



Appendix "C"

THE CORPORATION OF THE TOWN OF OAKVILLE

BY-LAW NUMBER 2022-024

A by-law to amend the North Oakville Zoning By-law 2009-189, as amended, for an amendment to permit the development of a public elementary school (Halton District School Board - File: Z.1309.06)

COUNCIL ENACTS AS FOLLOWS:

1. Map 12(6) of By-law 2009-189, as amended, is further amended by rezoning the lands as depicted on Schedule 'A' to this By-law.
2. Section 8, Special Provisions, of By-law 2009-189, as amended, is further amended by deleting section 8.71 and replacing it as follows:

71	Mattamy (Joshua Creek) Limited/ Halton District School Board	Parent Zone: I
Map 12(6)	Part of Lot 9, Concession 1, N.D.S	(2019-062) (2022-024)
8.71.1 Zone Provisions		
The following regulations apply:		
a)	Maximum <i>front yard</i>	Shall not apply
b)	Minimum <i>building height</i> for a public school elementary	Shall not apply
c)	Maximum <i>building height</i> for a public school elementary	18.0 m
d)	Minimum <i>landscape strip</i> along the <i>interior lot line</i> and <i>rear lot line</i>	4.5 m
e)	Section 1.7 (iii)	Shall not apply
f)	Section 4.13.1	Shall not apply
8.71.2 Parking Regulations		
a)	Parking requirements for a <i>public school</i> elementary	3 <i>parking spaces</i> per classroom maximum

b)	Parking requirements for a <i>day care</i> centre inclusive of <i>parking spaces</i> for queuing	1 <i>parking space</i> per 18 m ² of <i>leasable floor area</i> minimum; and, no maximum
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3. Within Part 9, Holding Provisions, of By-law 2009-189, as amended:
- a. Section 9.3.32, Mattamy (Joshua Creek) Limited, is amended by deleting the “I” referenced parent zone within the header.
 - b. Section 9.3.33, Mattamy (Joshua Creek) Limited, is amended by deleting the “I” referenced parent zone within the header.
4. Part 9, Holding Provisions, of By-law 2009-189, as amended, is further amended by adding a new section 9.3.52 as follows:

H52	Mattamy (Joshua Creek) Limited/ Halton District School Board Part of Lot 9, Concession 1, N.D.S	Parent Zone: I (2022-024)
9.3.52.1 Only Permitted Uses Prior to Removal of the “H”		
For such time as the “H” symbol is in place, these lands shall only be used for the following uses:		
a)	Legal uses, buildings and structures existing on the lot	
9.3.52.2 Conditions for Removal of the “H”		
The “H” symbol shall, upon application by the landowner, be removed by a By-law under Section 36 of the <i>Planning Act</i> . The following condition shall first be completed to the satisfaction of the Town of Oakville and Conservation Halton:		
a)	A satisfactory Functional Servicing Report demonstrating interim and ultimate servicing connections from a stormwater management perspective to the satisfaction of the Town and Conservation Halton; and,	
b)	One or more executed servicing agreements are in place to facilitate and secure construction of either an interim outlet for the school block, or ultimate stormwater management connections.	

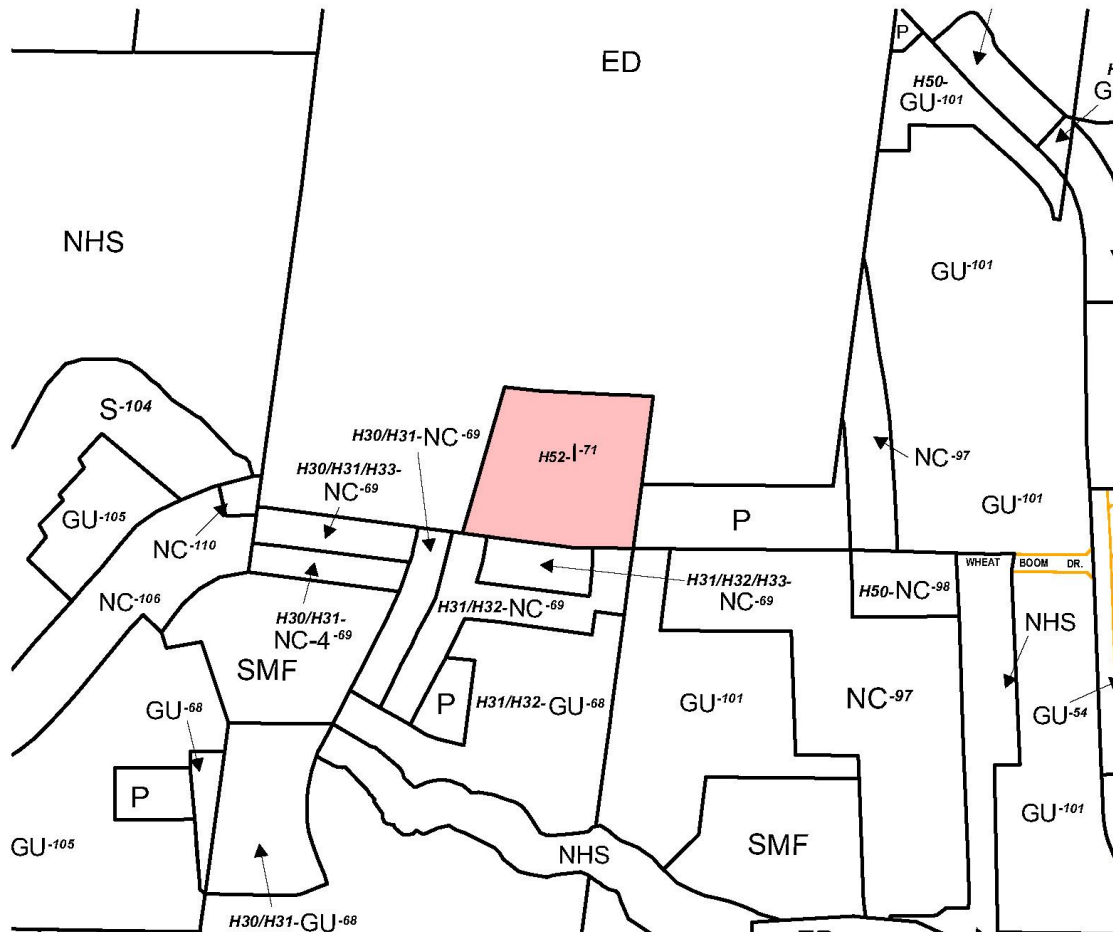
5. This By-law comes into force in accordance with Section 34 of the Planning Act, R.S.O. 1990, c. P.13, as amended.

PASSED this 11th day of July, 2022


MAYOR

CLERK

SCHEDULE "A"
To By-law 2022-024



AMENDMENT TO BY-LAW 2009-189

 Rezoned from Institutional
(H31/H32/H33-I sp: 71)
to Institutional (H52-I sp: 71)

EXCERPT FROM MAP
12 (6)



SCALE 1 : 8000