



OAKVILLE

REPORT

Planning and Development Council

Meeting Date: June 27, 2022

FROM: Planning Services Department

DATE: June 14, 2022

SUBJECT: Recommendation Report, Zoning By-law Amendment and Draft Plan of Subdivision, Lower Fourth Development Limited and Pendent Developments Ltd, Part Lots 17- 19, Con 1 NDS, File No.: Z.1317.05, 24T-19004/1317, By-law 2022-059

LOCATION: East of Neyagawa Boulevard, south of Burnhamthorpe Road West

WARD: Ward 7

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RECOMMENDATION:

1. That the Zoning By-law Amendment and Draft Plan of Subdivision application submitted by Lower Fourth Development Limited and Pendent Developments Ltd., (File No.: Z.1317.05, 24T-19004/1317), as revised, be approved on the basis that the application is consistent with the Provincial Policy Statement, conforms or does not conflict with all applicable Provincial plans, conforms with the Region of Halton Official Plan and North Oakville East Secondary Plan, has regard for matters of Provincial interest, and represents good planning for the reasons outlined in the report from the Planning Services department dated June 14, 2022;
2. That By-law 2022-059, an amendment to Zoning By-law 2009-189, be passed;
3. That the Director of Planning Services be authorized to grant draft plan approval to the revised Draft Plan of Subdivision (24T-19004/1317) submitted by Korsiak Urban Planning dated May 9, 2022, subject to the conditions contained in Appendix D of the staff report prepared by Planning Services Department dated June 14, 2022;
4. That notice of Council's decision reflects that Council has fully considered all the written and oral submissions relating to this matter and that those

comments have been appropriately addressed; and

5. That, in accordance with Section 34(17) of the *Planning Act*, no further notice is determined to be necessary.

KEY FACTS:

The following are key points for consideration with respect to this report:

- This report recommends approval of a Zoning By-law Amendment and Draft Plan of Subdivision application submitted by Lower Fourth Development Limited and Pendent Developments Ltd.
- The proposal reflects the development of approximately 42 hectares of land for 385 dwellings, a school block, two natural heritage system block, a park block and the public road network.
- Access to the site shall be from the extensions of Carding Mill Trail, Preserve Drive and Marvin Avenue.
- Preserve Drive has been removed from the draft plan previously reviewed by Council, but was included in the Argo West Morrison and Digram draft plans of subdivision approved by Council on May 16, 2022.
- A Zoning By-law Amendment prepared by town staff for approval has been attached as Appendix “C”.
- Draft plan conditions have been recommended to address the conditions of approval based on agency comments and are attached as Appendix “D” to this report.
- The subject lands are designated Neighbourhood Area and Natural Heritage System Area within the North Oakville East Secondary Plan (Figure NOE2) and zoned Future Development (FD) within Zoning By-law 2009-189.

Staff recommend approval of the Zoning By-law Amendment and Draft Plan of Subdivision application as the proposed development conforms to North Oakville East Secondary Plan. The proposal is also consistent with the Provincial Policy Statement 2020, conforms to all applicable Provincial plans and the Region of Halton Official Plan. The Plans establish applicable policies to guide development including the conveyance and protection of the natural heritage system in accordance with the Town’s established urban structure and aids in the achievement of complete communities.

BACKGROUND:

The purpose of this report is to provide a full staff review of the application and a recommendation on the proposed Zoning By-law Amendment and draft plan of subdivision application.

The application was received on September 6, 2019 and deemed complete on October 24, 2019. The application is beyond the appeal period timeframe, being January 4, 2020.

The statutory public meeting was hosted by Council on March 9, 2020.

Proposal

The application relates to the redevelopment of approximately 42 hectares of land as follows:

- 385 dwellings (364 detached dwellings and 21 freehold townhouses);
- a school block (Block 379);
- two Natural Heritage System blocks (Blocks 373 and 374);
- a park block (Block 370); and,
- the public road network.

Access shall be from the south via the extensions of Carding Mill Trail, Preserve Drive and Marvin Avenue from the east.

The applicant's revised Zoning By-law Amendment proposes to rezone the property from Future Development (FD) to site specific Neighbourhood Centre (NC), General Urban (GU), Sub-Urban (S), Natural Heritage System (NHS), Park (P), Institutional (I) and Open Space zones with additional regulations.

The revised draft plan excerpt, Figure 1 below and contained within Appendix A2, illustrates the proposed development for the site.

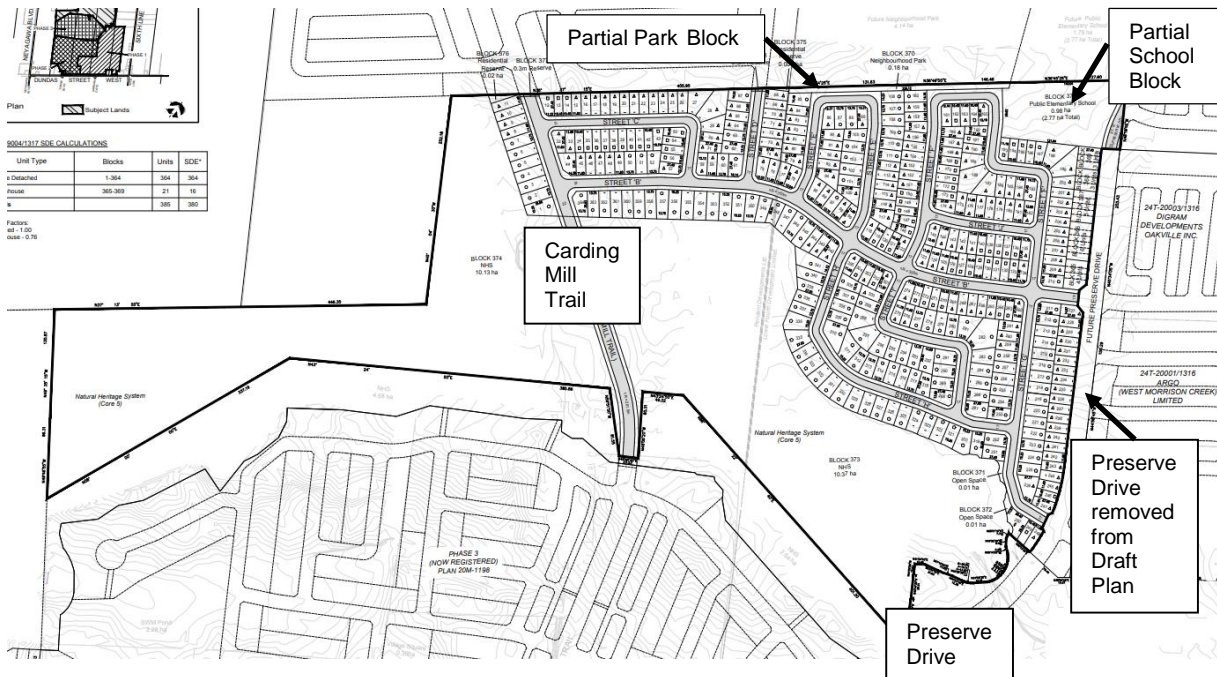


Figure 1 – Proposed Draft Plan Excerpt NTS

The revised draft plan of subdivision proposes to create lots and blocks containing a range of land uses as described below.

Draft Plan Feature	Number of Units	Area (ha)
Single Detached (20.11 m)	1	0.05
Single Detached (15.25 m)	40	1.99
Single Detached (13.75 m)	95	3.99
Single Detached (11.60 m)	166	5.84
Single Detached (10.40 m)	62	1.82
Townhouses	21	0.47
Neighbourhood Park		0.18
Open Space		0.02
NHS		20.50
Residential Reserve		0.03
0.3m reserves		0.00
Elementary School	Partial block	0.98
17 m ROW		3.90
19 m ROW		1.23
22 m ROW		1.00
TOTAL	385	42.10

The NHS area, as shown on the draft plan, comprises 49% of the total area of the draft plan and would substantially complete Core 5, as envisioned by the North Oakville Creeks Subwatershed Study and the North Oakville East Secondary Plan.

The housing types proposed are outlined in the table below:

Proposed Unit Type	Total
Detached Dwellings	364
Townhouses	21
TOTAL	385

Application submission material can also be found on the town's website site at <https://www.oakville.ca/business/da-34370.html>

Location/Site Description/Surrounding Land Uses (Figure 2)

The subject land, being approximately 42 hectares in size, is located east of Neyagawa Boulevard, west of Sixth Line and midway between Dundas Street West and Burnhamthorpe Road West.

The southerly portion of the site is part of Core 5 (NHS), as identified in the North Oakville Creeks Subwatershed Study. The site is contained within both the Upper West Morrison Creek and Shannons Creek subwatersheds. The surrounding lands consist of vacant agricultural land.

Further to the south are residential lands, known as the Preserve Phase 3 lands, which are presently being developed.

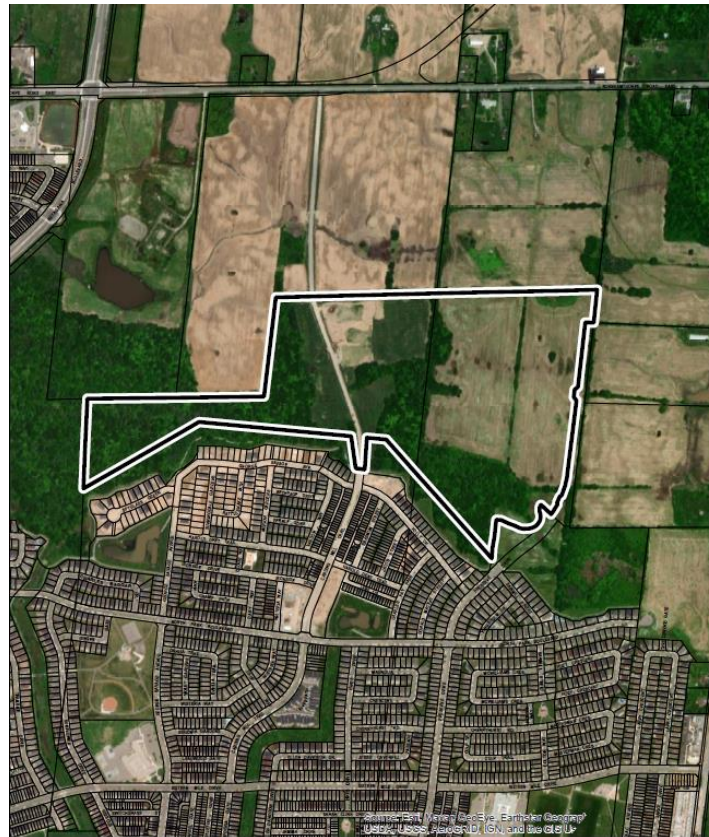


Figure 2: Air Photo NTS

PLANNING POLICY & ANALYSIS

The property is subject to the following policy and regulatory framework:

- Provincial Policy Statement (2020)
- Growth Plan for the Greater Golden Horseshoe (2019)
- Halton Region Official Plan
- North Oakville East Secondary Plan
- Zoning By-law 2009-189, as amended.

Provincial Policy Statement

The Provincial Policy Statement (2020) (PPS), which came into effect on May 1, 2020, continues to recognize that there are complex relationships among environmental, economic and social factors in land use planning. The PPS encourages the wise management of land to achieve efficient development and land use patterns by directing growth to settlement areas, and encourages Planning authorities to permit and facilitate a range of housing options, including new development as well as residential intensification, to respond to current and future needs for a time horizon of up to 25 years.

The PPS (2020) promotes the integration of land use planning, growth management and transit-supportive development, intensification and infrastructure planning to achieve cost-effective development patterns, optimization of transit investments and standards to minimize land consumption and servicing costs.

On this basis, the proposed development is consistent with the PPS (2020).

Growth Plan (2019)

The Growth Plan for the Greater Golden Horseshoe ('Growth Plan') is a long-term plan that intends to manage growth, build complete communities, curb sprawl and protect cultural heritage resources and the natural environment.

The Growth Plan provides policies for where and how to grow, directing population and employment growth to urban areas and rural settlement areas with delineated built boundaries on full municipal services (policy 2.2.1). The subject lands are located within a "Designated Greenfield Area".

The policies of the Growth Plan are to be applied to support complete communities that feature a diverse mix of land uses with convenient access to local stores, services, and public service facilities, provide a diverse range and mix of housing options, expand convenient access to transportation options.

On this basis, the proposed development is consistent with the Growth Plan.

Halton Region Official Plan

The subject lands are designated "Urban Area" in the Halton Region Plan. Lands within the "Urban Area" are intended for residential and employment growth. Policy 76 notes that the range of permitted uses is to be in accordance with Local Official Plans and Zoning By-laws. All development, however, is subject to the policies of the Regional Plan.

The proposed development is subject to the 2020 Regional Servicing Allocation program.

Halton Region advised Town staff that they have no objection to the proposal subject to recommended conditions of draft plan approval and a holding provision. A copy of the Region's May 19, 2022 letter can be found in Appendix A.

North Oakville East Secondary Plan

Urban Structure

Schedule A1, Urban Structure, of the *Livable Oakville Plan* provides the basic structural elements for the Town and identifies the site as *Residential Areas* and *Natural Heritage System*. Official Plan Amendment 317 to the *North Oakville East Secondary Plan*, confirms the Town's existing urban structure. OPA 317 was approved by Halton Region on April 26, 2018 and deemed to conform to the Growth Plan and is consistent with the PPS.

Land Use Policies

The North Oakville East Secondary Plan provides a planning framework for the lands north of Dundas Street and south of Highway 407 between Ninth Line in the east and approximately the Sixteen Mile Creek valley in the west. The North Oakville Plans are not part of the Livable Oakville Plan but endure as amendments to the town's 2006 Official Plan.

The development of the North Oakville community is premised on a sustainable, design-first philosophy which promotes the protection of the natural environment, mixed use development, and a modified grid road system that enhances transportation options for transit and pedestrians.

The North Oakville East Secondary Plan (NOESP) was approved by the Ontario Municipal Board in 2008 through OPA 272 and was prepared to be consistent with the 2005 PPS and in conformity with the 2006 Growth Plan.

The subject land is designated *Neighbourhood Area*, *Natural Heritage System Area* with an elementary school overlay as illustrated on Figure 3a below.

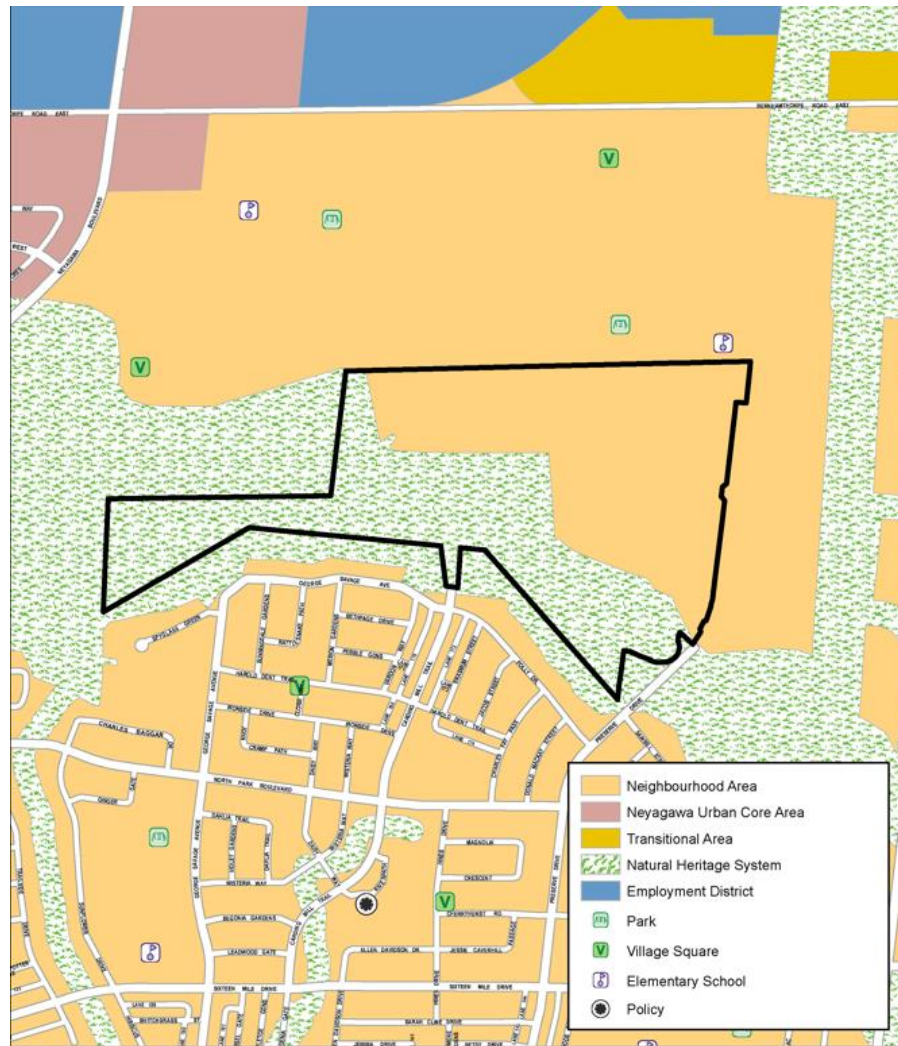


Figure 3a – North Oakville East Secondary Plan - Figure NOE2

The subject property is located within Neighbourhoods 10 and 11 (Phase 2 lands) as outlined with Section 7.9.2 d) ii), and as shown on Figure NOE1, Community Structure to the NOESP.

Appendix 7.3 - Master Plan

The North Oakville Master Plan, Appendix 7.3 of the NOESP illustrates the conceptual design and land use categories for the North Oakville East planning area. Development applications are reviewed in the context of the Master Plan in order to evaluate consistency. Minor variations from the Master Plan may be considered, assuming the general intent and direction of the Master Plan is maintained.

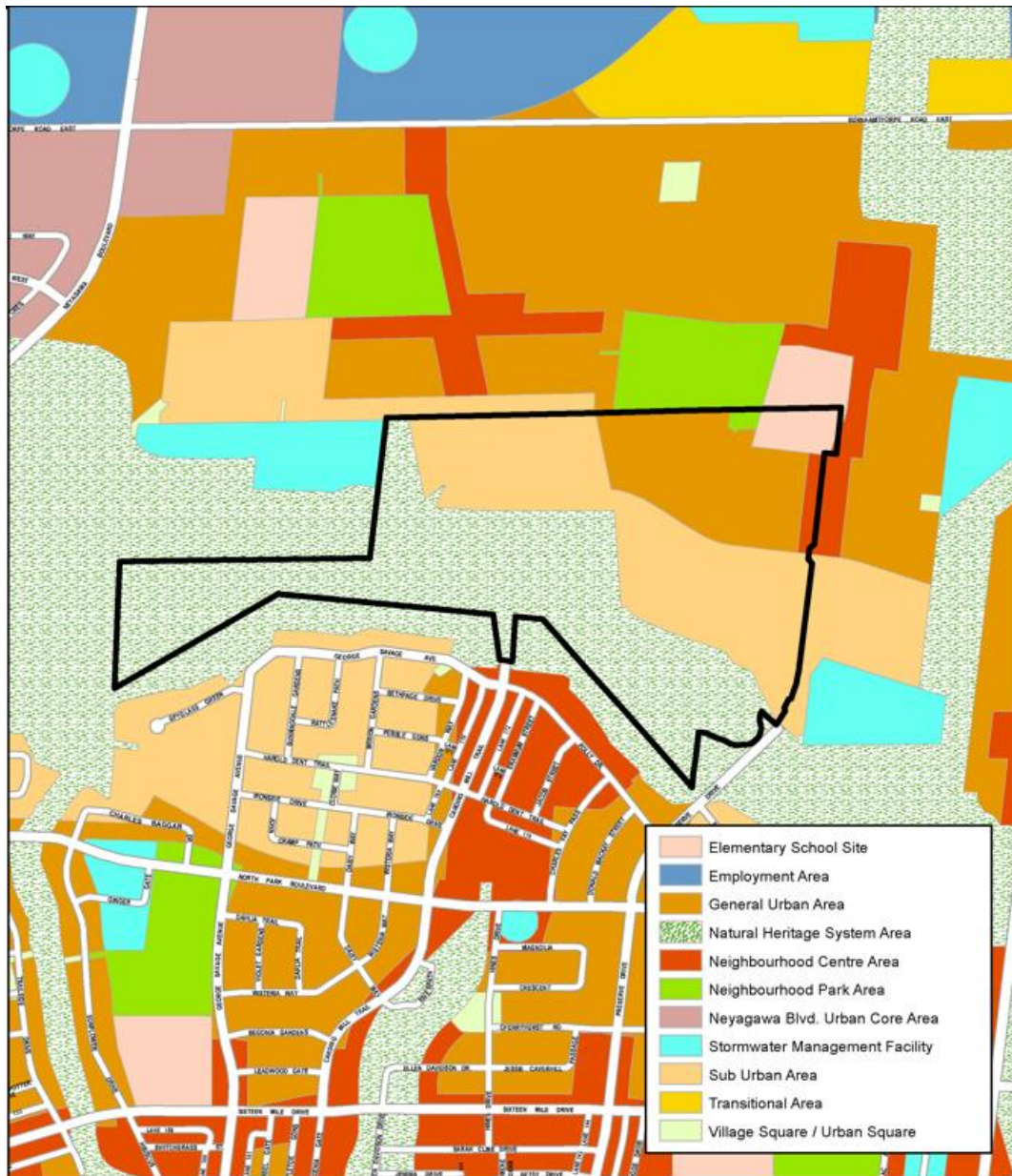


Figure 3b – North Oakville Master Plan Excerpt

Within the North Oakville Master Plan (Figure 3b, excerpt above), the lands are further identified as *Natural Heritage System Area*, *General Urban Area*, *Sub Urban Area*, *Neighbourhood Centre Area*, *Elementary School Site* and *Neighbourhood Park*.

OPA 321

In September 2018, Halton Region approved OPA 321, which was subsequently approved at the LPAT in July 2019, with modifications. The effect of OPA 321 was to

implement policy directions focused on areas of concern identified through the North Oakville Secondary Plans Review.

Prior to OPA 321, the Neighbourhood Centre Areas were predominately being developed for only residential uses. The vision within the NOESP was to provide for a mix of small-scale retail and service commercial uses within the neighbourhoods. This was not being achieved. OPA 321 revised the policies and Section 7.6.7.1 reinforced the vision to accommodate a range of medium density residential, mixed use, and limited commercial and civic uses to serve neighbourhood residents from a central neighbourhood activity node. An additional policy was included as part of OPA 321 that requires at least one mixed use or non-residential building at the intersection of each activity node.

Additionally, the definition of Medium Density Residential Development was revised to remove detached, semi-detached and duplex dwelling and added apartments as permitted building types.

Zoning By-law (By-law 2009-189)

The North Oakville Zoning By-law (By-law 2009-189) sets zoning standards, through the establishment of general regulations and zones reflecting the North Oakville East and West Secondary Plans. Town Council approved the North Oakville Zoning By-law on November 23, 2009.

The subject lands are zoned *Future Development (FD)* as illustrated on Figure 4 below. The *Future Development (FD)* zone only allows uses that legally existed on the date of the parent by-law came into effect.

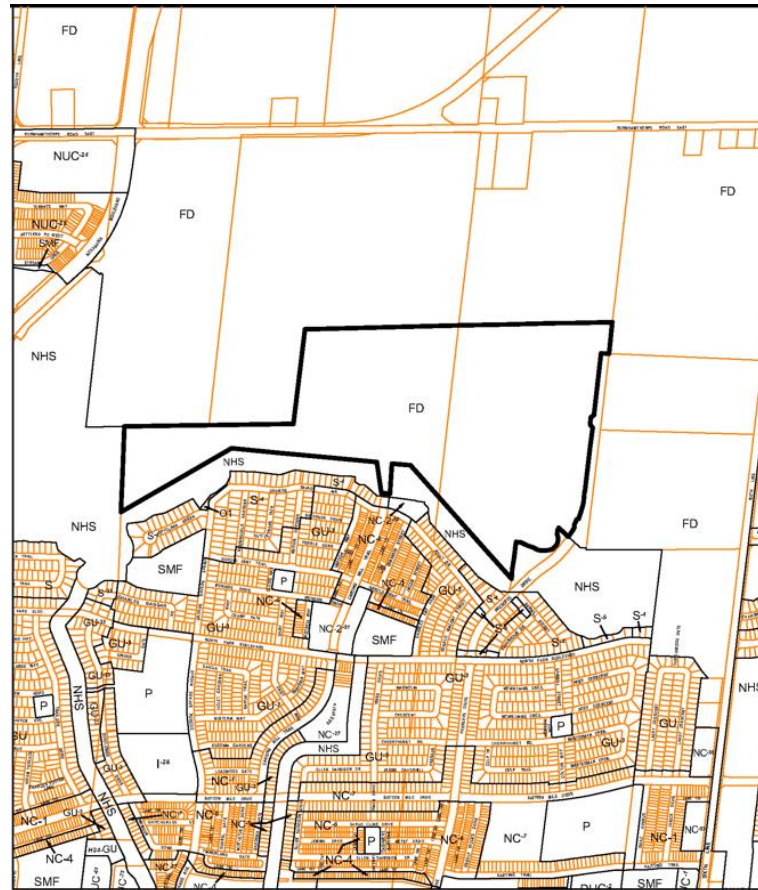


Figure 4 – Zoning By-law Excerpt

The applicant's proposed Zoning By-law Amendment was previously reviewed with Council at the March 9, 2020 Statutory Public Meeting.

Proposed Zoning By-law Amendment

Staff have prepared a proposed Zoning By-law (By-law 2022-059) to rezone the lands from *Future Development (FD)* to site specific Neighbourhood Centre (NC), Sub-Urban (S), General Urban (GU), Park (P), Institutional (I) and Natural Heritage System (NHS).

In addition to the map change reflecting the parent zones, staff's Zoning By-law Amendment proposes to:

Amend the width regulation for encroachments for bay, box and bow windows from 3 to 4 metres in Section 4.21 and the percentage and vertical plan definition for porches in Section 4.27.

These are dwelling design related elements acceptable to staff.

Amend the 7 metre rear yard setback regulation for the detached dwellings in the Sub-Urban zone abutting the NHS only to 6 metre.

This only relates to a number of lots abutting the NHS. Staff consider this acceptable as appropriate separation distances between dwellings are maintained by the NHS.

Introduce regulations for the partial school block.

This school has Ministry funding. At the present time, there is no design for this school site. An architect is being retained to prepared detailed design plans. The school is targeted for opening for the 2025 - 2026 school year and requires approximately 18 - 24 month for construction. It should be noted that the zoning only applies to the Mattamy portion of the required school site. The remaining portion of the site is on the Docasa draft plan to the north. It is staff's intent to bring the Docasa draft plan to Council at the earliest opportunity. In the meantime, the zoning for the school site has been drafted reflecting this present situation. Any changes resulting from the further design of the school and review of the Docasa zoning will be addressed in the zoning by-law amendment for the Docasa site.

HDSB staff have advised that the zoning for the school site should consider the on-going design discussions for the school site in Ward 6 (Oakville Elementary School #3). These details are as follows:

- 39 Classrooms;
- 18 portables (max); and,
- A daycare with an approximate size of 700 m² to accommodate 88 pupils.

Staff's proposed modifications to the existing zoning regulations for the school site are summarized below:

- Removal of the maximum front yard and flankage yard setbacks to allow for main wall variations abutting a public street.
- Elimination of the minimum height of the school given the grade differences across the site;
- Increased height to 18 metres to allow for a three-storey elementary school;
- Introduce a landscape buffer strip of 4.5 metres abutting the park and southerly residential area. This would allow for appropriate landscaping between the abutting uses.
- Section 1.7 (iii) shall not apply. It will provide flexibility to allow the school board to commence construction of the school concurrently with the construction of the required off site stormwater management pond, road works and municipal services;

- Section 4.13.1 shall not apply. This is included within the by-law in the unlikely event the school commences construction prior to the registration of the larger subdivision.

School Parking

The parking regulations for public elementary schools and day care centres are as follows:

Elementary School Public

- 1 parking space per classroom minimum;
 - 2 parking spaces per classroom maximum.
- A portable is considered a classroom.

Day Care Centre

- 1 parking space per 40 m² of leasable floor area minimum;
- 1 parking space per 30 m² of leasable floor area maximum;
- 1 queued parking space per every five pupil capacity maximum.

The proposed zoning by-law has increased the maximum parking spaces per classroom consistent with the high school rate (3 parking spaces/classroom). This school will be designed to provide more physical parking spaces on site, thereby reducing the need for off-site parking passes.

The day care centre will be approximately 700 m² in size and accommodate a maximum of 88 children. As such, 18-23 parking spaces and 18 queued parking spaces are required (36 - 41 total parking spaces). Based upon recent observations, HDSB staff have advised that parents accessing the day care facility will park and walk their child into the building, thereby undermining the purpose of a queuing area. The proposed by-law includes a blended rate for a day care centre of 1 parking space per 18m² for a minimum number of 39 physical parking spaces. These spaces will be included in the proposed parking area(s).

Proposed Holding Provision (entire subdivision)

At the request of Halton Region, existing Holding Provision (#55) is being introduced for the entire site related to regional servicing. These services will be brought to the site through the Argo and Digram subdivisions. This is the same holding provision as previously reviewed by Council for the Digram, Argo and Timsin subdivisions approved on May 16, 2022.

The proposed Zoning By-law Amendment can be found in Appendix C.

Revised Draft Plan of Subdivision

Preserve Drive was previously shown on the Mattamy Lower Fourth Development and Pendent Developments Ltd. (Preserve North Phase 4) draft plan reviewed by Council at the March 9, 2020 Statutory Public Meeting. However, due to construction coordination matters related to the development of the Digram, Argo and Mattamy subdivisions, principally related to servicing and the Argo stormwater management pond, Mattamy's draft plan has been revised to remove Preserve Drive. Preserve Drive is now shown on the Argo and Digram draft plans of subdivision approved by Council at the May 16, 2022 Planning and Development/Council meeting.

Argo and Digram will be constructing Preserve Drive from Sawmill Street, south of Core 5 (NHS) within the Mattamy Preserve Phase 3 lands, through Core 5. The road location is already established and is reflected on the Mattamy draft plan of subdivision. Mattamy will be required to extend Carding Mill Trail through Core 5 to the northerly limits of their property. A condition of draft approval has been included to reflect this latter matter.

The proposed draft plan is in general accordance with the NOESP, has been coordinated with the adjacent subdivisions and can be appropriately implemented by the recommended conditions of Draft Plan Approval and corresponding implementing Zoning By-law Amendment.

TECHNICAL & PUBLIC COMMENTS

Resolution of Issues

Confirmation of being a member of the North Oakville East Developers Group and party to the Cost Sharing Agreement

The landowner has been confirmed as a member in good standing with the North Oakville East Development Group. A condition has also been included within the draft plan conditions to ensure that prior to registration the landowner is still a member in good standing with the landowners group.

Consistency with the Provincial Policy Statement, 2020 and conformity to the 2019 Growth Plan for the Greater Golden Horseshoe, Region of Halton Official Plan, North Oakville East Secondary Plan.

The proposed development is an extension of the draft approved plans to the south and east and reflecting the uses contemplated by the NOESP. It is staff's opinion that the proposal is consistent with the Provincial Policy Statement 2020 and conforms to the 2019 Growth Plan, the Region of Halton Official Plan, and the NOESP.

Does the EIR/FSS appropriately implement the North Oakville Creek Subwatershed Study, and has the Natural Heritage System limits for Core 5 been adequately defined?

Both Conservation Halton and Town staff have reviewed the West Morrison Creek EIR/FSS together with the Shannons Creek EIR/FSS. The EIR/FSSs were deemed acceptable as related to the subject property and is consistent with the North Oakville Creeks Subwatershed Study.

Urban design - built form, lot sizes, transitions and compatibility with adjacent properties, interface with public realms and vehicular access.

The applicant has submitted an Urban Design Brief that complies with the Livable by Design Manual. Conditions of draft plan approval are included that requires the applicant to submit elevation drawings (all façades), typical floor plans (all levels) including garage floor plans showing vehicle spaces and storage areas and typical lotting plans for all models on lots not subject to Site Plan Approval for review by the Planning Services Urban Design staff prior to marketing or selling on any units. The applicant is also required to select a control architect who shall ensure all development that is exempt from the Site Plan Approval process, proceeds in accordance with the Town-approved Urban Design Brief.

Vehicular access to this subdivision will be from Carding Mill Trail to the south, Preserve Drive to the east and the future extension of Marvin Avenue.

Exploration of mechanisms to obtain the additional lands to the north to create a complete school block and potential re-alignment of proposed blocks.

Staff have drafted the zoning by-law amendment in advance of the remaining school lands to the north on the Docasa lands. As mentioned, staff will bring the Docasa Zoning By-law Amendment and Draft Plan of Subdivision to Council at the earliest opportunity. Any changes to the zoning resulting from the HDSB design exercise will be captured in the Docasa zoning reflective of the entire school site.

Justification for the proposed modifications to the parent zoning by-law ensuring the proposed zoning by-law amendment appropriately implements the vision of the North Oakville East Secondary Plan.

Staff consider that the proposed modifications to the zoning maintain the vision of the NOESP.

Appropriate residential and on-street parking

Parking will be provided in accordance with the North Oakville Zoning By-Law requirements for various residential units.

The location and number of on-street parking stalls for the subdivision is subject to minor changes and will need to be refined as part of the detailed engineering submission once curb locations, utilities, and fire hydrants have been established. Below is Figure 5a that will assist the future engineering process on establishing on-street parking.

Units will have either 2 or 4 parking spaces per dwelling (garage and driveway). Garages will also provide for storage as seen in Figure 5b below.

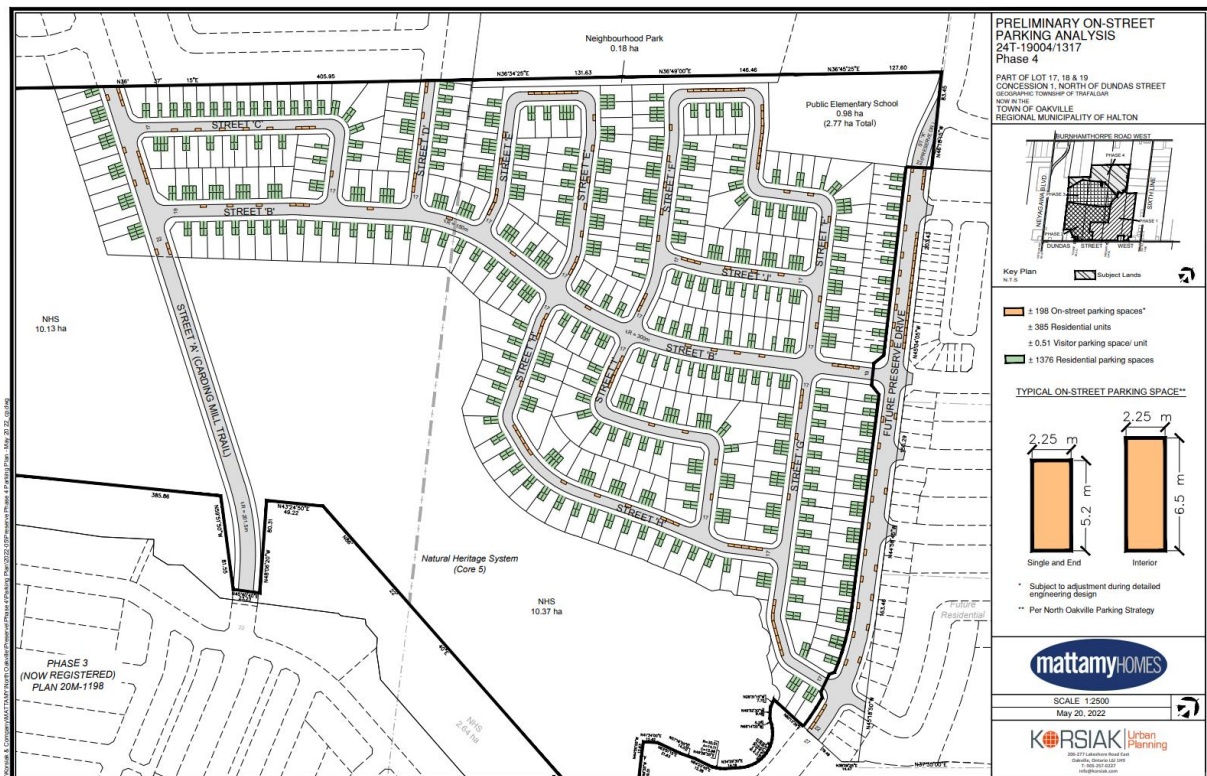


Figure 5a – Preliminary Parking concept

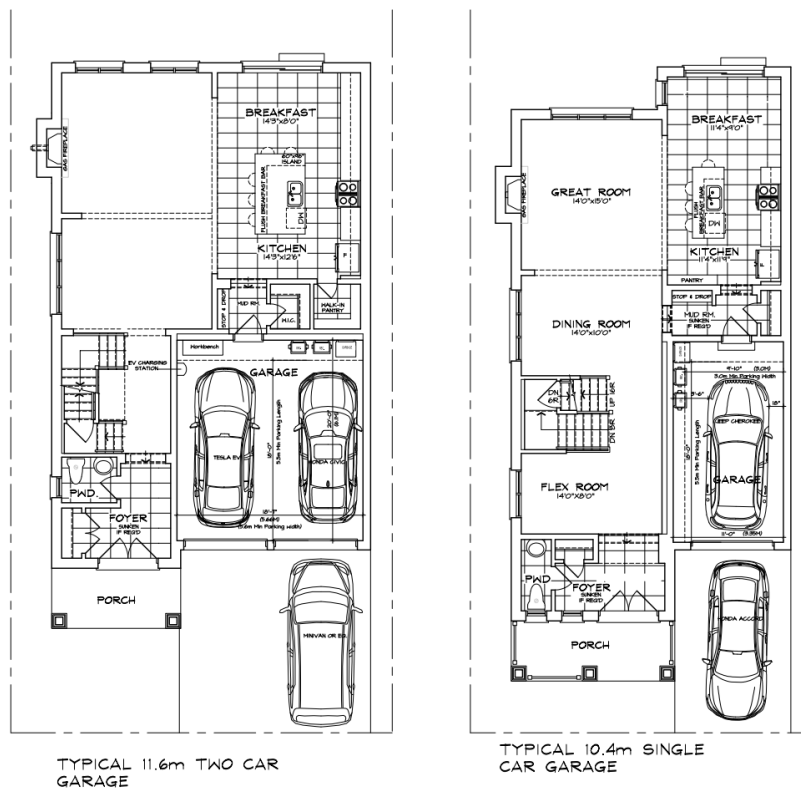


Figure 5b – Parking in Garage and Storage

Comprehensive Transportation Impact Study for Neighbourhoods 9, 10 and 11.

Concerns from Transportation Services staff have been addressed through the coordinated review of the various draft plans.

Coordination with the easterly abutting landowner with regard to stormwater management and connection to Pond 21 to the southeast of the site.

Coordination is required as part of the North Oakville Landowner Group and has occurred through the preparation of the EIR/FSSs. Development of this site can not occur without Pond 21 on the Argo lands to the east being constructed and operational.

Alignment with the Climate Emergency

The proposed subdivision provides opportunities for various non-motorized vehicle options including cycling, sidewalks, multi-purpose trails through Core 5 (NHS) with transit along Carding Mill Trail, Preserve Drive and Marvin Avenue. In addition to

trails and transit, the town will be conveyed 49% of the subdivision for inclusion into the town's Natural Heritage System.

Staff have also been advised that rough-ins for electric vehicles will be provided in the garages. All homes will be built to Energy Star standards.

Road pattern is inconsistent with the Master Plan and does this represent good planning resulting in a lack of pedestrian facilities.

As mentioned, the Master Plan is conceptual as to how to achieve the vision of the secondary plan. Policies exist within NOESP for changes to occur, provided the overall intent of the Secondary Plan is maintained. The proposed local road pattern, while different from the Master Plan, is acceptable to staff and does maintain the overall intent of the NOESP. Each roadway will have sidewalks with a trail through the NHS.

Consider opportunities to open up more access roads than just the two major roads. Provide information as to how and when the larger road pattern will be achieved in terms of timing and phasing.

Strategic locations for road crossings through Core 5 (NHS) were established by the North Oakville Secondary Plan process. The proposed roads maintain the modified grid road pattern. No new crossings through the NHS are envisioned. Additional roadways through the NHS will have negative impacts on Core 5. Development of the road system will occur following the approval of the detailed designs, being the next step of the process following conditional approval.

Is there enough greenspace within this plan to support this development, and the timelines of the parks?

Development is premised on the Natural Heritage System being conveyed to the Town. Overall in North Oakville, 900 net hectares of land from the overall North Oakville East and West planning areas are to be conveyed to the town. Blocks 373 and 374, the NHS, represent 20.5 hectares of land or 49% of this development.

As part of the Master Parkland Agreement for North Oakville, 64.5 hectares of parkland are to be conveyed to the town for active and passive recreational purposes. Block 370 on the draft plan represents this development's portion toward the parkland.

Walkability score

Development in North Oakville is based upon the OMB approved North Oakville East Secondary Plan and the principles established therein. All roads have sidewalks,

which promotes greater walkability. Trails are to be developed in the Natural Heritage System as per the North Oakville Trails Master Plan. Neighbourhoods in North Oakville are based upon a 5 minute walk to Neighbourhood Centre Activity Nodes.

Net density of this application

Development within North Oakville is not premised on net density. Each of the designations has a specific range. The following figure sets out the density range and the proposed density as per each designation.



Figure 6 – Density Plan

The proposed densities are all within the permitted density ranges of the North Oakville East Secondary Plan.

How this fits in to the whole

Below is a figure prepared by the applicant’s planning consultant, who has coordinated the various draft plan that have been or are being reviewed by Council. The purpose of this figure is to illustrate the neighbourhoods collectively and show how each of the draft plans is coordinated. Draft Plans 2, 3 and 4 were previously reviewed and granted approval by Council on May 16, 2022. Draft Plan 5 is the subject of this report. Draft Plans 1, 6, 7 and 8, all have had their Statutory Public Meetings and remain in technical review.



Figure 7 – Community Plan

How was the road pattern created?

The North Oakville Secondary Plan is premised on a modified grid road pattern. In this situation, Carding Mill Trail and Preserve Drive represent the major road systems. Both roads will eventually connect Dundas Street West to Burnhamthorpe Road West and intersect with Marvin Avenue and Settlers Road.

As can be seen from this excerpt of Figure NOE2 from the NOESP below, both Carding Mill Trail and Preserve Drive are in the approximate locations for each roadway.

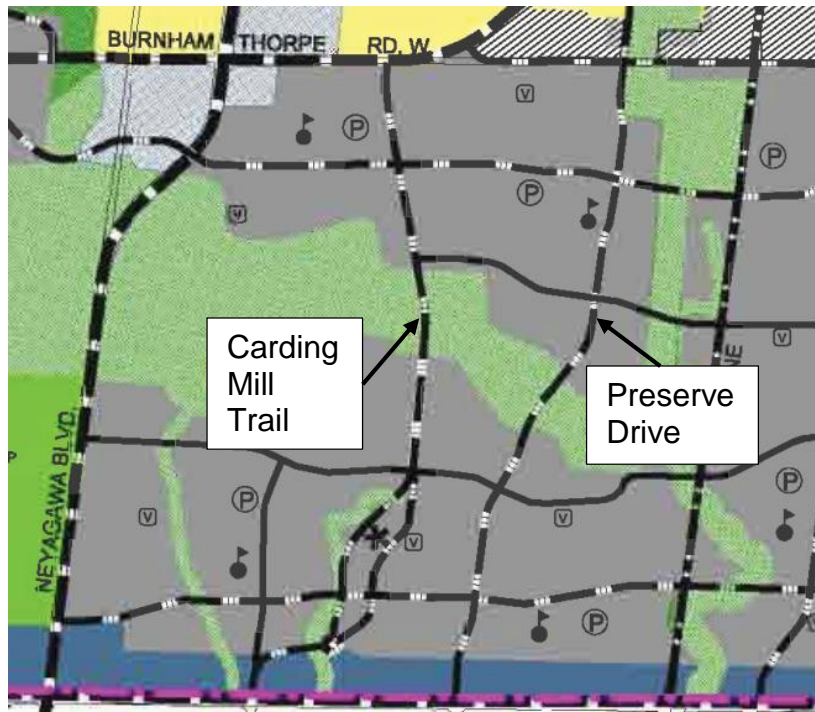


Figure 8 – Land Use Plan Excerpt

Public Comments

At the time of writing this report, no public comments were received.

The Statutory Public Meeting was held on March 9, 2020.

CONCLUSION

Staff recommends approval of Draft Plan of Subdivision and Zoning By-law Amendment, which would have the effect of developing approximately 42 hectares of land for 385 residential units consisting of 364 detached dwellings, 21 townhouse units, a park block, a school block, two natural heritage system blocks and the public road network. The proposed subdivision is appropriate and compatible with the adjacent land uses and in keeping with the intent of the land use policies of the North Oakville East Secondary Plan.

Staff is satisfied that the proposed development is consistent with the Provincial Policy Statement (2020) and conforms to the Growth Plan (2019) and the Halton Region Official Plan, has regard for matters of Provincial interest and represents good planning. Further, the application conforms to the Town's approved Urban Structure, and the principles and overall policy direction of the North Oakville East Secondary Plan.

Staff recommend approval of the Draft Plan of subdivision subject to the conditions in Appendix “D” and that By-law 2022-059 be passed as the following additional requirements have been satisfied:

- A full circulation has been undertaken and there are no outstanding financial or planning issues to be resolved. Matters raised by the Conservation Halton and the Region of Halton have been addressed through conditions of approval.
- The proposal implements the vision, development objectives, community design strategy and land use strategy of the North Oakville East Secondary Plan.
- The draft plan of subdivision is necessary to facilitate future land division into individual residential lots, and is appropriate for the orderly development of the lands.
- The proposed plan of subdivision meets the criteria established in Section 51(24) of the *Planning Act*.
- Comments from Council have been appropriately addressed.

By-law 2022-059 is attached as Appendix “C”.

CONSIDERATIONS:

(A) PUBLIC

The Public Meeting notice for March 9, 2020 meeting was mailed out to all properties within 120 metre radius of the site and placed on the sign on the property. Resident Associations were notified along with property owners in accordance with the *Planning Act* regulations and Town practices. No concerns were raised about this subdivision by the public at the Public Meeting. At the time of writing this report, no additional public comments were received.

(B) FINANCIAL

Development Charges would be applicable to this development. Parkland dedication is applicable and may be satisfied following confirmation that the developer is in good standing with the North Oakville East Developers Group and party to the Cost Sharing Agreement.

(C) IMPACT ON OTHER DEPARTMENTS & USERS

The application was circulated to internal and external departments and agencies for comment.

Draft plan conditions have been provided in Appendix D to this report.

(D) CORPORATE STRATEGIC GOALS

This report addresses the corporate strategic goal(s) to:

- be the most livable town in Canada

(E) CLIMATE CHANGE/ACTION

The proposed development generally complies with the Town's sustainability goals and objectives of the North Oakville East Secondary Plan. The proposal has also been reviewed in the context of Council declaring a Climate Change Emergency on June 24, 2019 to provide opportunities to reduce the development footprint of the proposal.

APPENDICES:

Appendix A – Halton Region comments
Appendix B – Revised Draft Plan of Subdivision
Appendix C – By-law 2022-059
Appendix D – Conditions of Draft Approval

Prepared by:

Robert Thun, MCIP, RPP, Senior Planner, Current Planning, West District

Recommended by:

Charles McConnell, MCIP, RPP, Manager, Current Planning, West District

Submitted by:

Gabe Charles, MCIP, RPP, Director, Planning Services