

TREE PROTECTION NOTE

1. ALL EXISTING TREES WHICH ARE TO REMAIN SHALL BE FULLY PROTECTED WITH HOARDING, ERECTED BEFORE THEIR DRIP LINE PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT. GROUPS OF TREES AND OTHER EXISTING PLANTINGS TO BE PROTECTED, SHALL BE TREATED IN A LIKE MANNER, WITH THE HOARDING AROUND THE ENTIRE CLUMP(S). AREAS WITHIN THE PROTECTIVE FENCING SHALL REMAIN UNDISTURBED AND SHALL NOT BE USED FOR THE STORAGE OF THE BUILDING MATERIAL AND EQUIPMENT.
2. NO RIGGING CABLES SHALL BE WRAPPED AROUND OR INSTALLED IN TREES AND SURPLUS SOIL, EQUIPMENT, DEBRIS OR MATERIALS SHALL NOT BE PLACED OVER ROOT SYSTEMS OF THE TREES WITHIN THE PROTECTIVE FENCING. NO CONTAMINANTS WILL BE DUMPED OR FLUSHED WHERE FEEDER ROOTS OF TREES EXIST.
3. THE DEVELOPER OR HIS/HER/ITS AGENTS SHALL TAKE EVERY PRECAUTION NECESSARY TO PREVENT ROOTS OF TREES OR SHRUBS TO BE RETAINED.
4. WHERE LIMBS OR PORTIONS OF TREES ARE REMOVED TO ACCOMMODATE CONSTRUCTION WORK, THEY WILL BE REMOVED CAREFULLY IN ACCORDANCE WITH ACCEPTED ARBORICULTURAL PRACTICE.
5. WHERE ROOT SYSTEMS OF PROTECTED TREES ARE EXPOSED DIRECTLY TO, OR DAMAGED BY CONSTRUCTION WORK, THEY SHALL BE TRIMMED NEATLY AND THE AREA BACKFILLED WITH APPROPRIATE MATERIAL TO PREVENT DESICCATION.
6. WHERE NECESSARY, THE TREES WILL BE GIVEN AN OVERALL PRUNING TO RESTORE THE BALANCE BETWEEN THE ROOTS AND TOP GROWTH OR TO RESTORE THE APPEARANCE OF THE TREES.
7. IF GRADES AROUND TREES TO BE PROTECTED ARE LIKELY TO CHANGE, THE OWNER SHALL BE REQUIRED TO TAKE SUCH PRECAUTIONS AS DRY WALLING, RETAINING WALLS AND RETENTION TO THE SATISFACTION OF THE PLANNING AND BUILDING DEPARTMENT OF THE TOWN OF OAKVILLE.
8. GRADE CHANGES WILL NOT OCCUR WITHIN THE TREE PROTECTION ZONE (TPZ).
9. UTILITY ACCESS CORRIDOR MUST BE OUTSIDE THE TPZ.
10. AND/OR NO OPEN TRENCH METHOD OF CONSTRUCTION BELOW-GROUND AS WELL AS NO ABOVE-GROUND LINES WITHIN THE TPZ.

STANDARD DEVELOPMENT NOTES:

(A) TRANSPORTATION AND WORKS DEPARTMENT

1. MUNICIPAL BOULEVARD TO BE RESTORED TO THE SATISFACTION OF ENGINEERING CONSTRUCTION STAFF.
2. RESTORE THE PUBLIC ROADWAY TO TOWN STANDARDS AND CLEARLY INDICATE ON THE ENGINEERING DRAWINGS ALL RESTORATION, TO THE SATISFACTION OF THE ENGINEERING & CONSTRUCTION DEPARTMENT.
3. DRIVEWAYS ON THE MUNICIPAL RIGHT-OF-WAY SHALL BE PAVED BY THE APPLICANT.
4. AT THE ENTRANCES TO THE SITE, THE MUNICIPAL CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY AND A CURB DEPRESSION WILL BE PROVIDED FOR THE ENTRANCE.
5. THE TOPS OF ANY CURBS BORDERING THE DRIVEWAYS WITHIN THE MUNICIPAL BOULEVARD WILL BE FLUSH WITH THE MUNICIPAL SIDEWALK AND ROAD CURB.

(B) GENERAL NOTES

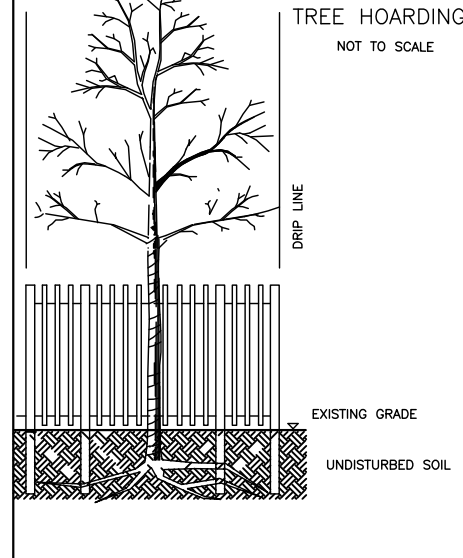
1. THE EXISTING GRADES SHOWN ON THIS DRAWING ARE TO REMAIN UNCHANGED.
2. THERE IS NO EASEMENTS REGISTERED ON TITLE AND AFFECTING THE SUBJECT LANDS.
3. THE STOCKPILING OF CONSTRUCTION MATERIAL TO BE DONE AT THE FRONT OF THE PROPOSED DWELLING ON THE EXISTING DRIVEWAY.
4. ALL ROOF DOWNSPOUTS FROM EAVESTROUGH TO DISCHARGE ONTO SURFACE AND THE RUNOFF DIRECTED TOWARDS THE REAR WHERE POSSIBLE AND TO THE ROAD.
5. ROOF DOWNSPOUT IS LOCATED IN SUCH MANNER AS TO DIRECT DRAINAGE AWAY FROM WALKWAYS, DRIVEWAYS OR PATIO AREAS.
6. MAINTAIN EXISTING GRADES IN AREA AROUND TREES TO BE PRESERVED.
7. PRIOR TO CONSTRUCTION, CONTRACTOR TO VERIFY IN FIELD THE EXACT SIZE AND INVERTS OF THE EXISTING WATER SERVICE CONNECTION AND SEWER CONNECTIONS AND REPORT IT TO THE ENGINEER.
8. ALL SURPLUS/EXCAVATED MATERIAL TO BE REMOVED FROM THE SITE.
9. CONTRACTOR TO MATCH EXISTING GRADES ALONG PROPERTY LINES.
10. ALL DISTURBED AREAS WITHIN EXISTING ROAD ALLOWANCE TO BE REINSTATED WITH TOPSOIL AND SOD TO THE SATISFACTION OF THE TOWN OF OAKVILLE.
11. THE CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS, IF ANY DISCREPANCIES, THEY MUST BE REPORTED TO THE ENGINEER IMMEDIATELY PRIOR TO CONSTRUCTION.
12. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES DURING CONSTRUCTION. GAS, HYDRO, TELEPHONE OR ANY OTHER UTILITIES THAT MAY EXIST ON THE SITE OR WITHIN THE STREETLINE MUST BE LOCATED BY ITS OWN UTILITIES AND VERIFIED PRIOR TO CONSTRUCTION.
13. ALL CONNECTIONS SHALL BE INSTALLED AS PER REGION OF HALTON STANDARDS AND SPECIFICATIONS.
14. BUILDER IS TO VERIFY TO THE ENGINEER THAT THE FINAL FOOTING ELEVATION AND TOP OF FOUNDATION WALL ELEVATION ARE IN CONFORMITY WITH THE BUILDING CODE AND THE CERTIFIED GRADING PLAN PRIOR TO PROCEEDING.
15. OUTSIDE FINISHED GRADE TO BE A MINIMUM OF 150 mm BELOW BRICK/STONE VENEER ELEVATION.
16. PRIOR TO ANY SODDING, THE BUILDER IS TO ENSURE TO THE SOIL CONSULTANT AND/OR THE ENGINEER THAT THE LOT HAS BEEN GRADED AND TOPSOILED AND SODDED COMPLETELY WITH A MINIMUM DEPTH OF 200 mm OF TOPSOIL AND N° 1 NURSERY SOD AND A MINIMUM DEPTH OF 150 mm CRUSHED STONE TO BE PROVIDED ON THE ENTIRE LENGTH OF EACH DRIVEWAY ON A FIRM SUBGRADE AND THE DRIVEWAY TO BE PAVED WITH A MINIMUM COMPACTED DEPTH OF 75 mm OF ASPHALT BETWEEN THE CURB AND THE GARAGE.
17. NO SODDING ON ANY LOT IS PERMITTED UNTIL PRELIMINARY INSPECTION IS DONE BY THE ENGINEER AND THE BUILDER.
18. DRIVEWAY GRADES SHOULD BE NOT LESS THAN 1.0% AND NOT GREATER THAN 7.0%.
19. LAWN AND SWALES SHALL HAVE MINIMUM SLOPE OF 2.0% AND A MAXIMUM SLOPE OF 5.0% AND HAVE A MINIMUM DEPTH OF 150mm.
20. WHERE GRADES IN EXCESS OF 5.0% ARE REQUIRED, THE MAXIMUM SLOPE SHALL BE 3:1. GRADE CHANGES IN EXCESS OF 1.0 m ARE TO BE ACCOMPLISHED BY USE OF A RETAINING WALL. RETAINING WALLS HIGHER THAN 0.6 m SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE.
21. THE SERVICE CONNECTION TRENCH THROUGH THE TRAVELLED PORTION OF THE ROAD ALLOWANCE SHALL BE BACKFILLED WITH UNSHRINKABLE BACKFILL MATERIAL AS PER TOWN OF OAKVILLE STANDARDS UNLESS OTHERWISE SPECIFIED PRIOR APPROVAL FOR OTHER BACKFILL MATERIAL HAS BEEN OBTAIN.
22. ALL WATERMANS AND WATER SERVICE MATERIALS AND CONSTRUCTION METHODS MUST CORRESPOND TO CURRENT REGION OF HALTON STANDARDS AND SPECIFICATIONS.
23. WATERMANS AND/OR WATER SERVICES ARE TO HAVE A MINIMUM DEPTH OF 1.7 m WITH A MINIMUM HORIZONTAL SPACING OF 2.5 m FROM THEMSELVES AND OTHER SERVICES.
24. SEDIMENT CONTROL FENCE TO BE INSTALLED AS PER THE TOWN OF OAKVILLE STANDARDS.
25. ALL DAMAGED AND DISTURBED AREAS TO BE REINSTATED WITH TOPSOIL AND SOD.

EROSION AND SILTATION NOTES

1. ALL EROSION AND SEDIMENT CONTROLS ARE TO BE INSTALLED ACCORDING TO APPROVED PLANS TO COMMENCEMENT OF ANY EARTH MOVING WORK ON THE SITE AND SHALL REMAIN IN PLACE UNTIL A DISTURBED AREA IS STABILIZED WITH THE INTENDED FINAL GROUND COVER.
2. EROSION AND SEDIMENT CONTROLS SHALL BE INSPECTED BY THE BUILDER/DEVELOPER.
 - A. WEEKLY
 - B. BEFORE AND AFTER ANY PREDICTED RAINFALL EVENT
 - C. FOLLOWING AN UNPREDICTED RAINFALL EVENT
 - D. DAILY, DURING EXTENDED DURATION RAINFALL EVENTS
 - E. AFTER SIGNIFICANT SNOW MELT EVENTS
3. EROSION AND SEDIMENT CONTROLS SHALL BE MAINTAINED IN PROPER WORKING ORDER AT ALL TIMES. DAMAGED OR CLOGGED DEVICES SHALL BE REPAIRED WITH 48 HOURS.
4. WHERE A SITE REQUIRES DEWATERING AND WHERE THE EXPELLED WATER CAN BE FREELY RELEASED TO A SUITABLE RECEIVER, THE EXPELLED WATER SHALL BE CAPTURED, SUSPENDED PARTICLES TO MICRON IN SIZE, THE CAPTURED SEDIMENT SHALL BE DISPOSED OF PROPERLY PER MOCC GUIDELINES, THE CLEAN EXPELLED WATER SHALL BE FREELY RELEASED TO A SUITABLE RECEIVER IN MANNER THAT DOES NOT CREATE DOWNSIDE ISSUES INCLUDING BUT NOT LIMITED TO EROSION, FLOODING- NUISANCE OR OTHERWISE, INTERFERENCE ISSUES, ETC.
5. EXISTING STORM SEWERS AND DRAINAGE DITCHES ADJACENT TO THE WORKS SHALL BE PROTECTED AT ALL TIMES FROM THE ENTRY OF SEDIMENT/SILT THAT MAY MIGRATE FROM THE SITE. FOR STORM SEWERS: ALL INLETS/REAR LOT CATCHBASINS, ROAD CATCHBASINS, PIPE INLETS, ETC.) MUST BE SECURED/FITTED WITH SILTATION CONTROL MEASURES. FOR DRAINAGE DITCHES: THE INSTALLATION OF ROCK CHECK DAMS, SILTATION FENCING, SEDIMENT CATCH BASINS MUST BE INSTALLED TO TRAP AND CONTAIN SEDIMENT. THESE SILTATION CONTROL DEVICES SHALL BE INSPECTED AND MAINTAINED PER ITEMS 2 AND 3 ABOVE.
6. IN THE EVENT OF A SPILL/RELEASE OF DELETERIOUS MATERIAL) ON OR EMANATING FROM THE SITE, THE OWNER AGENT SHALL IMMEDIATELY NOTIFY THE MOCC AND FOLLOW ANY PRESCRIBED CLEAN UP PROCEDURE. THE OWNER OR OWNERS AGENT WILL ADDITIONALLY NOTIFY THE TOWN.

NOTE: TREE PROTECTION ZONES FOR THE PURPOSES OF THIS BY-LAW, THE TREE PROTECTION ZONE (TPZ) FOR ANY TREE SHALL BE DETERMINED AS FOLLOWS:

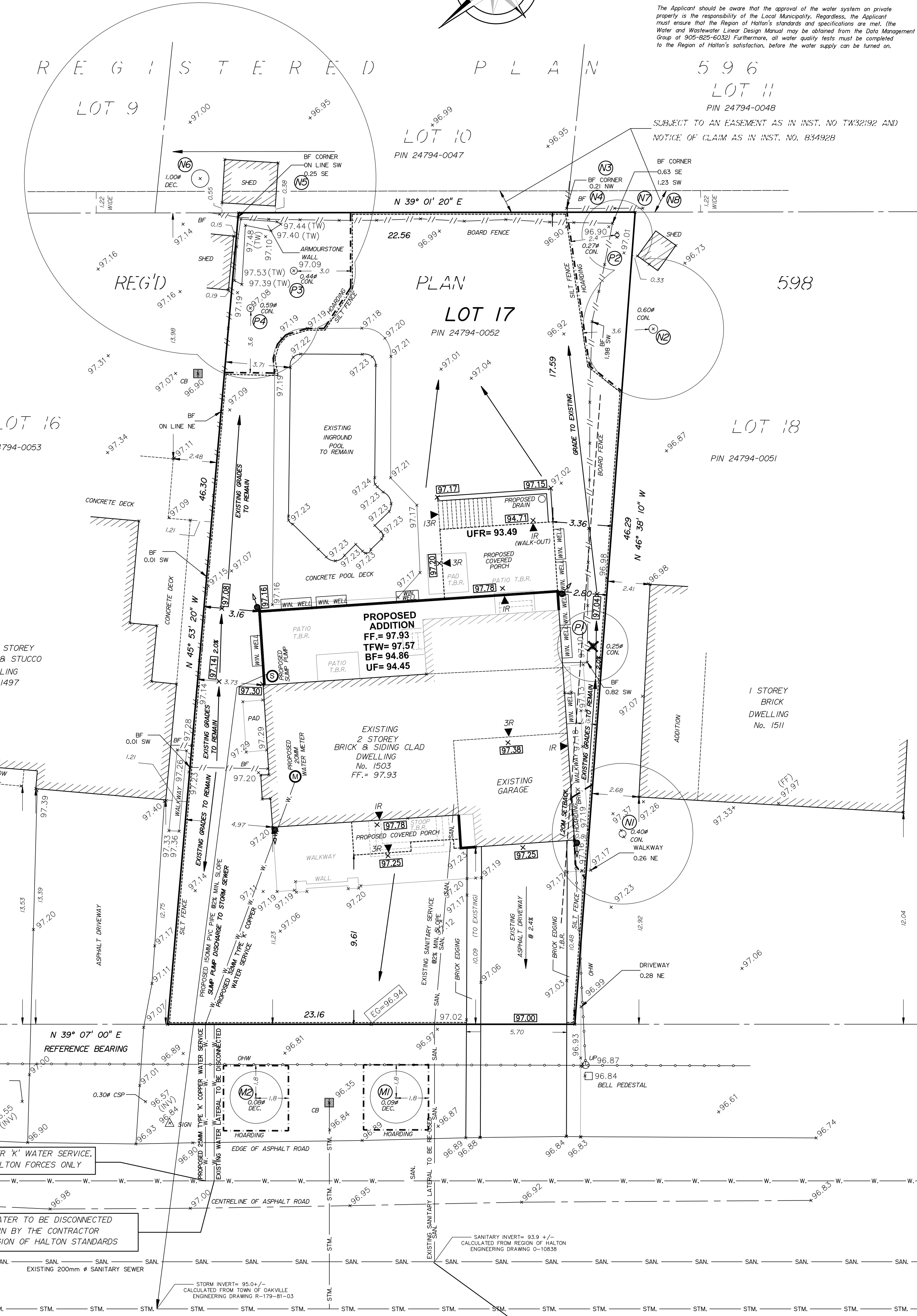
TRUNK DIAMETER (DBH) ¹	MINIMUM PROTECTION DISTANCES REQUIRED ²
<10 CM	1.8 M
11-30 CM	2.4 M
31-50 CM	3.0 M
51-60 CM	3.6 M
61-70 CM	4.2 M
71-80 CM	4.8 M
81-90 CM	5.4 M
91-100+ CM	6.0 M



OPEN TRENCHING WILL NOT BE PERMITTED WITHIN TREE PRESERVATION AREA

PROPOSED CONNECTIONS TO BE HORIZONTALLY BORED ONLY NO OPEN TRENCHING

1. DIAMETER AT BREAST HEIGHT (DBH) MEASUREMENT OF TREE TRUNK TAKEN 1.4 METERS ABOVE GROUND
2. TREE PROTECTION ZONE DISTANCES ARE TO BE MEASURED FROM THE OUTSIDE EDGE OF THE TREE BASE TOWARDS THE DRIP LINE AND MAY BE LIMITED BY AN EXISTING PAVED SURFACE, PROVIDED THAT SURFACE REMAINS INTACT THROUGHOUT SITE ALTERATION



PROPOSED 25MM COPPER 'K' WATER SERVICE, TAP BY REGION OF HALTON FORCES ONLY.

EXISTING WATER TO BE DISCONNECTED AT THE MAIN BY THE CONTRACTOR AS PER REGION OF HALTON STANDARDS

(C) UTILITIES CONNECTION

1. SANITARY: (A) MUNICIPAL SANITARY SEWER AVAILABLE ON THE SITE.
2. WATER: (A) SERVICE CONNECTIONS TO BE 25mm DIA. TYPE 'K' SOFT COPPER TUBING UNLESS OTHERWISE NOTED AS PER REGION OF HALTON STANDARDS.
3. STORM: (A) A SUMP PUMP WILL BE REQUIRED TO DRAIN THE BASEMENT FACILITIES.

DURHAM STREET (BY REGISTERED PLAN 598)

PIN 24794-0076

The existing sanitary lateral must be inspected at the property line by the Regional Inspector, and televised by Regional forces PRIOR to connection.

A lateral that does not meet current Regional standards must be disconnected at the main. A revision to the Service Permit, drawings and payment of applicable fees is required

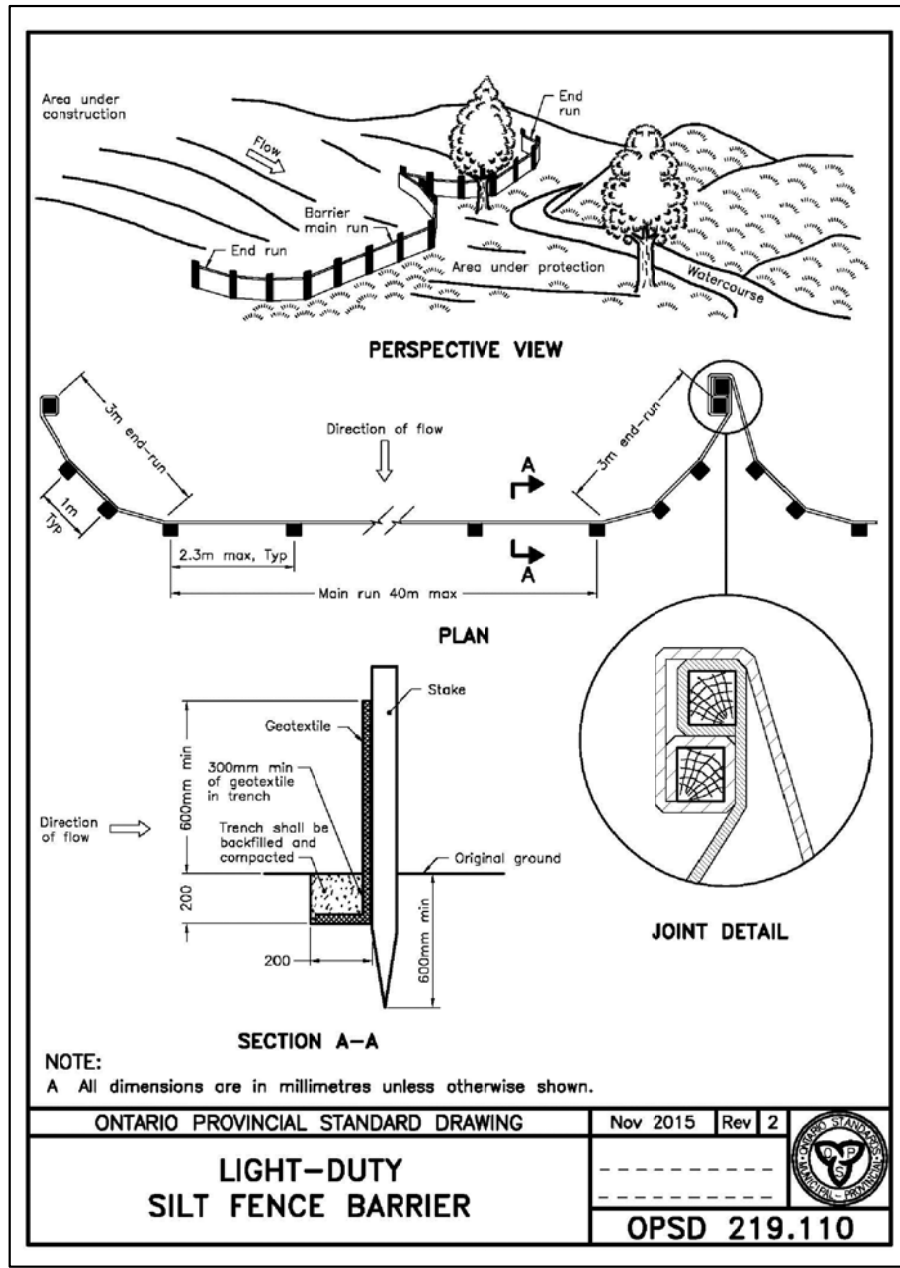
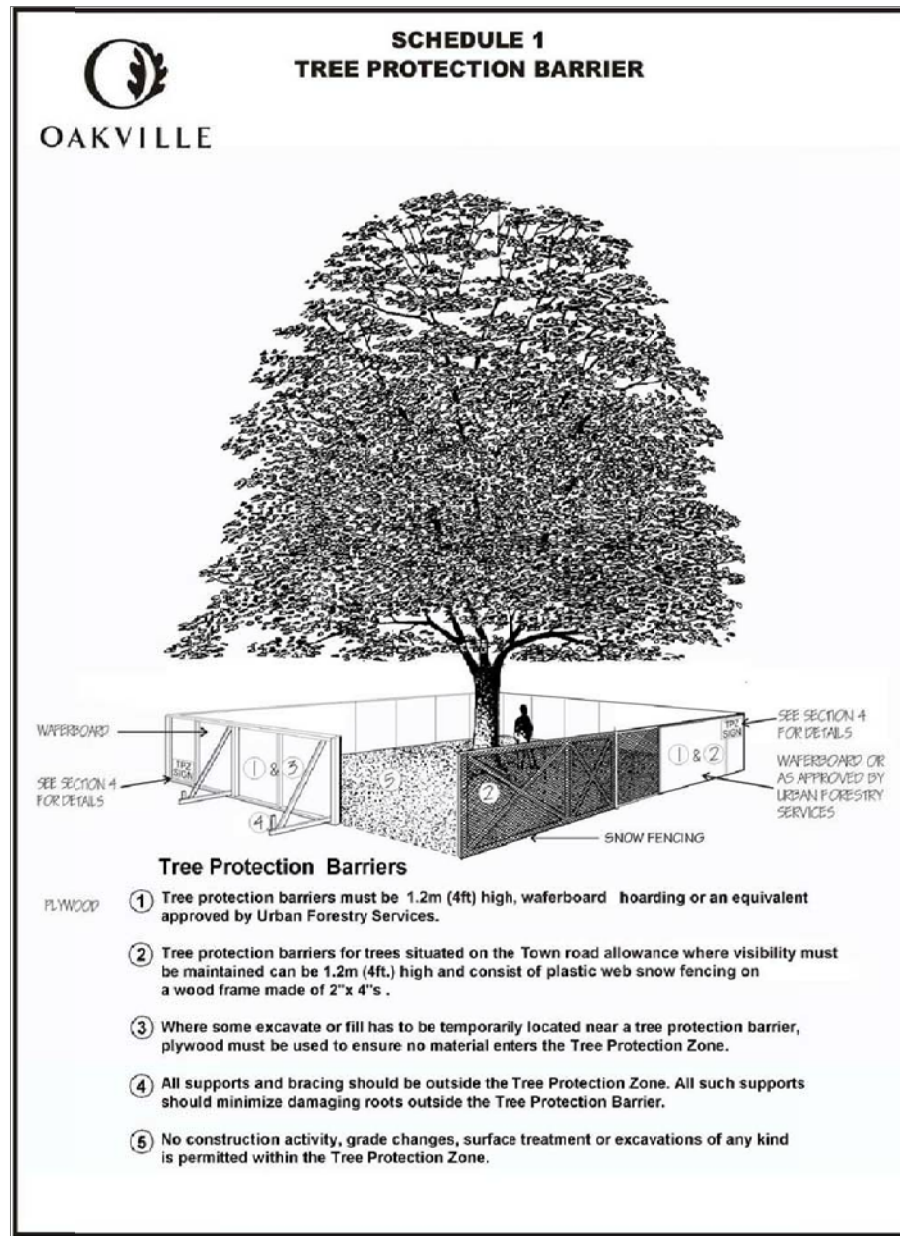
REGIONAL APPROVAL

REGION DESIGN OF WATER &/OR WASTEWATER SERVICES APPROVED SUBJECT TO DETAIL CONSTRUCTION CONFORMING TO HALTON REGION STANDARDS & SPECIFICATIONS & LOCATION APPROVAL FROM AREA MUNICIPALITY.

SIGNED: INFRASTRUCTURE PLANNING & POLICY

The Applicant should be aware that the approval of the water system on private property is the responsibility of the Local Municipality. Regardless, the Applicant must ensure that the Region of Halton's standards and specifications are met. The Water and Wastewater Linear Design Manual may be obtained from the Data Management Group at 905-885-0000. Furthermore, all water quality tests must be completed to the Region of Halton's satisfaction, before the water supply can be turned on.

SUBJECT TO AN EASEMENT AS IN INST. NO. TW332192 AND NOTICE OF CLAIM AS IN INST. NO. H34928



All NEW water and sanitary main taps are to be performed by Region of Halton forces only

NOTE DOWN SPOUT DISCHARGE LOCATIONS ARE TO BE DISCHARGED ONTO SPLASH PADS.

ANY WATER OR SANITARY SERVICE THAT DOES NOT MEET CURRENT REGIONAL STANDARDS MUST BE DISCONNECTED AT THE MAIN, AND A NEW SERVICE CONSTRUCTED AT THE SITE DEVELOPER'S EXPENSE.

NOTE

THIS LOT REQUIRES A SUMP PUMP FOR THE FOUNDATION DRAINS AND SHALL DISCHARGE TO THE STORM SEWER, COMPLETE WITH BACKFLOW PREVENTER.

NOTE

Sewer contractor to verify in the field and provide 2.5m (MIN.) separation between the Water and Sanitary Lines.

Contractor to use existing services.

NOTE

If the existing sanitary service lateral is used, it must be inspected at the property line by the Regional Inspector, and televised by Regional forces PRIOR to connection

NOTE

Service sizes, inverts and types are derived from the Region of Halton Engineering Department Dwg. No. 0-10838 & Town of Oakville Engineering Department Dwg. No. R-179-81-03

The contractor must verify inverts.

J. H. Gelbloom Surveying Limited
Ontario Land Surveyor
476 Morden Road, Unit 102, Oakville, Ont. L6K 3W4
office@jhgsurveying.ca
Phone:(905) 338-8210 Fax:(905) 338-9446



SITE, GRADING & SERVICING PLAN

LOT 17 REGISTERED PLAN 598 TOWN OF OAKVILLE

REGIONAL MUNICIPALITY OF HALTON

SCALE 1 : 150
J.H. Gelbloom Surveying Limited
Ontario Land Surveyor
2022

METRIC
Distances shown on this plan are in metres and can be converted to feet dividing by 0.3048.

ITEM DESCRIPTION	PERMITTED METERS	ACTUAL OR EXISTING METERS
OAKVILLE BY-LAW	2014-04	
ZONING DESIGNATION	RLS-0	
LOT AREA (MINIMUM)	836.0 SQ.M.	1054.69 SQ.M.
LOT FRONTAGE (MINIMUM)	22.50	23.06
LOT COVERAGE (MAXIMUM)	263.67 SQ.M.	263.19 SQ.M.
LOT COVERAGE % (MAXIMUM)	25.0%	24.95%
RFA (MAXIMUM)	390.24 SQ.M.	347.46 SQ.M.
FRONT YARD SETBACK (MINIMUM)	37.00	30.94ft
FRONT YARD SETBACK (MAXIMUM)	9.00	9.61
REAR YARD SETBACK (MINIMUM)	1.20 & 2.40	0.80 EXISTING @ 5.16
REAR YARD SETBACK (MAXIMUM)	7.50	17.59
OVERALL HEIGHT	9.00	8.39

LEGEND

CLF	Chain Link Fence	INV.	Invert Elevation
BF	Board Fence	EG	Established Grade
TFW	Top of Foundation Wall	92.56	Proposed Elevation
MH	Maintenance Hole		
FF	Finished Floor		
UP	Utility Pole	T.B.R.	To Be Removed
DEC.	Deciduous Tree	TOS	Top of Slope
CON.	Coniferous Tree	BOS	Bottom of Slope
CSP	Corrugated Steel Pipe		
#	Diameter	WV	Water Valve
TOC	Top of Curb		
BOC	Bottom of Curb		
HP	High Point		
TRW	Top of Retaining Wall		
BRW	Bottom of Retaining Wall		
3	Arborist's Tree Number		
	Rain Water Leader		
	Embankment		
X	Tree to be Removed		

SITE ADDRESS 1503 DURHAM STREET OAKVILLE, ONTARIO

C.H. WORLD DESIGN & CONSTRUCTION
2038 DUNCAN ROAD
OAKVILLE, ONTARIO

1	MAY 4, 2022	SITE & GRADING	M.K.
2	MAY 19, 2022	REGION COMMENTS	A.M.
3			
No.	Date	Description	By
R E V I S I O N S			

INFORMATION TAKEN FROM A SURVEY PREPARED BY J.H. GELBLOOM SURVEYING LTD., O.L.S.
DATED : FEBRUARY 12, 2021

BENCHMARK

Elevations are Referred to the Town of Oakville Benchmark No. 32 having an Elevation of 96.0897 m.

SURVEYOR'S CERTIFICATE

I HAVE REVIEWED THE PLANS FOR THE CONSTRUCTION OF A TWO STOREY DWELLING LOCATED AT 1503 DURHAM ST. AND HAVE PREPARED THIS PLAN TO INDICATE THE COMPATIBILITY OF THE PROPOSAL WITH ALL ADJACENT PROPERTIES AND EXISTING MUNICIPAL SERVICES. IT IS MY BELIEF THAT ADHERENCE TO THE PROVIDED ELEVATIONS AND GRADIENTS SHOWN WILL PRODUCE ADEQUATE SURFACE DRAINAGE AND PROPER FACILITY OF THE MUNICIPAL SERVICES WITHOUT DETRIMENTAL EFFECT TO THE EXISTING DRAINAGE PATTERNS OR ADJACENT PROPERTIES.

I HEREBY CERTIFY THAT THE DIMENSIONS AND SET-BACKS ARE CORRECTLY SHOWN.

JUNE 1, 2022

DATE

Checked By: A.M.

Drawn By: M.K.

Party Chief: N.A.

Project: 20-244

Checked By: A.M.

Drawn By: M.K.

Party Chief: N.A.

Project: 20-244

Checked By: A.M.

Drawn By: M.K.

Party Chief: N.A.

SITE STATISTICS
ADDRESS:

1503 DURHAM STREET

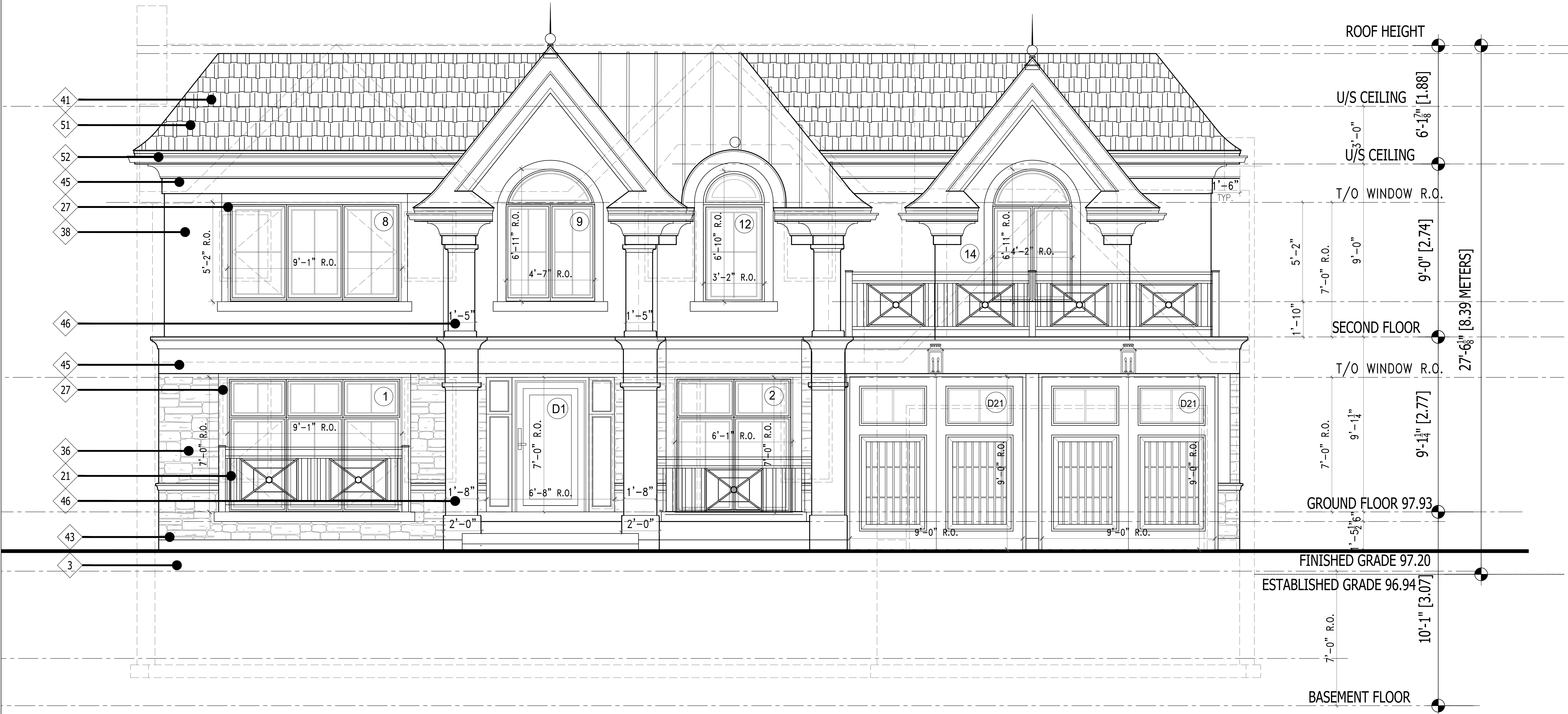
OAKVILLE, ONTARIO

L6J 2P4

LOT 17 AND REGISTERED PLAN 598

LEGAL DESCRIPTION:
ZONING:
BY-LAW 2014-14 (RL2-0)

	%	METRIC	IMPERIAL
LOT AREA:		1054.69	11352.96
LOT FRONTAGE:		23.06	75.66
GROSS FLOOR AREA:			
PERMITTED	37	390.2353	4200.60
ADDITION AREA			
GROUND FLOOR		46.17	497
SECOND FLOOR		70.33	757
TOTAL	11.05	116.50	1,254
INTERIOR ALTERATION AREA			
GROUND FLOOR		137.49	1,480
SECOND FLOOR		92.99	1,001
TOTAL	21.85	230.48	2,481
TOTAL BASEMENT		180.88	1,947
FINISHED AREA		180.88	1,947
UNFINISHED AREA		0.00	0
PERMITTED GARAGE (INTERIOR)	4.27	45.00	484
PROPOSED GARAGE (INTERIOR)	3.38	35.67	384
LOT COVERAGE:			
PERMITTED	25	263.67	2,838
PROPOSED DWELLING	17.41	183.66	1,977
PROPOSED GARAGE	3.71	39.11	421
PROPOSED COVERED PORCHES	3.29	34.74	374
PROPOSED TOTAL	24.42	257.52	2,772
GARAGE PROJECTION			
PERMITTED PROJECTION BEYOND FRONT FAÇADE		1.50	4'-10"
PROPOSED GARAGE PROJECTION		1.85	6'-1"
MAXIMUM HEIGHT			
PERMITTED		9.00	29'-6"
PROPOSED (TO RIDGE)		8.39	27'-6"
SETBACK CALCULATIONS:			
FRONT YARD - PERMITTED (DWELLING+PORCHES)	=	9.09	29.82
- PROPOSED (DWELLING+PORCHES)		9.61	31.53
REAR YARD - PERMITTED (DWELLING+PORCHES)	=	7.50	24.61
- PROPOSED (DWELLING+PORCHES)		17.59	57.71
SIDE YARD WEST- PERMITTED (DWELLING)	=	2.40	7.87
- PROPOSED DWELLING		4.97	16.31
SIDE YARD EAST- PERMITTED DWELLING	=	1.20	3.94
- EXISTING DWELLING		0.80	2.62



NOTE:
ADJUSTMENTS OR CHANGES MADE
TO THE FLOOR LAYOUT ROOF TRUSS
LAYOUT, BEAMS, LINTELS & POINT
LOADS OR REQUIRED LOAD BEARING
WALLS MUST BE IDENTIFIED PRIOR TO
CONSTRUCTION AND C. H.WORLD
DESIGN AND STRUCTURAL ENGINEER
MUST BE NOTIFIED FOR FURTHER
REVIEW AND APPROVAL.

ALL STUCCO TO BE 'DUROCK' EIFS P.U.C.C.S.
EXTERIOR INSULATION AND FINISH SYSTEM
CCMC 1 2969R APPROVED - INSTALL AS PER
OBC. 9.28. AND MANUFACTURER'S SPECS
OBD. - NOTE USE 'VAPOUR BLOCK' BY
DUROCK FOR AIR/VAPOUR BARRIER BELOW
STUCCO IN PLACE OF TYVEK OR EQUIVALENT
PRODUCT SPECIFIED FOR ALL WALLS NOT
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WINDOW NOTE:
ALL PROPOSED WINDOWS TO BE
DOUBLE GLAZED ARGON FILLED
WITH MAXIMUM U VALUE OF 1.8.
WINDOW TO WALL AREA RATIO
= 16.4%

ALL CODE REFERENCES REFER TO
O.B.C 2012 DIVISION 'B'

FRONT ELEVATION

C. H. WORLD DESIGN &
CONSTRUCTION Ltd.
1559 Watersedge Road, Mississauga,
ON. L5J 1A6. (647) 298 -1206

DESIGNED BY: Ni Ni

B. C. I. N. #: 41885

GENERAL NOTES

- 1) Contractor to check all dimensions, specifications, ect. on site and shall be responsible for reporting any discrepancy to the engineer and/ or designer.
- 2) These plans are to remain the property of the designer and must be returned upon request. These plans must not be used in any other location without the written approval of the designer.
- 3) These drawings are for permit application purpose. Contractor must check all applicable By-laws and OBC. Any discrepancy must be reported to the designer.

SIGN.	DATE	REVISION	NO.

DRAWING

FRONT ELEVATION

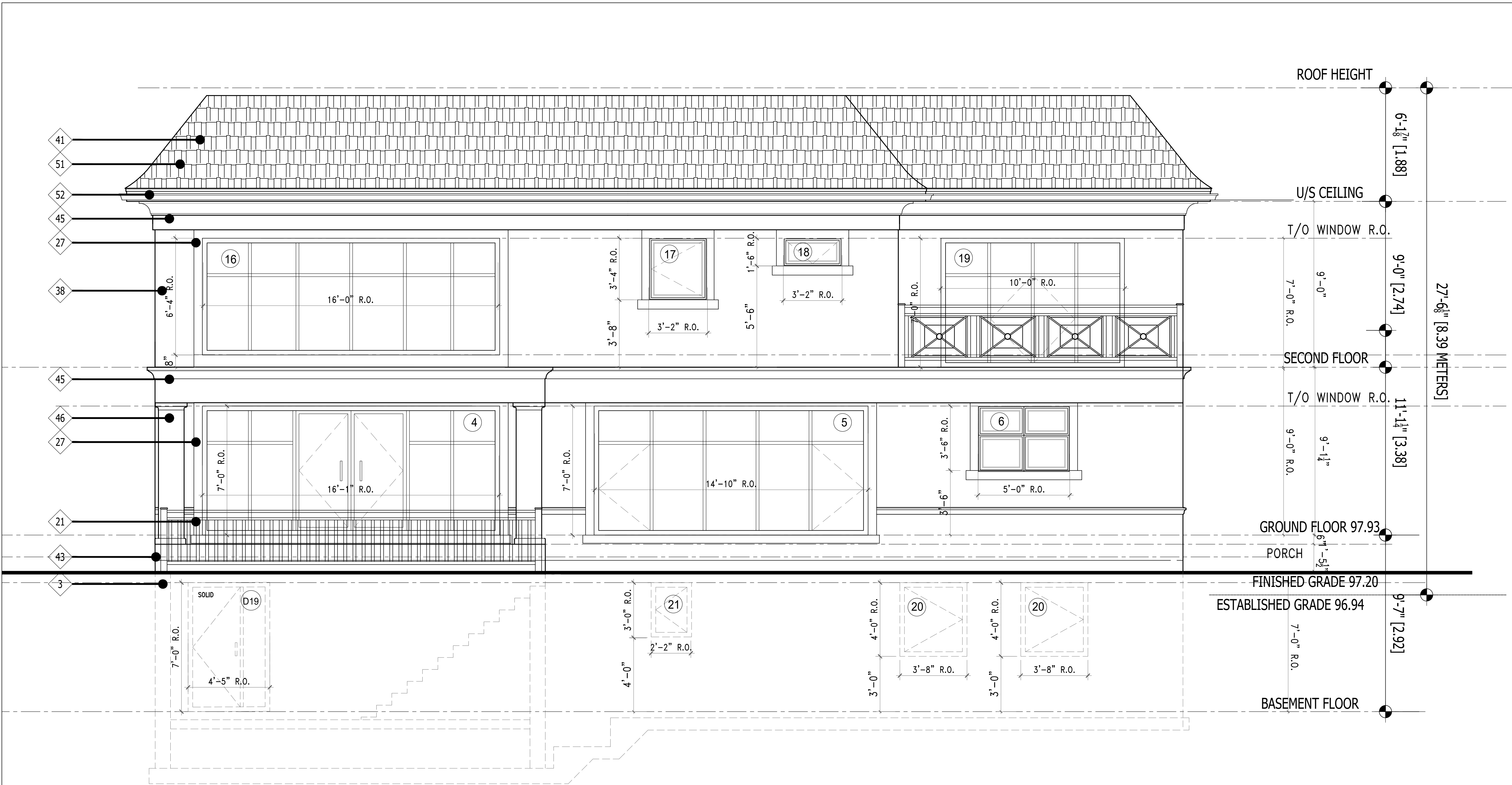
PROJECT

BOTROS RESIDENCE

PROJECT

1503 DURHAM STREET,
OAKVILLE,
ONTARIO
L6J 2P4

DATE	SHEET
MAR 2022	A5
SCALE	3/8" = 1'-0"



NOTE:
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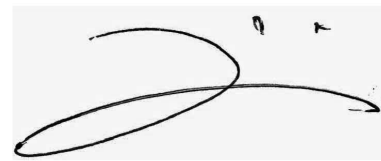
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REAR ELEVATION

C. H. WORLD DESIGN &
CONSTRUCTION Ltd.
1559 Watersedge Road, Mississauga,
ON. L5J 1A6. (647) 298-1206



DESIGNED BY: Ni Ni

B. C. I. N. #: 41885

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DRAWING

REAR ELEVATION

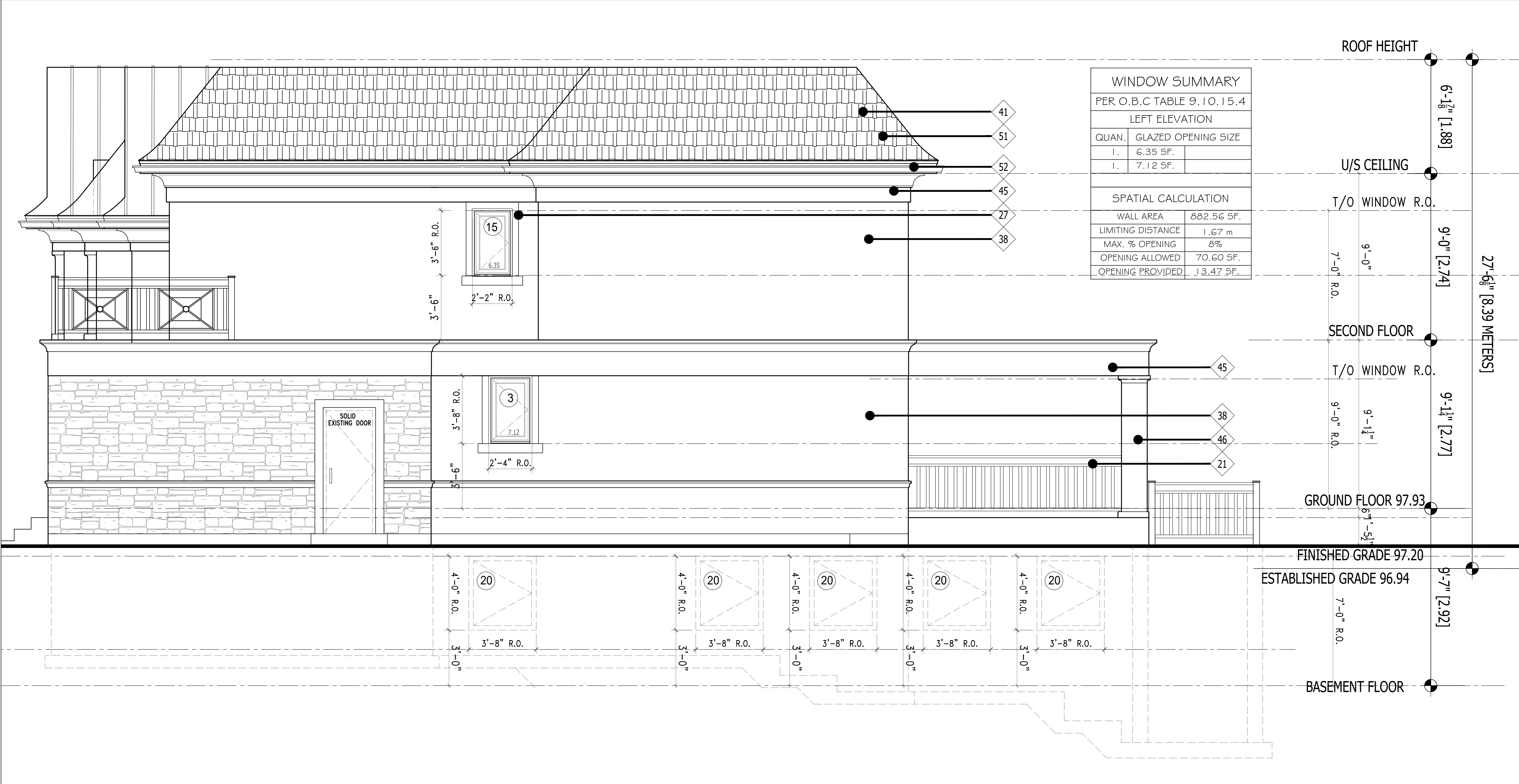
PROJECT

BOTROS RESIDENCE

PROJECT

1503 DURHAM STREET,
OAKVILLE,
ONTARIO
L6J 2P4

DATE	SCALE	SHEET
MAR 2022	1/4" = 1'-0"	A6



WINDOW SUMMARY		
PER O.B.C TABLE 9.10.15.4		
LEFT ELEVATION		
QUAN.	GLAZED OPENING SIZE	
1.	6.35 SF.	
1.	7.12 SF.	
SPATIAL CALCULATION		
WALL AREA	882.56 SF.	
LIMITING DISTANCE	1.67 m	
MAX. % OPENING	8%	
OPENING ALLOWED	70.60 SF.	
OPENING PROVIDED	13.47 SF.	

NOTE:
ADJUSTMENTS OR CHANGES MADE
TO THE FLOOR LAYOUT ROOF TRUSS
LAYOUT, BEAMS, LINTELS & POINT
LOADS OR REQUIRED LOAD BEARING
WALLS MUST BE IDENTIFIED PRIOR TO
CONSTRUCTION AND C. H.WORLD
DESIGN AND STRUCTURAL ENGINEER
MUST BE NOTIFIED FOR FURTHER
REVIEW AND APPROVAL.

ALL STUCCO TO BE 'DUROCK' EIFS P.U.C.C.S.
EXTERIOR INSULATION AND FINISH SYSTEM
CCMC 12969R APPROVED - INSTALL AS PER
OBC. 9.28. AND MANUFACTURER'S SPECS
OBD. - NOTE USE 'VAPOUR BLOCK' BY
DUROCK FOR AIR/VAPOUR BARRIER BELOW
STUCCO IN PLACE OF TYVEK OR EQUIVALENT
PRODUCT SPECIFIED FOR ALL WALLS NOT
CLAD IN STUCCO

WINDOW NOTE:
ALL PROPOSED WINDOWS TO BE
DOUBLE GLAZED ARGON FILLED
WITH MAXIMUM U VALUE OF 1.8.
WINDOW TO WALL AREA RATIO
= 16.4%

ALL CODE REFERENCES REFER TO
O.B.C 2012 DIVISION 'B'

C. H. WORLD DESIGN & CONSTRUCTION Ltd.

1559 Watersedge Road, Mississauga,
ON. L5J 1A6. (647) 298 -1206

DESIGNED BY: Ni Ni

B. C. I. N. #: 41885

GENERAL NOTES

1) Contractor to check all dimentions, specifications, ect. on site and shall be responsible for reporting any discrepancy to the engineer and/ or designer.

2) These plans are to remain the property of the designer and must be returned upon request. These plans must not be used in any other location without the written approval of the designer.

3) These drawings are for permit application purpose. Contractor must check all applicable By-laws and OBC. Any discrepancy must be reported to the designer.

SIGN.	DATE	REVISION	NO.

DRAWING

RIGHT ELEVATION

PROJECT

BOTROS RESIDENCE

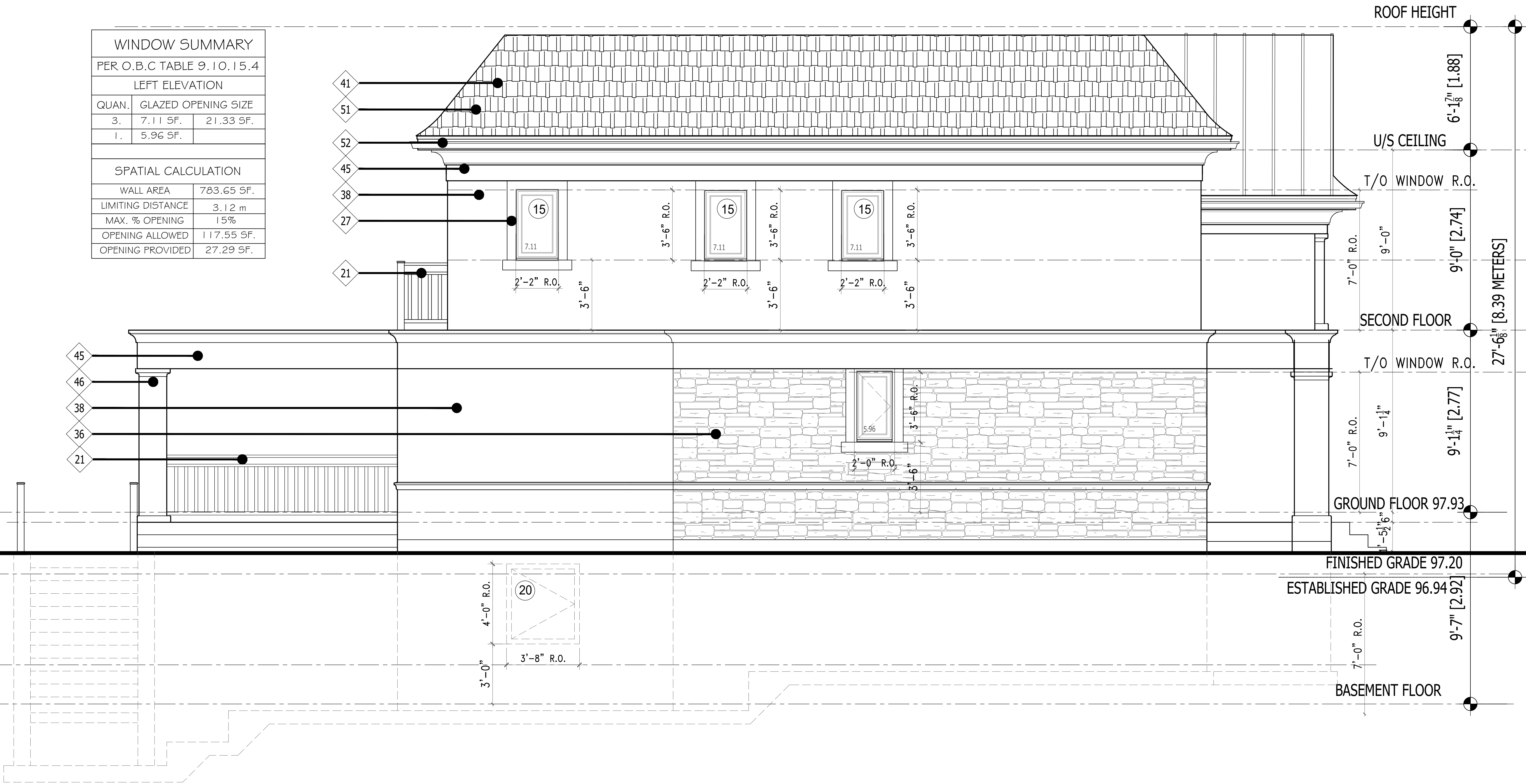
PROJECT

1503 DURHAM STREET,
OAKVILLE,
ONTARIO
L6J 2P4

	SHEET
DATE MAR 2022	A8
SCALE 3/8" = 1'-0"	

RIGHT ELEVATION

WINDOW SUMMARY		
PER O.B.C TABLE 9.10.15.4		
LEFT ELEVATION		
QUAN.	GLAZED OPENING SIZE	
3.	7.11 SF.	21.33 SF.
1.	5.96 SF.	
SPATIAL CALCULATION		
WALL AREA	783.65 SF.	
LIMITING DISTANCE	3.12 m	
MAX. % OPENING	15%	
OPENING ALLOWED	117.55 SF.	
OPENING PROVIDED	27.29 SF.	



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LEFT ELEVATION

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SIGN.	DATE	REVISION	NO.

DRAWING

LEFT ELEVATION

PROJECT

BOTROS RESIDENCE

PROJECT

1503 DURHAM STREET,
OAKVILLE,
ONTARIO
L6J 2P4

DATE	SCALE	SHEET
MAR 2022	1/4" = 1'-0"	A7