

Drawings must NOT be scaled. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the architect prior to proceeding with any of the work.



	05.11.22	ISSUED FOR C OF A
3	04.19.22	REISSUED FOR BUILDING PERMIT
2	04.08.22	ISSUED FOR BUILDING PERMIT
	06.14.21	ISSUED FOR C OF A
REF.	DATE:	DESCRIPTION:
REVISIONS / ISSUANCE:		



HICKS DESIGN STUDIO
255 ROBINSON STREET, SUITE 200 OAKVILLE ON, CAN L6J 1G7
WWW.HICKSDESIGNSTUDIO.CA T.905.335.1212

CLIENT:
**THE MARTONE
RESIDENCE**

ADDRESS: 32 ENNISCLARE DRIVE W.
CITY: OAKVILLE, ON
DRAWING TITLE:
NORTH ELEVATION

DRAWN: T.K./D.S.
DATE: 08.06.23 SCALE: 1/4"=1'-0"
JOB NUMBER: 21-280 SHEET NUMBER: **A4.1**

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4	05.11.22	ISSUED FOR C OF A
3	04.19.22	REISSUED FOR BUILDING PERMIT
2	04.08.22	ISSUED FOR BUILDING PERMIT
1	06.14.21	ISSUED FOR C OF A
REF.	DATE:	DESCRIPTION:
REVISIONS / ISSUANCE:		



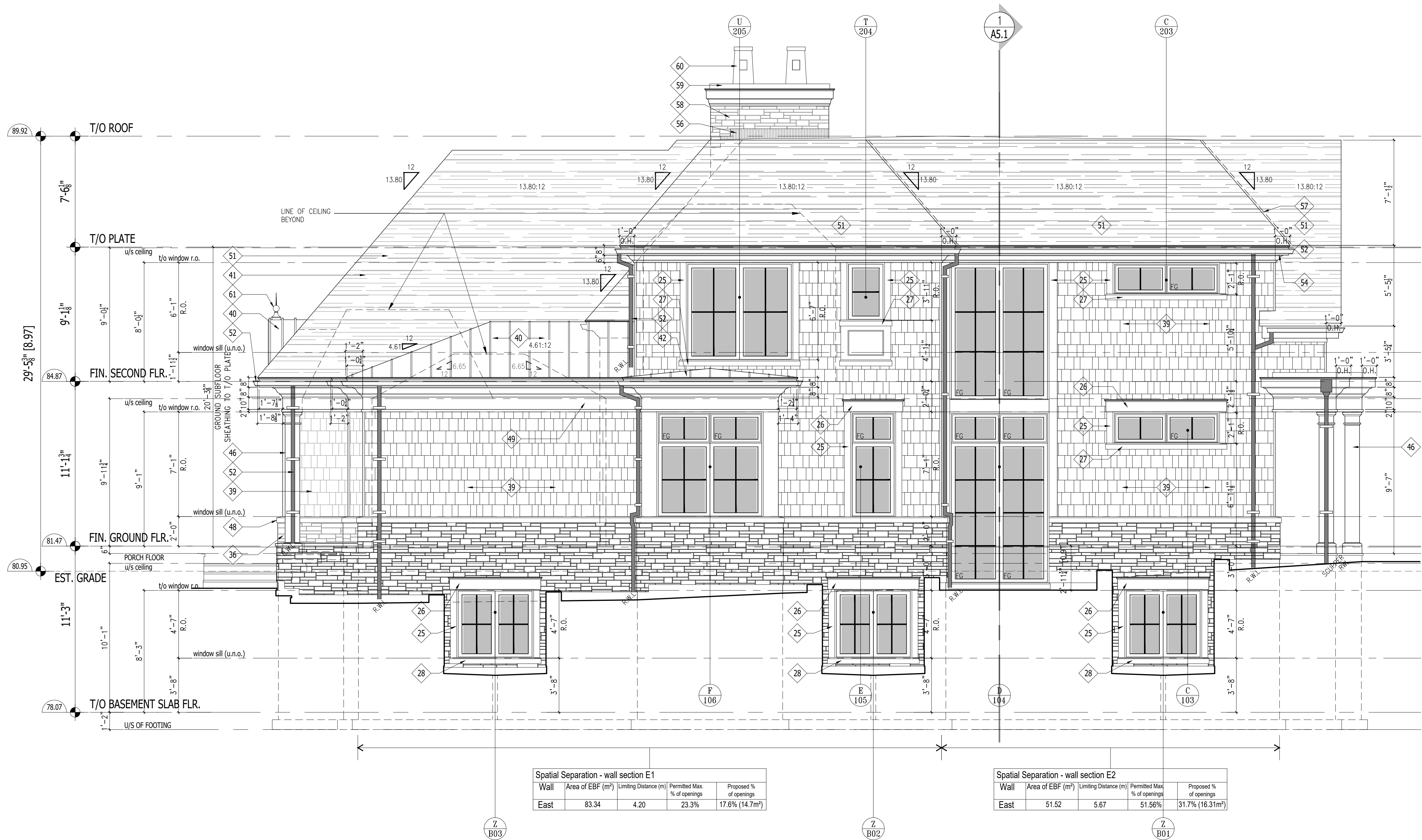
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CLIENT:
**THE MARTONE
RESIDENCE**

ADDRESS: 32 ENNISCLARE DRIVE W.
CITY: OAKVILLE, ON
DRAWING TITLE:
SOUTH ELEVATION

DRAWN: T.K./D.S.
DATE: 08.06.23
JOB NUMBER: 21-280
SCALE: 1/4"=1'-0"
SHEET NUMBER:
A4.2

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CLIENT:
**THE MARTONE
RESIDENCE**

ADDRESS: 32 ENNISCLARE DRIVE W.
CITY: OAKVILLE, ON
DRAWING TITLE:
EAST ELEVATION

DRAWN: T.K./D.S.
DATE: 08.06.23
JOB NUMBER: 21-280
SCALE: 1/4"=1'-0"
SHEET NUMBER: **A4.3**



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REF.	DATE:	DESCRIPTION:
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CLIENT:
**THE MARTONE
RESIDENCE**

ADDRESS: 32 ENNISCLARE DRIVE W.
CITY: OAKVILLE, ON
DRAWING TITLE:
WEST ELEVATION

DRAWN: T.K./D.S.
DATE: 08.06.23 SCALE: 1/4"=1'-0"
JOB NUMBER: 21-280 SHEET NUMBER:
A4.4

Committee Of Adjustment

RE: Minor Variance Application, Town of Oakville

Dear Committee:

We are the Architects working with the new Owner of 32 Ennisclare Drive West in Oakville. We had previously obtained variances on this property (CAV A 129/21), one of which was for residential floor area. As the Owner finalized all plans and with permit in hand and ready to move forward for construction, we were asked to look at the use of the attic space above the garage, some of which was previously used for a laundry room only. We have done this and the change in fact does not require any revisions to the building elevation, massing, setbacks, or any other aspect of the Bylaw, they simply want to finish part of this attic space for use as a reading room/study. In addition, this allows us to avoid exterior dormer blacked out windows that open into the attic.

As a result, we must ask for relief from the Committee for the amended residential floor area. Nothing has changed on the external elevations or position of the house on site.

- 1) RFA Permitted: 29% Previously Approved: 31.84% Newly Proposed 35.19% (Increase of 528 sq ft)

The Bylaw permits a dwelling in the RL1-0 zone, in this case, a floor to area ratio of 29%. We are now proposing a floor to lot ratio of 35.19% . As noted above the request is to finish some unutilized attic space that exists over the garage, which requires additional relief. Given that there are no changes from the original plans and elevations for the house, nor the siting of the house we feel this would be a reasonable request as there is no other changes from what has already approved.

We hope to proceed however with the support of the neighbours for this application if possible.

Sincerely,

William R. Hicks
B.E.S., B.Arch., MRAIC. OAA

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