21-280

A4.1





Drawings must NOT be scaled. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the architect prior to proceeding with any of the work.

4 05.11.22 ISSUED FOR C OF A
3 04.19.22 REISSUED FOR BUILDING PERMIT

2 04.08.22 ISSUED FOR BUILDING PERMIT
1 06.14.21 ISSUED FOR C OF A
REF. DATE: DESCRIPTION:

REVISIONS / ISSUANCE:



HICKS DESIGN STUDIO

1 295 ROBINSON STREET, SUITE 200 OAKVILLE ON, CAN L6.

CLIEN

THE MARTONE RESIDENCE

ADDRESS: 32 ENNISCLARE DRIVE W. CITY: OAKVILLE, ON

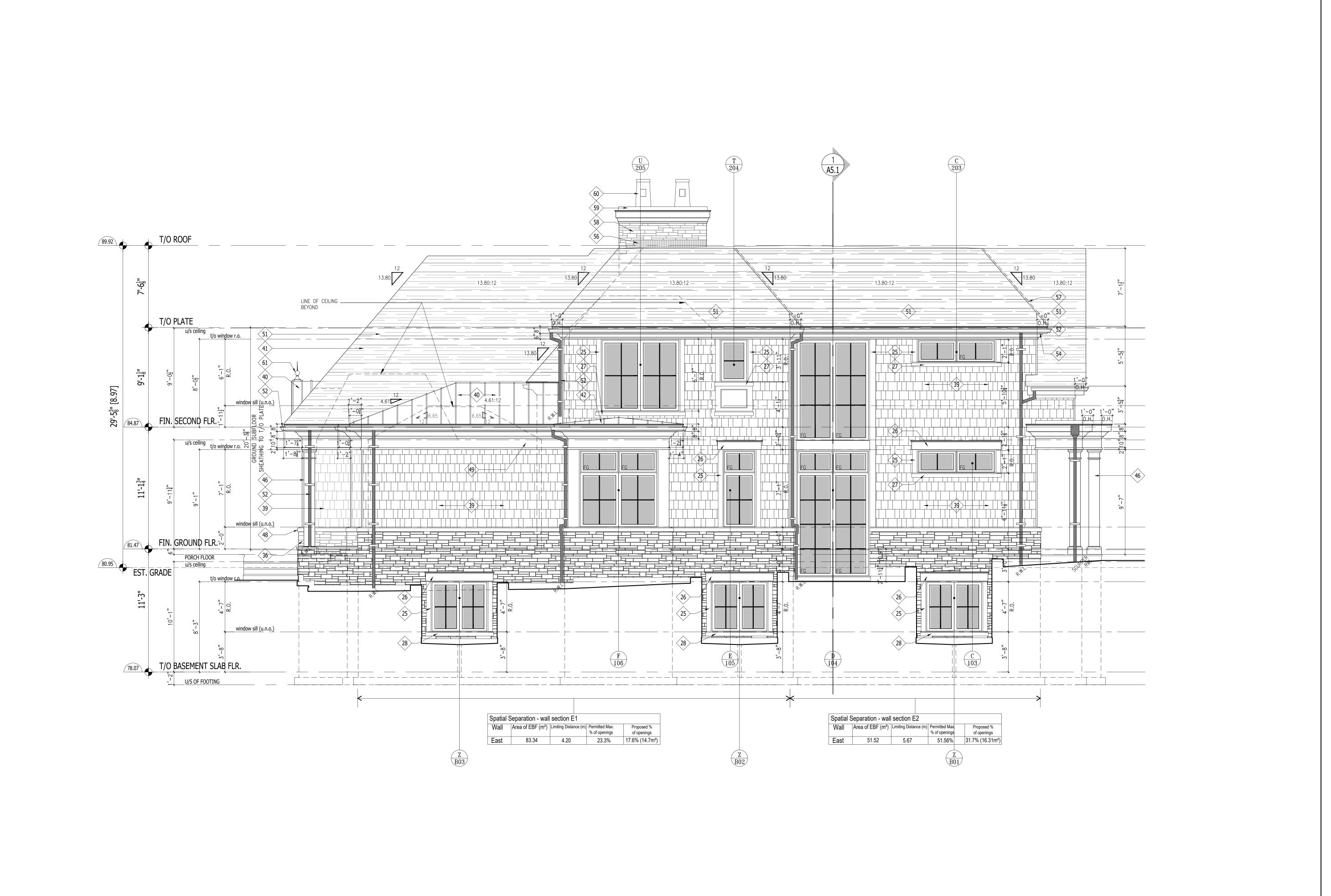
DRAWING TITLE:
SOUTH ELEVATION

DRAWN: T.K./D.S.

DATE: 08.06.23 SCALE: 1/4"=1'-0"

JOB NUMBER: SHEET NUMBER:

21-280 A4.2





Drawings must NOT be scaled. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the architect prior to proceeding with any of the work.

4 05.11.22 ISSUED FOR C OF A 3 04.19.22 REISSUED FOR BUILDING PERMIT 2 04.08.22 ISSUED FOR BUILDING PERMIT

1 | 06.14.21 | ISSUED FOR C OF A REF. DATE: DESCRIPTION: REVISIONS / ISSUANCE:

THE MARTONE RESIDENCE

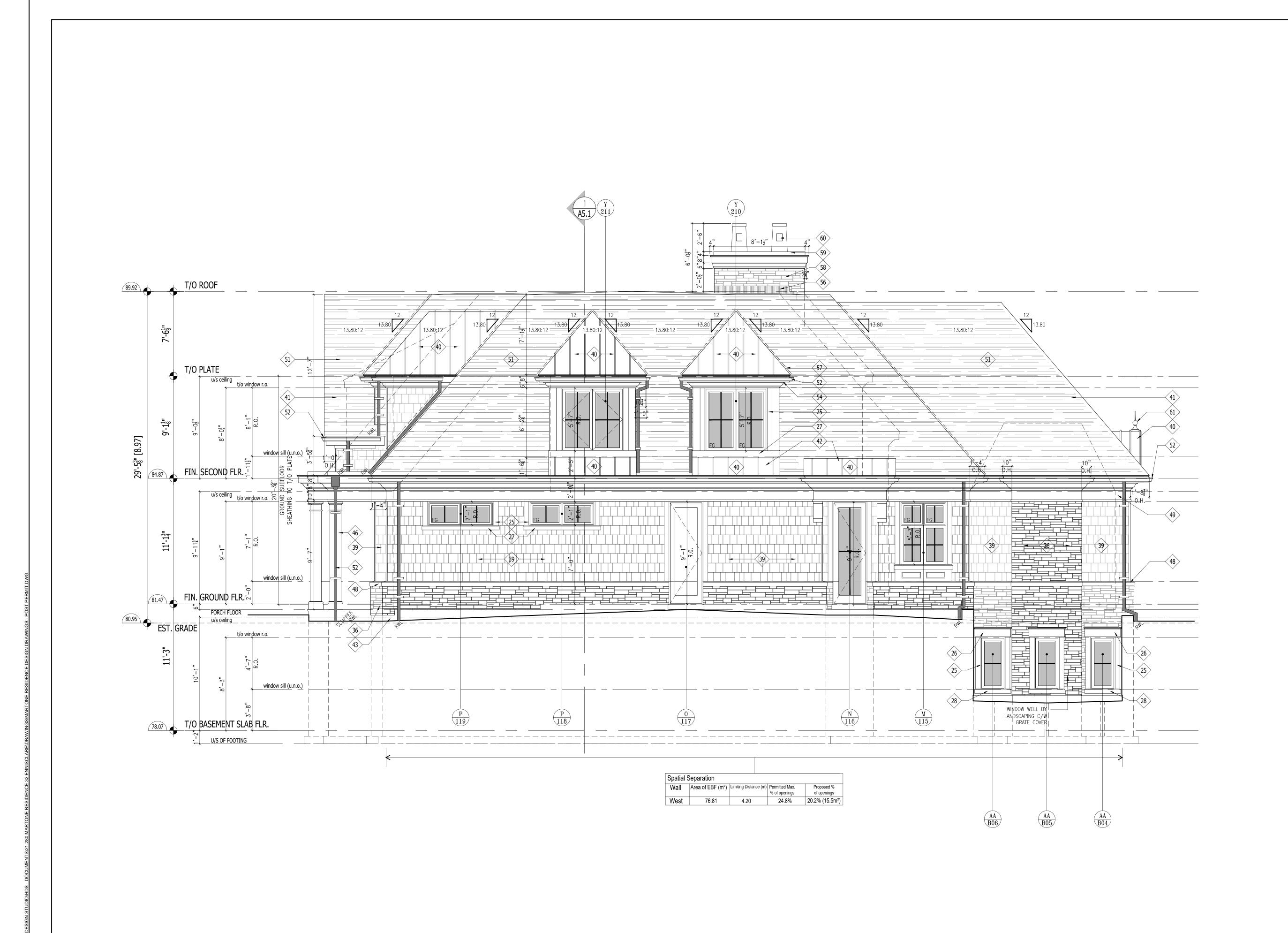
ADDRESS: 32 ENNISCLARE DRIVE W. CITY: OAKVILLE, ON DRAWING TITLE:

EAST ELEVATION

DRAWN: T.K./D.S.

DATE: 08.06.23 SCALE: 1/4"=1'-0" JOB NUMBER: SHEET NUMBER:

A4.3 21-280





Drawings must NOT be scaled. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the architect prior to proceeding with any of the work.

4 | 05.11.22 | ISSUED FOR C OF A 3 04.19.22 REISSUED FOR BUILDING PERMIT 2 04.08.22 ISSUED FOR BUILDING PERMIT

1 | 06.14.21 | ISSUED FOR C OF A REF. DATE: DESCRIPTION: **REVISIONS / ISSUANCE:**

HICKS DESIGN STUDIO

| 295 ROBINSON STREET, SUITE 200 OAKVILLE ON, CAN L6J 1G7
| WWW.HICKSDESIGNSTUDIO.CA T.905.339.1212

THE MARTONE RESIDENCE

ADDRESS: 32 ENNISCLARE DRIVE W. CITY: OAKVILLE, ON

DRAWING TITLE: WEST ELEVATION

DRAWN: T.K./D.S. DATE: 08.06.23 SCALE: 1/4"=1'-0" JOB NUMBER: SHEET NUMBER:

21-280

A4.4



Committee Of Adjustment

RE: Minor Variance Application, Town of Oakville

Dear Committee:

We are the Architects working with the new Owner of 32 Ennisclare Drive West in Oakville. We had previously obtained variances on this property (CAV A 129/21), one of which was for residential floor area. As the Owner finalized all plans and with permit in hand and ready to move forward for construction, we were asked to look at the use of the attic space above the garage, some of which was previously used for a laundry room only. We have done this and the change in fact does not require any revisions to the building elevation, massing, setbacks, or any other aspect of the Bylaw, they simply want to finish part of this attic space for use as a reading room/study. In addition, this allows us to avoid exterior dormer blacked out windows that open into the attic.

As a result, we must ask for relief from the Committee for the amended residential floor area. Nothing has changed on the external elevations or position of the house on site.

1) RFA Permitted: 29% Previously Approved: 31.84% Newly Proposed 35.19% (Increase of 528 sq ft)

The Bylaw permits a dwelling in the RL1-0 zone, in this case, a floor to area ratio of 29%. We are now proposing a floor to lot ratio of 35.19%. As noted above the request is to finish some unutilized attic space that exists over the garage, which requires additional relief. Given that there are no changes from the original plans and elevations for the house, nor the siting of the house we feel this would be a reasonable request as there is no other changes from what has already approved.

We hope to proceed however with the support of the neighbours for this application if possible.

Sincerely,

William R. Hicks B.E.S., B.Arch., MRAIC. OAA

HDS | Hicks Design Studio Inc.

295 Robinson Street, Suite 200 Oakville, Ontario, Canada L6J 1G7 T. 905.339.1212 ext. 222 C. 416.953.2926 bhicks@hicksdesignstudio.ca