

4.2.3 ADDITIONS TO CONTRIBUTING (HISTORIC) PROPERTIES

4.2.3.1 Heritage Fabric

4.2.3.1.1 *Additions to a Contributing Property shall be physically and visually compatible with, sympathetic to and distinguishable from the **heritage fabric** of the property, with regard to the location, massing, height, proportions, architectural style, detailing and materials of the **addition**.*

4.2.3.1.2 *Additions to a Contributing Property shall minimize the loss of **heritage fabric**.*

Refer to Section 3.1 – Guiding Principles for a discussion of the terms “compatible”, “subordinate” and “distinguishable”, as they pertain to this Plan.

4.2.3.2 Location

4.2.3.2.1 *Additions to a Contributing Property shall be located towards the rear of, or sufficiently set back from, the **heritage building**.*

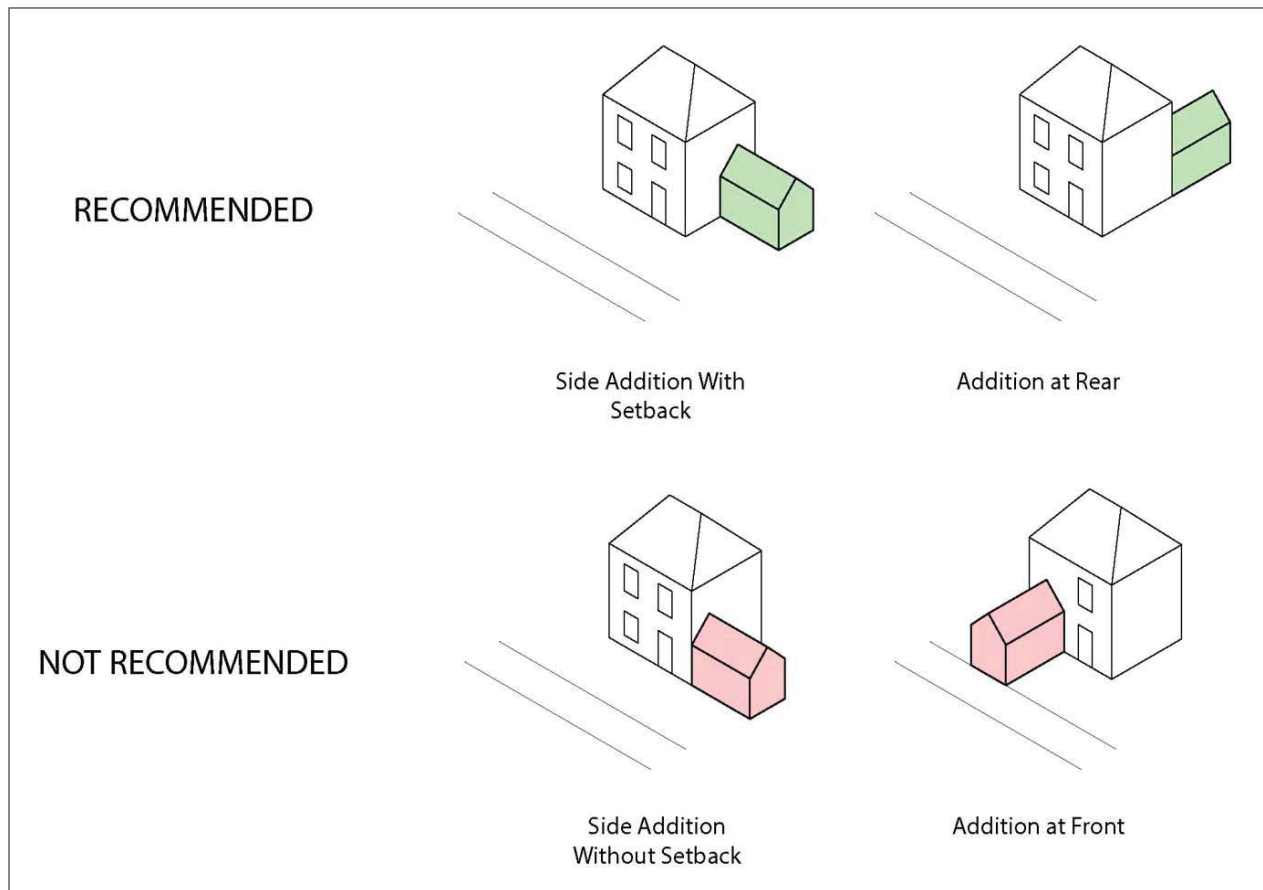


Figure 12: Guidelines for the location of additions to Contributing Properties.

4.2.3.3 Scale and Massing

- 4.2.3.3.1 The design of *additions* shall be subordinate to the *heritage building*; that is, the *addition* must not devalue or distract from the *heritage building*.
- 4.2.3.3.2 The massing and proportions of *additions* shall be simple and subordinate to the *heritage building*.
- 4.2.3.3.3 *Additions* shall not negatively impact the proportional symmetry of the *heritage building*.
- 4.2.3.3.4 The massing and proportions of additions should conform to any applicable regulations of the Town of Oakville Zoning By-law in effect subject to amendments and variances that may be approved.

Refer to Section 3.1 – Guiding Principles for a discussion of the term “subordinate” as it pertains to this Plan.

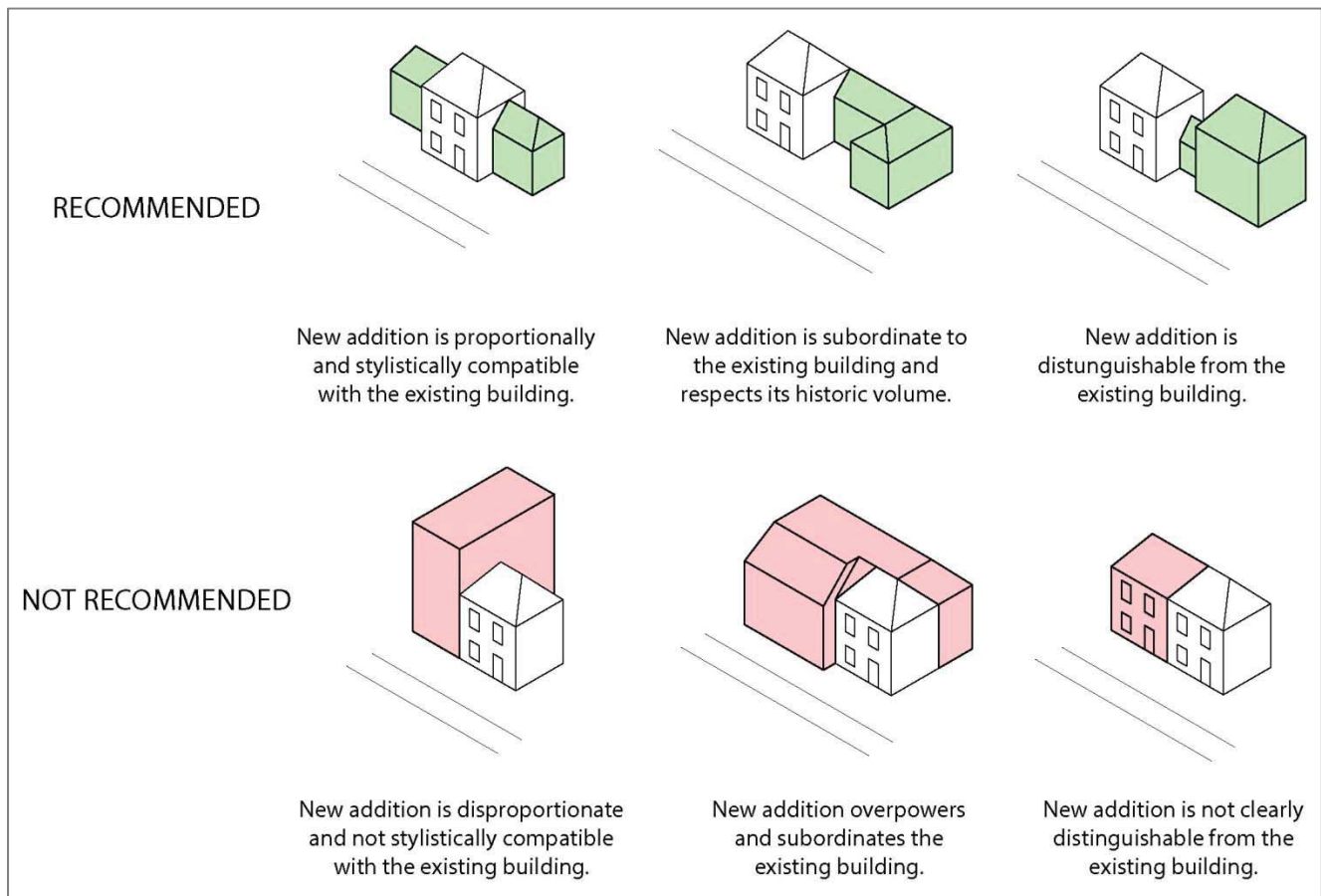


Figure 13: Guidelines for the scale and massing of additions to Contributing Properties.



Figure 14: 75 Second St. - an 1850s house with a compatible early 20th century two-storey addition set back to the side of the main elevation (left); 56 Second St. – a 1914 house with a compatible 2002 one-storey addition at the rear of the main structure (viewed from side elevation on Union St.) (right).

4.2.3.4 Height

- 4.2.3.4.1 Protect and maintain the historic low-rise scale of the District.
- The maximum height for Contributing Properties shall be the maximum height permitted for the District under the Town of Oakville's Zoning By-law in effect subject to amendments and variances that may be approved.
- 4.2.3.4.2 The height of an *addition* may exceed that of the historic portion of the *heritage building*, up to the maximum height stated above, providing all other applicable policies and guidelines in this document are met and the overall scale, massing and design of the *addition* is subordinate and compatible with the *heritage building*.

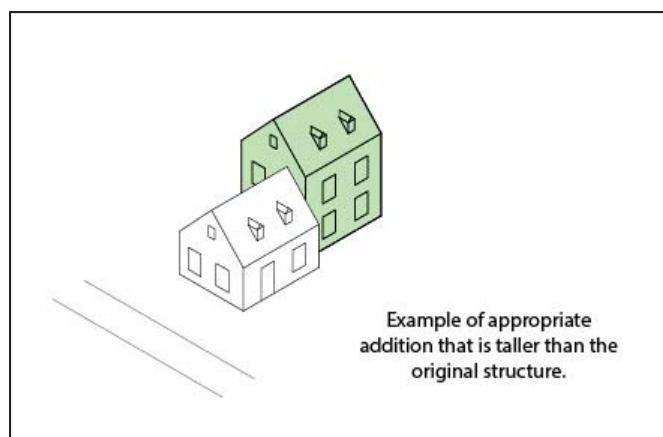


Figure 15: Guidelines for the scale and massing of additions to Contributing Properties.

4.2.3.5 Style

- 4.2.3.5.1 The design of an *addition* should reflect the architectural style of the *heritage building*, in terms of roof form, massing, materials, and other architectural features, such as windows and entrances. Compatible variations of the architectural style of the *heritage building* may be permitted for *additions*.
- 4.2.3.5.2 Contemporary or non-traditional styles may be permitted for additions, providing they meet the guidelines of Standard 11 of the *Standards and Guidelines for the Conservation of Historic Places in Canada* as described in Section 3.1, respect the guidelines for additions to Contributing Properties and do not negatively impact the *heritage character* of the District.

4.2.3.6 Roofs

- 4.2.3.6.1 Protect and maintain historic roof forms and roof features, including dormers, chimneys, eaves, and other features related to specific architectural styles. (See *Appendix C – Architectural Style Guide*)
- 4.2.3.6.2 The roof form of an *addition* shall be physically and visually compatible with that of the *heritage building*.
- a. Gable roofs and hipped roofs are the most appropriate roof forms for the District.
 - b. Mansard roofs and gambrel roofs are not appropriate for the District.
 - c. While not appropriate for entire structures or large *additions*, flat roofs and shed roofs may be permitted for small *additions*, where compatible with the form and architectural style of the *heritage building*.
- 4.2.3.6.3 Roofing materials used on *additions* shall be physically and visually compatible with the roofing materials of the main roof of the *heritage building*.
- a. Asphalt shingles, cedar shingles and cedar shakes are appropriate roofing materials for the District. The use of alternative materials that mimic the appearance of asphalt or cedar will be considered on a case-by-case basis. Metal roofing materials will not be permitted. Membranes will only be considered on flat roofs.
 - b. Aluminum or PVC soffits and fascia will not be permitted.
- 4.2.3.6.4 Rooftop equipment and drainage elements shall be discreetly integrated and shall not negatively impact the *heritage character* of the District.
- a. Skylights, roof ventilation equipment, satellite dishes, plumbing vents and other stacks may be permitted on *additions*, providing they are located on secondary or rear elevations and are not visible from *public realm*.
 - b. Eavestroughs and downspouts shall be appropriately designed to manage water properly and direct drainage away from building foundations.
 - c. The form, materials and colours of eavestroughs and downspouts shall not distract from or negatively impact the architectural style of the *heritage building*.
 - d. Flashing should be coloured to match the wall against which it is located.

4.2.3.7 Dormers

4.3.3.7.1 Protect and maintain historic dormers.

4.3.3.7.2 New dormers may be permitted on *additions* to *heritage buildings*, only where they are compatible with the architectural style and form of the *heritage building* and the *addition*.
(See *Appendix C – Architectural Style Guide*)

- a. Scale new dormers to complement the design and scale of the roof, windows, and any existing dormers on the *heritage building*.

Best Practices - Dormers

Single dormer windows should be square or vertically proportioned, and should have the same proportions or be slightly smaller than the uppermost windows in the elevation below.

Dormer body proportions should be driven by the dormer window proportions.

4.2.3.8 Windows

4.2.3.8.1 Protect and maintain the placement, orientation, shape and size of historic window openings and features.

- 4.2.3.8.2 Windows located on an *addition* to a *heritage building* shall be compatible, in terms of alignment, proportions, design and materials, with the rhythm of bays and windows on the *heritage building*.
- a. Where casement, double-hung, and other traditionally-operable window styles are used on *additions*, they shall be operable.
 - b. Blank windowless walls shall not be permitted.
 - c. Consider the historic solid-to-void ratios and the rhythm of windows and bays. In the District, this void ratio has ranged from 15% to 35%, with the exception of sun rooms or conservatories.
 - d. Windows shall be wood. Aluminum-clad wood windows may be permitted, providing they effectively replicate wood windows.
 - e. Vinyl, fiberglass and metal windows shall not be permitted. They are not compatible with the *heritage character* of the District. They do not adequately replicate wood windows in their detailing, finishes, profiles and colour; their sashes, frames and mouldings are often much flatter in appearance.
 - f. Glue-on or snap-on muntins (ie. window grilles) shall not be permitted. Muntins shall be true divided lights or simulated divided lights with dark spacers at every muntin. Simulated divided lights should be integral to the window sash. Aluminum muntins may be used where stronger muntins are required to support sealed window units while maintaining the original thinner muntin profiles. These muntins shall be made integral to the sash frame.

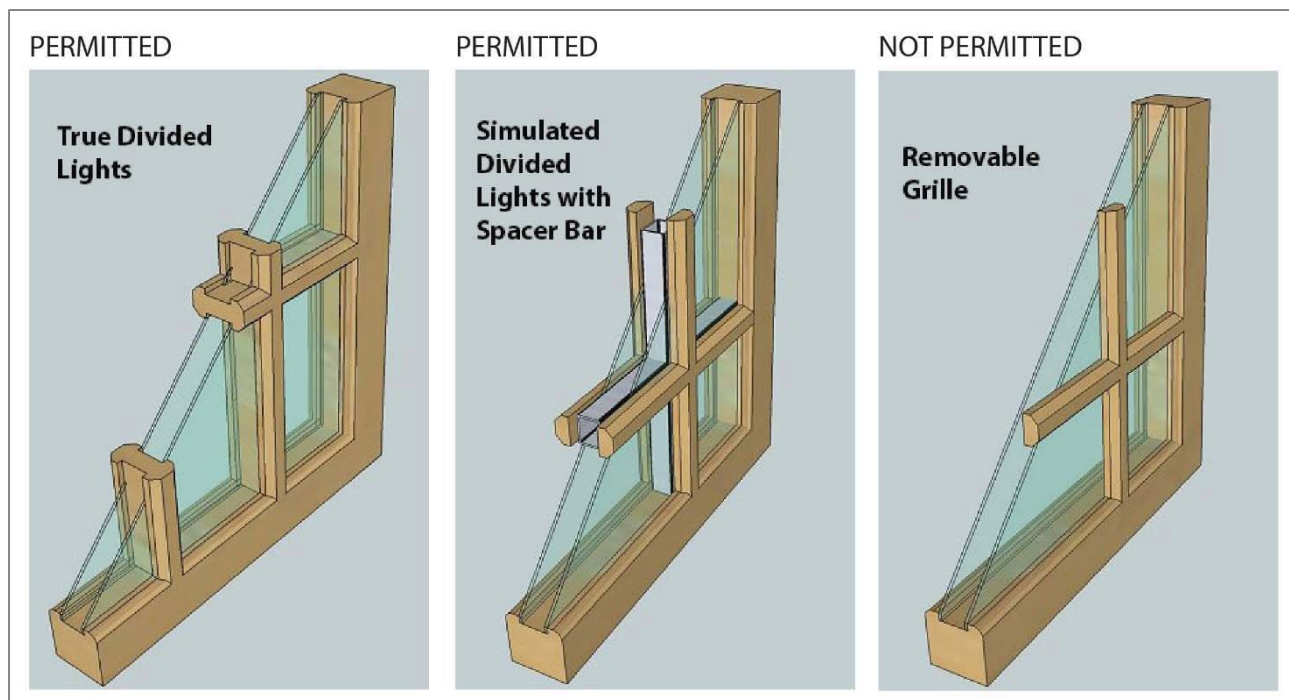


Figure 16: Muntin options (image source: <http://www.home-style-choices.com/window-construction.html>).

4.2.3.9 Shutters

4.2.3.9.1 Protect and maintain historic shutters.

- 4.2.3.9.2 Shutters may be permitted on *additions* to Contributing Properties only where they are physically and visually compatible with the architectural style and form of the *heritage building* and of the *addition*. (see Appendix C – Architectural Style Guide)
- Attach shutters to the window casing rather than the wall. Provide hinges and hooks to allow shutters to be functional.
 - Design shutters in a style appropriate to the architectural style of the *heritage building*, including paneled or louvered styles. Louvers may be fixed or operable.
 - The dimensions of shutters shall be one-half the width of the sash they are covering allowing them to effectively cover the window if closed.
 - Wooden shutters shall be painted in a colour appropriate for the materiality and colours of the *heritage building* and the *addition*.

4.2.3.10 Entrances

4.2.3.10.1 Protect and maintain the placement, size and orientation of historic entrance openings.

- The removal or obstruction of historic entrances shall not be permitted.

- 4.2.3.10.2 Entrances located on an *addition* to a *heritage building* shall be compatible, in terms of their location, alignment, proportions, design and materials, with the architecture of the *heritage building*, as exemplified by the existing entrances and rhythm of bays.
- New entrances shall be subordinate to the primary historic entrance, in terms of location and design.

- b. Wood panelled doors are most appropriate for the District. Aluminum doors that mimic wood panelling may be considered on a case-by-case basis, providing they effectively replicate wood doors in their detailing, finishes and colour.
- c. Wood is the most appropriate material for screen doors. Aluminum and steel screen doors may be considered on a case-by-case basis.
- d. Sliding doors and other doors that do not swing shall not be permitted on elevations of *additions* that are visible from the *public realm*.

4.2.3.11 Porches and Porticos

- 4.2.3.11.1 Protect and maintain historic porches and porticos and their features, including posts, brackets, railings, steps and roofs.
- 4.2.3.11.2 New porches and porticos may be permitted on *additions* to *heritage buildings*, providing they are in a style that is appropriate for the architectural style of the *addition* and the *heritage building*, and are physically and visually compatible with the *heritage building* in terms of placement, orientation, design and materials.
 - a. Wood, metal and stone are the most appropriate materials for porches and porticos in the District. The use of composite and engineered wood will be considered on a case-by-case basis.

Best Practices – Porches and Porticos

When classical architectural elements, including columns and entablatures, are used on new porches or porticos, they should conform to classical proportions.

On new porches and porticos, use materials for columns that facilitate proper column design, such as wood, with brick or stone for column bases.

4.2.3.12 Garages

For the purposes of this document, new garages on Contributing Properties will be considered as 'Additions'. In addition to the policies listed below, all policies under Section 4.2.1 – General Guidelines and Section 4.2.3 - Additions to Contributing (Historic) Properties apply to new garages, as do all applicable requirements under the Town of Oakville's Zoning By-Law in effect subject to amendments and variances that may be approved.

- 4.2.3.12.1 Both *attached* and detached garage forms may be permitted, providing they respond respectfully and appropriately to the shape of the lot and the architectural style and form of the *heritage building*. *Detached garages* are preferable.
- 4.2.3.12.2 New garages shall be located and massed so as to minimize their visibility from the *public realm*
 - a. Garages shall be lower in profile than the *heritage building*, and be complementary in design, materials and colour.

- b. Use landscaping treatments to shield garages from view. (See Section 4.4.1 - *Guidelines for Landscape Conservation and Design – Private Property*, for guidance on screening)
- c. Locate *attached garages* on rear or secondary elevations of the *heritage building*, minimizing the loss of *heritage fabric*. When located on side elevations, *attached garages* must be set back from the main elevation.
- d. *Integral garages* shall not be permitted on the main body of *heritage buildings*. They may be permitted in additions to *heritage buildings*.
- e. Locate *detached garages* to the rear or side of the *heritage building*, set back substantially from the main elevation.
- f. Garage doors and windows shall reflect the style of those on the *heritage building*.
- g. Garage doors should be single car width, with separated overhead doors in the case of a double vehicle garage.
- h. When applying these guidelines to proposals for new garages on corner lots, special consideration may be given in recognition of their visibility from the public realm.



Figure 17: Attached garage at 88 Second St. (left); detached garage at 390 Lakeshore Rd. E. (right).

4.2.3.13 Utility and Service Equipment

- 4.2.3.13.1 Utility and service equipment shall not negatively impact the *heritage building* and shall be located so as to minimize their visibility from the *public realm*.
- a. Service hardware (such as utility meters, cable TV and telephone connections), commercial mechanical elements (such as dryer vents, heat reclamation vents, furnace and water heater exhausts, gas fireplace exhausts and kitchen exhausts), and ground mounted electrical and mechanical hardware (such as heat pumps, transformers and air conditioning units) shall not be located on main elevations, and should not be visible from the *public realm*. If visible from the *public realm*, screen appropriately using landscaping features. (See Section 4.4.1 - *Guidelines for Landscape Conservation and Design – Private Property*)

4.2.3.14 Exterior Walls

- 4.2.3.14.1 Protect and maintain historic architectural features of exterior walls, including cladding materials, exposed structural elements (such as pilasters and half-timbering) and decorative elements (such as articulated brickwork, quoining and date stones).
- 4.2.3.14.2 Exterior walls of *additions* to Contributing Properties shall be physically and visually compatible, in terms of materials, finishes, colours and detailing, with the exterior walls of the *heritage building*.
- a. Use exterior cladding materials that are physically and visually compatible with the *heritage building*, such as wood siding and shingles, red brick masonry and stucco.
 - b. Contemporary and/or non-traditional materials, such as metal panelling and glass (curtain walls) may be permitted as accents on a case by case basis, but not as the principal cladding of *additions*.
 - c. Stone and artificial stone materials shall not be permitted for the cladding of *additions*. These materials may be considered as a foundation or an accent material where appropriate with the architectural style of the *heritage building*.
 - d. Metal, vinyl and plastic composite siding shall not be permitted.
 - e. Exterior Insulation and Finish Systems (EIFS) shall not be permitted. In addition to being aesthetically incompatible with the *heritage character* of the District, this material can promote mould growth and retain moisture in building fabrics that were intended to breath.
 - f. For painted surfaces, select colours that are compatible with the architectural style, cladding materials, and colour of the *heritage building*.