

PART 2:
PREPARED FOR GEORGIAN CUSTOM
RENOVATIONS INC.

LOCATION OF THE BUILDING: WHOLLY ON THE PROPERTY.

EAVES: CLEAR,

UTILITY BUILDINGS: AS SHOWN ON PART 1.

DECKS: AS SHOWN ON PART 1.

SWIMMING POOLS: NONE.

EXISTING FENCES: GENERALLY ALONG THE PROPERTY
LINES, WITH DEVIATIONS AS SHOWN
ON PART 1.

EASEMENTS: NONE RECITED IN THE LAST
REGISTERED INSTRUMENT.

DRIVEWAY: AS SHOWN ON PART 1.

LEGEND:

■	DENOTES	SURVEY MONUMENT FOUND
□	DENOTES	SURVEY MONUMENT PLANTED
IB	DENOTES	IRON BAR
SIB	DENOTES	STANDARD IRON BAR
SSIB	DENOTES	SHORT STANDARD IRON BAR
CC	DENOTES	CUT CROSS
CP	DENOTES	CONCRETE PIN
WIT	DENOTES	WITNESS MONUMENT
O/U	DENOTES	ORIGIN UNKNOWN
N	DENOTES	NORTH
S	DENOTES	SOUTH
E	DENOTES	EAST
W	DENOTES	WEST
F.C.	DENOTES	FENCE
CLF	DENOTES	CHAIN LINK FENCE
BF	DENOTES	BOARD FENCE
IF	DENOTES	IRON FENCE
UP	DENOTES	UTILITY POLE
CRW	DENOTES	CONCRETE RETAINING WALL
OHW	DENOTES	OVERHEAD WIRES
MH	DENOTES	MANHOLE
TW	DENOTES	TOP OF WALL
PLAN	DENOTES	REGISTERED PLAN 1008
950/CMC	DENOTES	CUNNINGHAM, MCCONEL, O.L.S.
FGC	DENOTES	F.C. CUNNINGHAM INC., O.L.S. (Dec. 4, 2003 & Sept. 8, 1997)

00.50 DENOTES TREE TRUNK DIAMETER

METRIC:
DISTANCES SHOWN ON THIS PLAN ARE IN
METRES AND CAN BE CONVERTED TO FEET
BY DIVIDING BY 0.3048.

BEARING NOTE:
BEARINGS ARE REFERRED TO THE SOUTHERLY LIMIT OF
LOT 26 AS SHOWN ON REGISTERED PLAN 1008
HAVING AN ASTRONOMIC BEARING OF N38°17'30"E.

ELEVATIONS NOTE:
ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE DERIVED
FROM THE CITY OF OAKVILLE BENCH MARK G.B.M. No. 16.
ELEVATION = 79.980 m. (REVISION No. 2007 GEODETIC SURVEYS
OF CANADA)

DESCRIPTION:
BRIDGE OVER MORRISON CREEK, ON LAKESHORE RD, EAST, BETWEEN
COLONIAL CRES. AND ENNISCLARE DR. BRASS PLAQUE IS IN
THE SOUTH FACE OF THE WEST END OF THE WINGWALL ON THE
SOUTH SIDE OF LAKESHORE RD, EAST.

FLOODPLAIN NOTE:
THE FLOOD PLAN CONTOUR ELEVATION WAS OBTAINED FROM
HALTON REGION CONSERVATION AUTHORITY WSE (CGCV28) 78.07m.

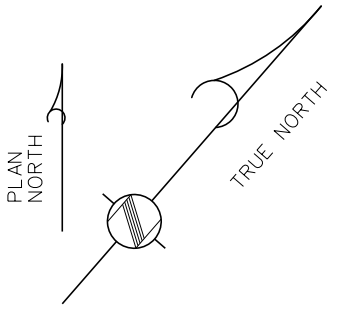
CAUTION:
TREE CALIPERS ARE NOT TO ARBORIST STANDARDS
AND ARE DEFINED AT 1.4m ABOVE GRADE AT TREE
FOR ARBORIST CALIPER REFER TO ARBORIST REPORT.

SURVEYOR'S CERTIFICATE:
I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH
THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES
ACT AND THE REGULATIONS MADE UNDER THEM;
2. THE SURVEY WAS COMPLETED ON THE 18th DAY OF AUGUST, 2020.

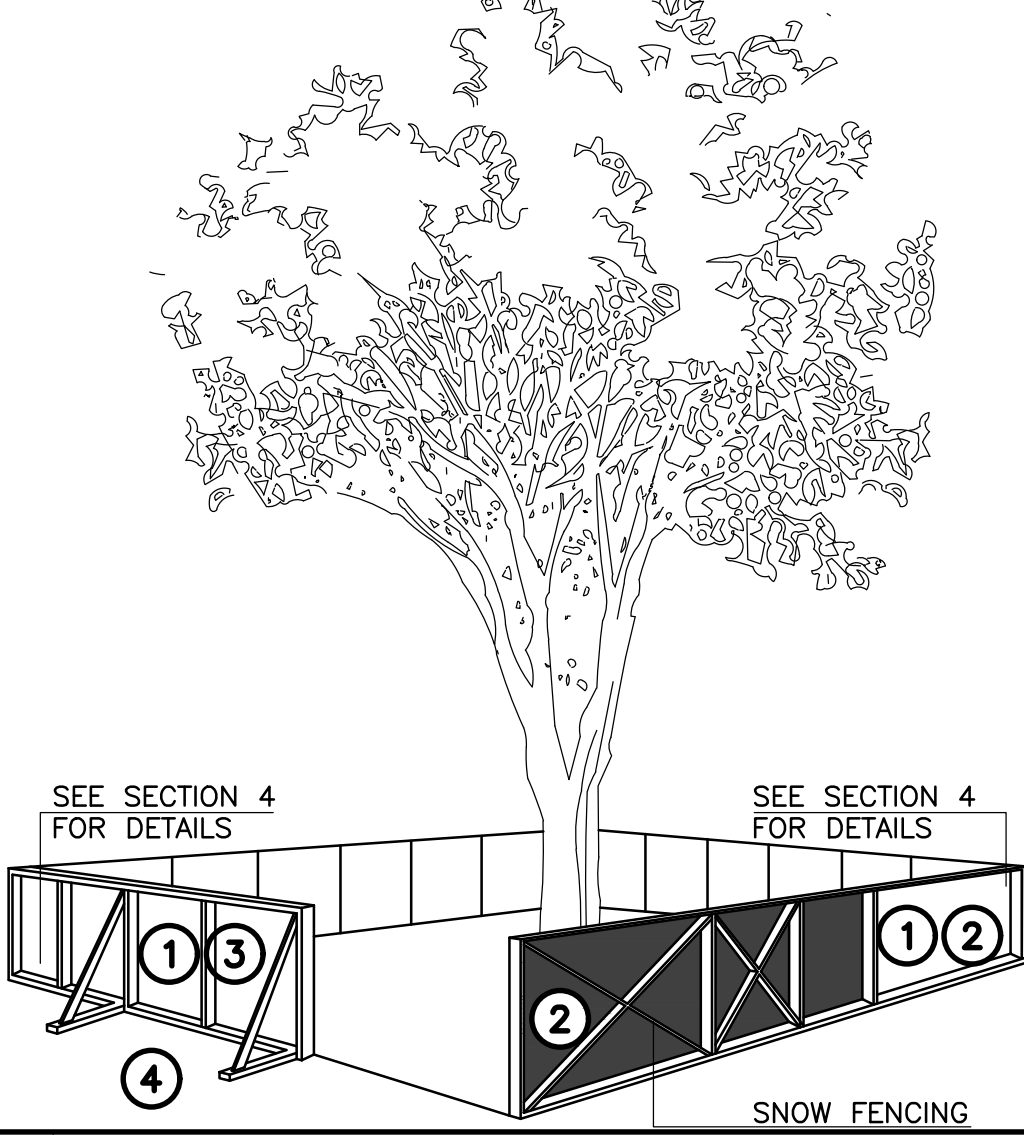
SEPTEMBER 23, 2020
DATE
HELMUT PILLER
Ontario Land Surveyor

AKSAN PILLER CORPORATION LTD.
ONTARIO LAND SURVEYORS
943 MT PLEASANT ROAD, TORONTO, ONTARIO, M4P 2L7
(T) 416-488-1174 (F) 416-488-7843 (E) ap@apsurveys.ca www.apsurveys.ca
CALC: AA DRAWN: LF CHECKED: HP
reference number: 20-24-13851-00

C A M B R I D G E D R I V E
BY REGISTERED PLAN 1008
PIN 24801-0058 (LT)



TREE PROTECTION



TREE PROTECTION BARRIERS

- TREE PROTECTION BARRIERS MUST BE 1.2m (4'-0") HIGH, WAFFERBOARD HOARDING OR AN EQUIVALENT APPROVED BY URBAN FORESTRY SERVICES.
- TREE PROTECTION BARRIERS FOR TREES SITUATED ON THE TOWN ROAD ALLOWANCE WHERE VISIBILITY MUST BE MAINTAINED CAN BE 1.2m (4'-0") HEIGHT AND CONSIST OF ORANGE PLASTIC WEB SNOW FENCING ON A WOOD FRAME MADE OF 2"x4"s.
- WHERE SOME EXCAVATE OR FILL HAS TO BE TEMPORARILY LOCATED NEAR A TREE PROTECTION BARRIER, PLYWOOD MUST BE USED TO ENSURE NO MATERIAL ENTERS THE TREE PROTECTION ZONE.
- ALL SUPPORTS AND BRACING SHOULD BE OUTSIDE THE TREE PROTECTION ZONE. ALL SUCH SUPPORTS SHOULD MINIMIZE DAMAGING ROOTS OUTSIDE THE TREE PROTECTION BARRIER.
- NO CONSTRUCTION ACTIVITY, GRADE CHANGES, SURFACE TREATMENT OR EXCAVATIONS OF ANY KIND IS PERMITTED WITHIN THE TREE PROTECTION ZONE.
- ALL LOCATES MUST BE OBTAINED PRIOR TO THE INSTALLATION OF THE PROPOSED HOARDING WITHIN THE MUNICIPAL RIGHT OF WAY.

SECTION 4, SIGNAGE

- A SIGN (AS PER BELOW) MUST BE MOUNTED ON ALL SIDES OF A TREE PROTECTION BARRIER FOR THE DURATION OF THE PROJECT. THE SIGN SHOULD BE A MINIMUM OF 40cmx60cm AND MADE OF WHITE GATOR BOARD OR EQUIVALENT MATERIAL.

"TREE PROTECTION ZONE
NO GRADE CHANGE, STORAGE OF MATERIALS OR EQUIPMENT IS PERMITTED WITHIN THIS AREA. THE TREE PROTECTION BARRIER MUST NOT BE REMOVED WITHOUT THE WRITTEN AUTHORIZATION OF THE TOWN OF OAKVILLE."

TOWN OF OAKVILLE PARKS AND RECREATION DEPARTMENT

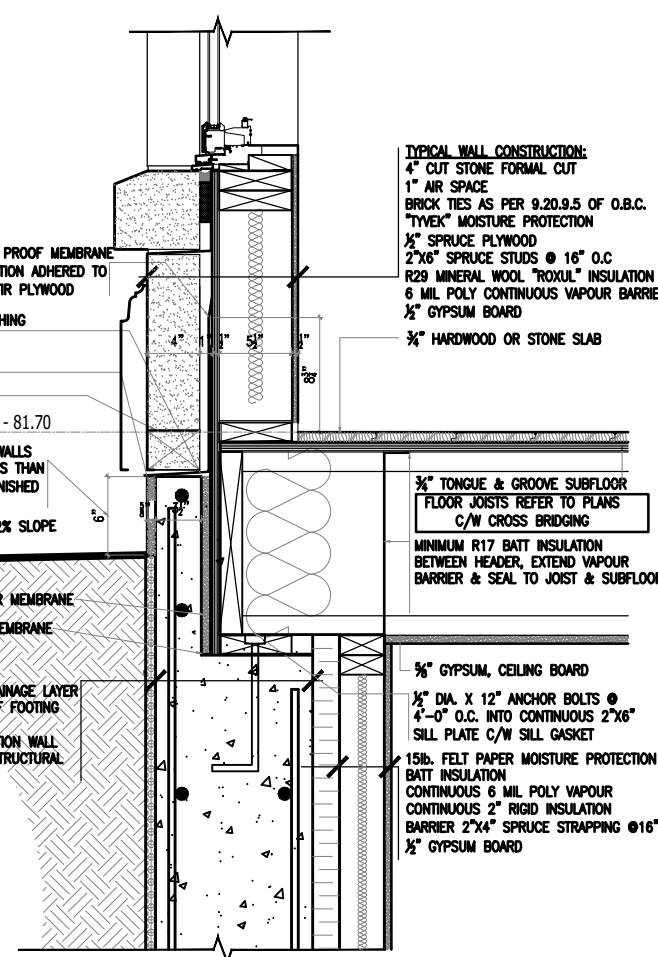
NAME: TREE PROTECTION BARRIERS

DATE:

FILE NO.:

OAKVILLE SITE REQUIREMENTS

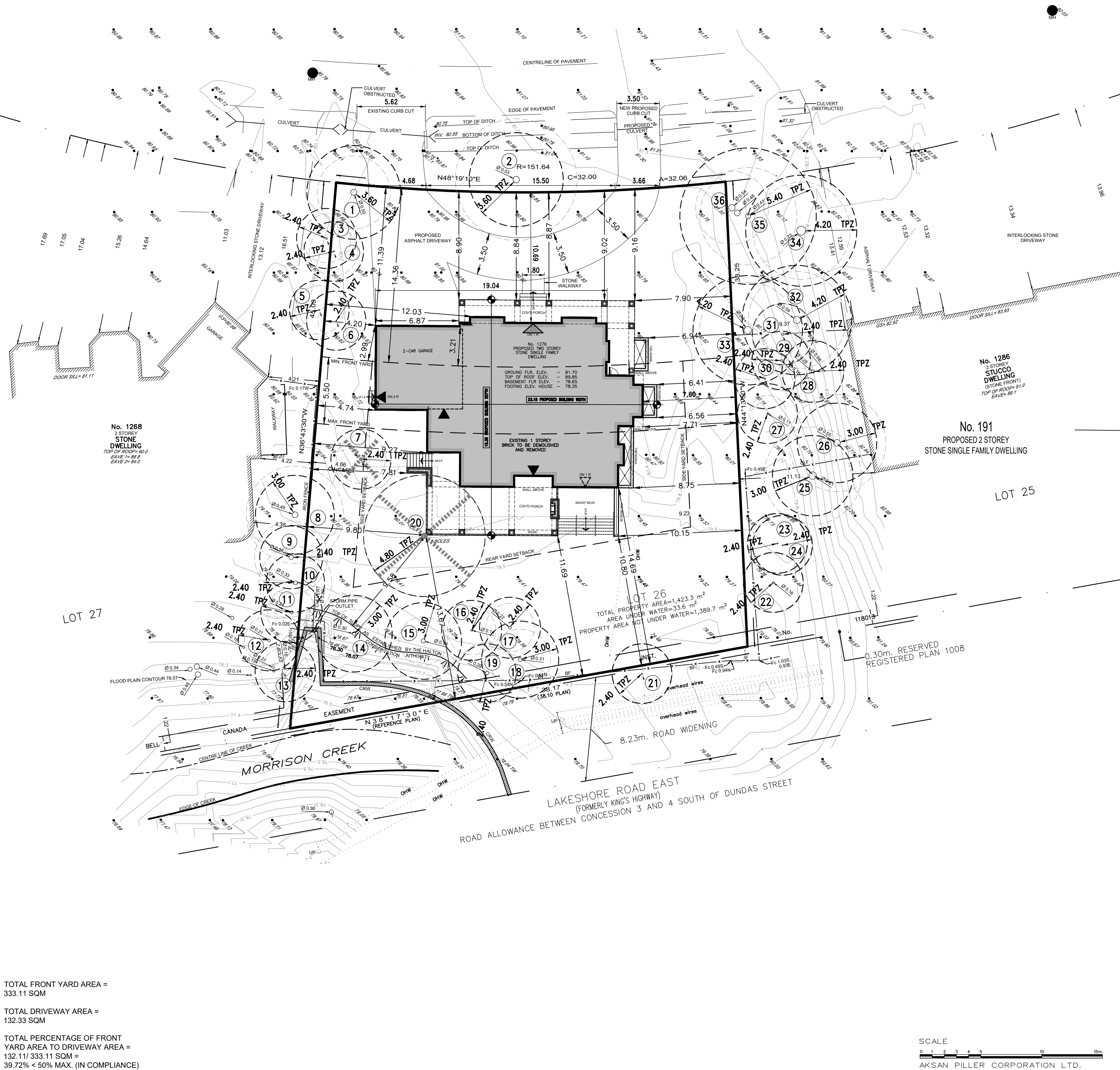
A1/2 SCALE: NTS



REVERSE LEDGE AT GRADE DETAIL

A1/2 SCALE: NTS

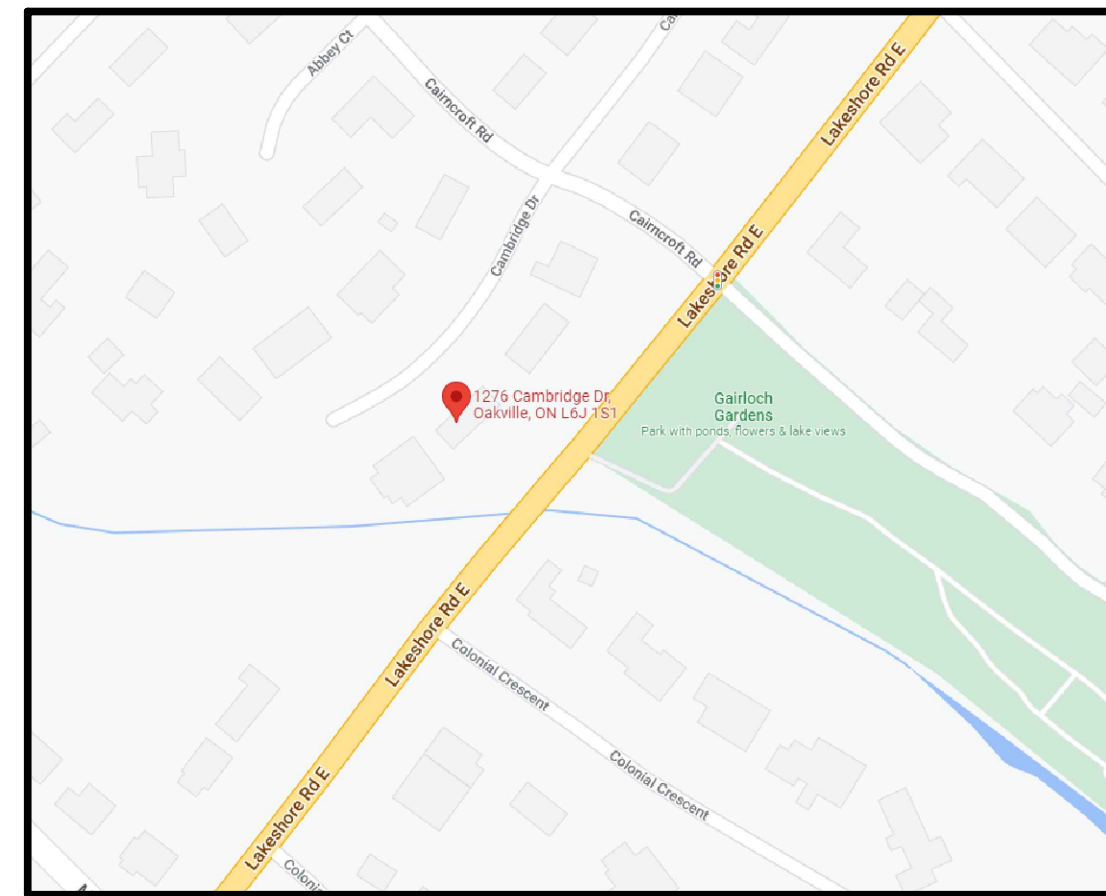
CAMBRIDGE DRIVE BY REGISTERED PLAN 1008



TOTAL FRONT YARD AREA = 333.11 SOM
TOTAL DRIVEWAY AREA = 132.33 SOM
TOTAL PERCENTAGE OF FRONT YARD AREA TO DRIVEWAY AREA = 132.11/333.11 SOM = 39.72% < 50% MAX. (IN COMPLIANCE)

SITE PLAN

A1/2 SCALE: 1:200



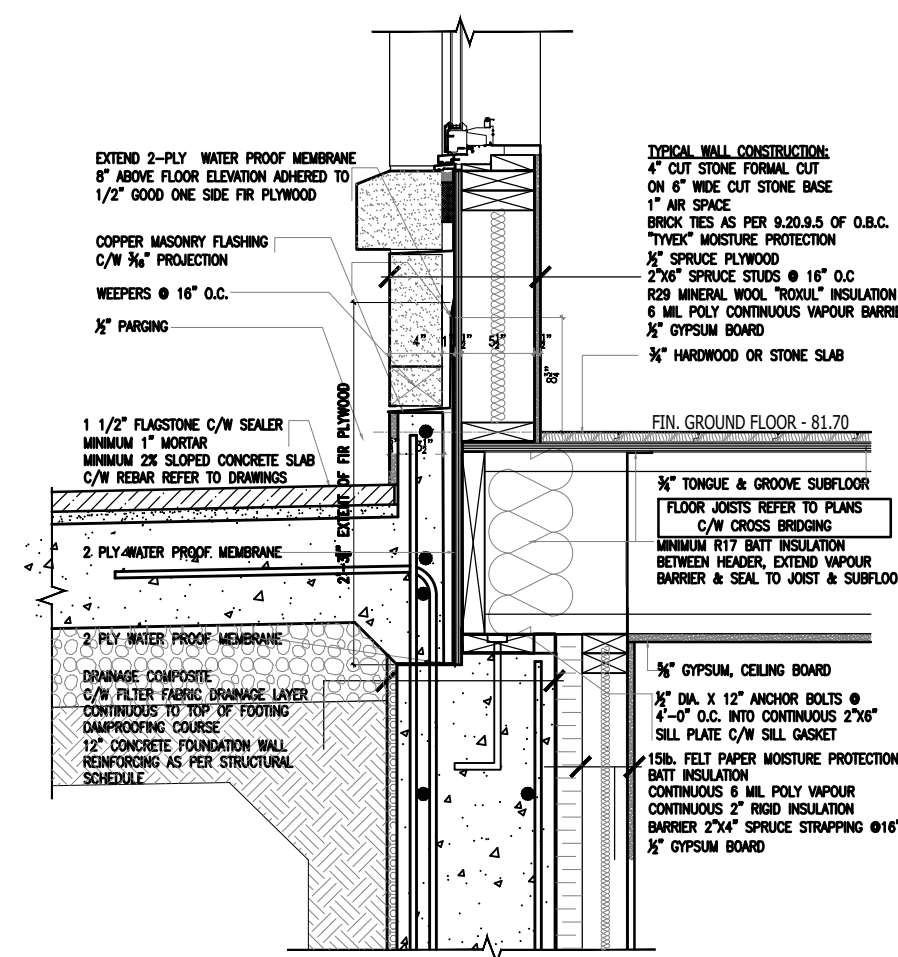
KEY PLAN

A1/2 SCALE: NTS

ARCHITECT: HICKS DESIGN STUDIO 256 ROBINSON STREET, SUITE 200 OAKVILLE, ONTARIO L6J 1G7 ATTENTION: WILLIAM R. HICKS PH: 905-339-1212 EXT. 222	APPLICANT: HICKS DESIGN STUDIO 256 ROBINSON STREET, SUITE 200 OAKVILLE, ONTARIO L6J 1G7 ATTENTION: CYNTHIA GIBSON PH: 905-339-1212 EXT. 233	OWNER: ANITA BINGH 1276 CAMBRIDGE DR. OAKVILLE, ON L6J 1S1
SITE STATISTICS ADDRESS: 1276 CAMBRIDGE DR. OAKVILLE, ON L6J 1S1 LEGAL DESCRIPTION: LOT 26 REGISTERED PLAN 1008 ZONING: R1-10 BY LAW 2014-014		
DESCRIPTION	REQUIRED METRIC IMPERIAL	PROPOSED METRIC IMPERIAL
LOT AREA: LOT AREA COVERED BY WATER: TOTAL LOT AREA:		1,423.30 15,320.27 33.60 361.67 1,389.70 14,958.60
LOT FRONTAGE: 1. AT STREET 2. AS PER DEFINITION (7.5m back from property line)		32.05 106.16 32.84 109.07
LOT COVERAGE: DWELLING COVERED ENTRY PORCH REAR COVERED TERRACE TOTAL COVERAGE (%)		241.11 2,686.23 38.76 384.67 63.41 674.86 339.27 3,664.97 25.00% 23.77%
GROSS FLOOR AREA: GROUND FLOOR SECOND FLOOR SPACE ABOVE GARAGE (HOUSEKEEPING BY-LAW) TOTAL TOTAL W/ HOUSEKEEPING BY-LAW		190.65 2,062.09 177.00 1,906.28 46.86 504.38 414.00 4,462.75 367.74 3,958.37
RESIDENTIAL FLOOR AREA RATIO TOTAL G.F.A (%) TOTAL W/ HOUSEKEEPING BY-LAW G.F.A (%)		403.01 4,338.00 25.00% 367.74 3,958.37 26.46%
DWELLING DEPTH	20.00	65.62
BASEMENT FINISHED AREA UNFINISHED AREA TOTAL BASEMENT		180.26 1,940.28 23.89 256.59 156.37 1,744.69
PARKING GARAGE: FLOOR AREA DRIVEWAY WIDTH	58.00 622.76 9.00 29.63	42.01 451.91 5.87 22.36
SETBACKS: MAXIMUM FRONT YARD FRONT YARD REAR YARD SIDE YARD EAST SIDE YARD WEST	19.88 65.16 14.50 47.11 10.00 34.45 4.20 13.78 4.20 13.78	9.84 29.50 VARIANCE 10.80 36.06 VARIANCE 6.41 21.03 4.20 13.78
MAXIMUM HEIGHT: MAXIMUM HEIGHT TO RIDGE GARAGE WALL PROJECTION	9.00 29.63 1.50 4.92	9.00 29.63 0.00 0.00
DRIVEWAY COVERAGE: FRONT YARD AREA DRIVEWAY AREA DRIVEWAY TO FRONT YARD RATIO	166.00 1,792.80 60.00% 40.84%	333.11 3,664.98 136.03 1,464.17 40.84%
MAIN WALL LENGTH AREA INSIDE MIN AND MAX FRONT YARD MAIN WALL PROPORTIONALITY (%)	19.04 62.47 9.62 31.24 60.00%	19.04 62.47 0.00 0.00 0.00%

SITE STATS

A1/2 SCALE: NTS



REVERSE LEDGE DETAIL AT PORCH

A1/2 SCALE: NTS



Drawings must NOT be scaled. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the architect prior to proceeding with any of the work.

LEGEND:

■	DENOTES SURVEY MONUMENT FOUND
□	DENOTES SURVEY MONUMENT PLANTED
IB	DENOTES IRON BAR
SB	DENOTES STANDARD IRON BAR
SSB	DENOTES SHORT STANDARD IRON BAR
CC	DENOTES CUT CROSS
CP	DENOTES CONCRETE PIN
WIT	DENOTES WITNESS MONUMENT
O/U	DENOTES ORIGIN UNKNOWN
N	DENOTES NORTH
S	DENOTES SOUTH
E	DENOTES EAST
W	DENOTES WEST
F.C.	DENOTES FENCE
CLF	DENOTES CHAIN LINK FENCE
BF	DENOTES BOARD FENCE
IF	DENOTES IRON FENCE
UP	DENOTES UTILITY POLE
CRW	DENOTES CONCRETE RETAINING WALL
OWH	DENOTES OVERHEAD WIRES
MH	DENOTES MANHOLE
TW	DENOTES TOP OF WALL
PLAN	DENOTES REGISTERED PLAN 1008
950/CMC	DENOTES CUNNINGHAM MCCONEL O.L.S.
FGC	DENOTES F.G. CUNNINGHAM INC. O.L.S.
	(Dec. 4, 2003 & Sept. 8, 1997)

SITE LEGEND:

PROPERTY LINE
EXISTING GRADE
FINISHED GRADE
FINISHED FLOOR ELEVATION
FINISHED BASEMENT ELEVATION
FINISHED DECK ELEVATION
MAIN ENTRANCE
SECONDARY ENTRANCE
EXISTING STRUCTURES TO BE REMOVED
BORE HOLE LOCATION & No. PER SOILS REPORT
ROOF DOWNSPOUT LOCATION; DISCHARGE ON BOX/600 CONC. PAVER
PROPOSED DIMENSIONS TO NEW STRUCTURES
EXISTING DIMENSIONS TO EXISTING STRUCTURES
NEW SUMP WITH DISCHARGE DIRECTION
TREE HOARDING
TREE NUMBER PER ARBOURIST REPORT
EXISTING TREE TO REMAIN - DASHED LINE INDICATES TPZ (TREE PROTECTION ZONE PER ARBOURIST REPORT
EXISTING TREE TO BE REMOVED
EXISTING TREE TO BE REMAIN.

REGION OF HALTON CERTIFICATE

REGION DESIGN OF WATER AND/OR WASTEWATER SERVICES
APPROVED SUBJECT TO DETAIL CONSTRUCTION CONFORMING TO HALTON REGION STANDARDS AND SPECIFICATIONS AND LOCATION APPROVAL FROM AREA MUNICIPALITY.

SIGNED: _____ DATED: _____
Planning & Public Works Department
The Applicant should be aware that the approval of the water system on private property is the responsibility of the Local Municipality. Regardless, the Applicant must ensure that the Region of Halton's standards and specifications are met.
(The Design Criteria, Standard Drawings & Specifications manual may be obtained thru Capital Planning & Data Technologies Department at 905-825-6032).
Furthermore, all water quality tests must be completed to the Region of Halton's satisfaction, before the water supply can be

1	22.05.25	ISSUED FOR C OF A
REF.	DATE	DESCRIPTION
REVISIONS / ISSUANCE:		



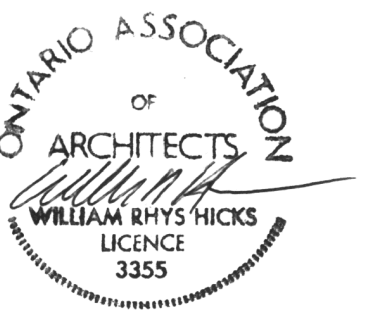
HICKS DESIGN STUDIO
256 ROBINSON STREET, SUITE 200 OAKVILLE, ON, CAN L6J 1G7
T. 905.339.1212

CLIENT:
**GREWAL AND SINGH
RESIDENCE**

ADDRESS: 1276 CAMBRIDGE DRIVE
CITY: OAKVILLE, ON.

DRAWING TITLE:
SITE PLAN

DRAWN: EO	DATE: 22.03.24	SCALE: 1:200
JOB NUMBER:		SHEET NUMBER:
21-319		A1.2



Drawings must NOT be scaled. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the architect prior to proceeding with any of the work.



1	22.05.25	ISSUED FOR C OF A
REF.	DATE:	DESCRIPTION:
REVISIONS / ISSUANCE:		



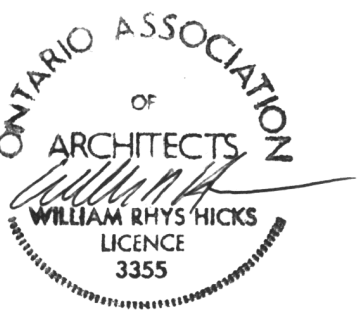
HICKS DESIGN STUDIO
255 ROBINSON STREET, SUITE 200 OAKVILLE ON, CAN L6J 1G7
WWW.HICKSDSIGNSTUDIO.CA T. 905.339.1212

CLIENT:
**GREWAL SINGH
RESIDENCE**

ADDRESS: 1276 CAMBRIDGE DRIVE
CITY: OAKVILLE, ON.

DRAWING TITLE:
NORTH ELEVATION

DRAWN: E.O.		
DATE:	22-05-24	SCALE: 1/4"=1'-0"
JOB NUMBER:	21-319	SHEET NUMBER: A4.1



Drawings must NOT be scaled. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the architect prior to proceeding with any of the work.



1	22.05.25	ISSUED FOR C OF A
REF.	DATE:	DESCRIPTION:
REVISIONS / ISSUANCE:		



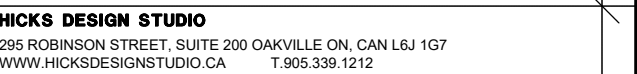
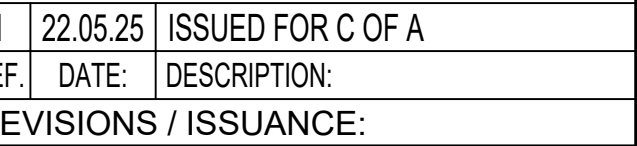
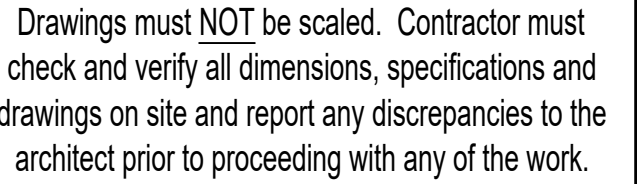
HICKS DESIGN STUDIO
265 ROBINSON STREET, SUITE 200 OAKVILLE ON, CAN L6J 1G7
WWW.HICKSDSIGNSTUDIO.CA T.905.339.1212

CLIENT:
**GREWAL SINGH
RESIDENCE**

ADDRESS: 1276 CAMBRIDGE DRIVE
CITY: OAKVILLE, ON.

DRAWING TITLE:
SOUTH ELEVATION

DRAWN: E.O.	DATE: 22-05-24	SCALE: 1/4"=1'-0"
JOB NUMBER: 21-319	SHEET NUMBER: A4.3	



ADDRESS: 1276 CAMBRIDGE DRIVE
CITY: OAKVILLE, ON.

RAWN: E.O.

DATE: 22-05-24	SCALE: 1/4"=1'-0"
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JOB NUMBER:	SHEET NUMBER:
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21-319	A4.2
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6/13/2024 C:\USER\BEC\HICKS DESIGN STUDIO\JDS - DOCUMENTS\1276 CAMBRIDGE DRIVE SINGH RESIDENCE - 1276 CAMBRIDGE DRIVE SINGH RESIDENCE - DESIGN DRAWINGS.DWG



Drawings must NOT be scaled. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the architect prior to proceeding with any of the work.

1	22.05.25	ISSUED FOR C OF A
REF.	DATE:	DESCRIPTION:
REVISIONS / ISSUANCE:		



HICKS DESIGN STUDIO
255 ROBINSON STREET, SUITE 200 OAKVILLE ON, CAN L6J 1G7
WWW.HICKSDESIGNSTUDIO.CA T.905.339.1212

CLIENT:
**GREVAL SINGH
RESIDENCE**

ADDRESS: 1276 CAMBRIDGE DRIVE
CITY: OAKVILLE, ON.

DRAWING TITLE:
WEST ELEVATION

DRAWN: E.O.		
DATE:	22-05-24	SCALE: 1/4"=1'-0"
JOB NUMBER:	21-319	SHEET NUMBER: A4.4

May 24th, 2022-Revised June 13th

Committee Of Adjustment, Town of Oakville
1225 Trafalgar Road,
Oakville, ON

RE: Minor Variance Application, 1276 Cambridge Drive

Dear Committee:

We are the Architects working with the Owners on their new 2 storey dwelling at 1276 Cambridge Drive. As such we would like to request approval for 3 minor variances which are indicated below with their rationale.

Zoning Bylaw 2014-14, RL1-0 Variances Requested

Front yard setback- Min Permitted: 14.36m Proposed: 8.84m Max Permitted: 19.86 Proposed: 8.84

The Bylaw requires that a new house be located within a range of 1M in front or 5M behind an existing house. In this case we are not able to meet this required setback due to the lot shape and the lot depth which is impacted by a required rear yard setback from a top of bank feature and stream on Lakeshore Rd which is found at the back of this property.

The intent of the Bylaw is however to maintain some consistency in the front yard setbacks on established streets and in fact the proposed house does match the setback of the houses on the street and thus our proposed location certainly meets the intent of the Bylaw and the character of the neighbourhood.

Floor to Lot Ratio-Permitted: 29% Proposed: 29.83%

The Bylaw permits a residential floor to lot ratio of 29%. In this case we are building a modest house on the site and we have taken care to create a front and side elevation that has lower roof lines and porch roof lines but within the objectives of the architectural style of the house the height of the roof over the garage is higher than 6.0 M so the area of the entire garage has to be added to the gross floor area of the home, which takes us over the permitted FAR on this lot.

In fact, the floor area of the house for the main and second floor without the area added above the garage is 3958 sq ft and this represents a FAR ratio of 26.46%, well below the permitted.

We believe the design of the house certainly complies with the infill guidelines for residential areas and the façade has been articulated appropriately and the increase in floor area to lot ratio is in fact a technical variance. We meet lot coverage, side yards, height and other bylaw requirements and therefore we feel these are reasonable variances.



295 Robinson Street, Suite 200
Oakville, ON L6J 1G7
905.339.1212

Thank you for your consideration.

William R. Hicks
B.E.S., B.Arch., MRAIC. OAA

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bhicks@hicksdesignstudio.ca