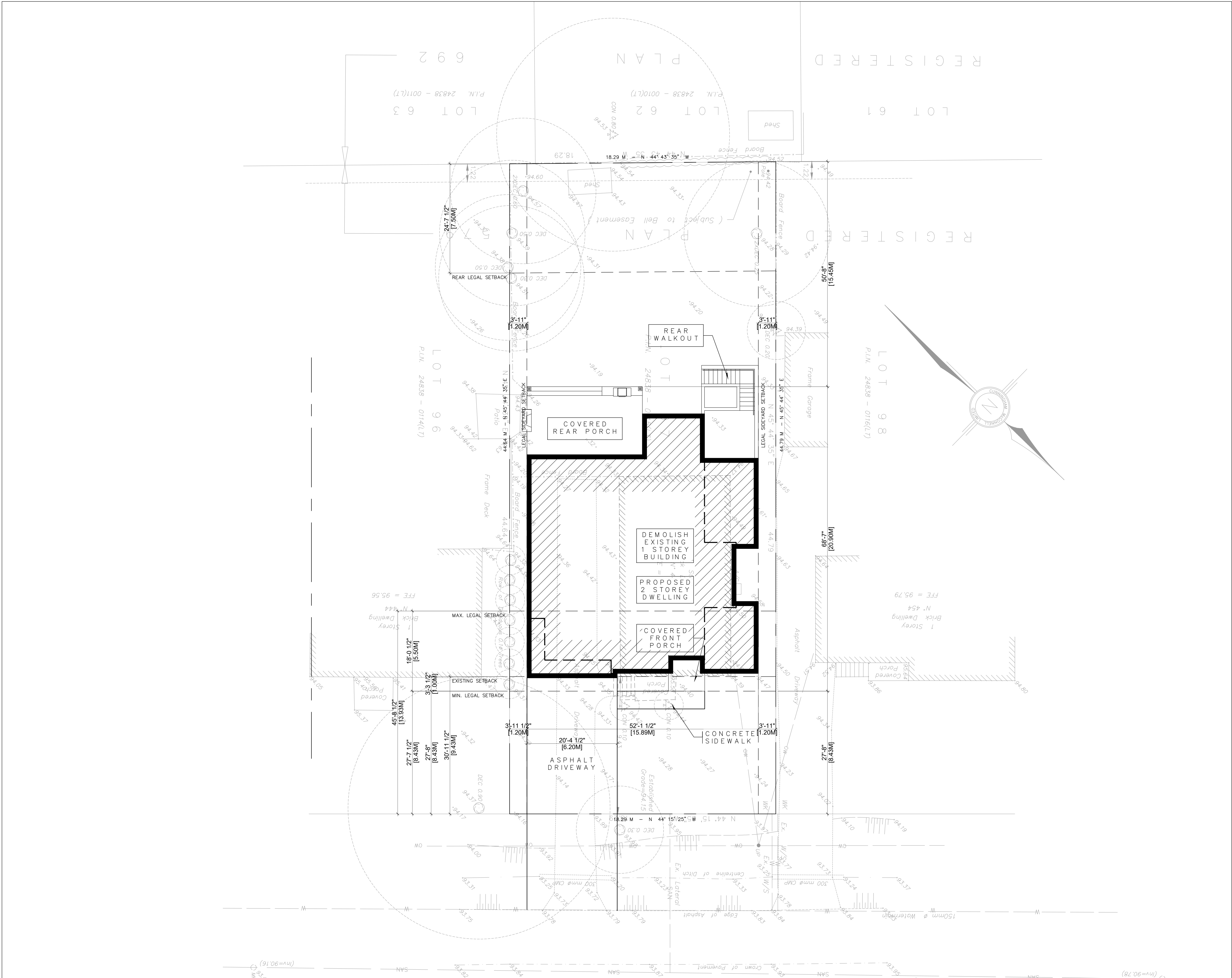




SITE DATA:	
ZONING:	RL3-0
LOT AREA:	817.26 SQM (8796.9 SQFT)
LEGAL SETBACKS:	
FRONT YARD SETBACK:	
EXISTING -	9.43 M
MINIMUM = EXISTING - 1.0M =	8.43 M
MAXIMUM = NEW MINIMUM + 5.5M =	13.93 M
WEST SIDE YARD SETBACK:	1.2 M
EAST SIDE YARD SETBACK:	1.2 M
REAR YARD SETBACK:	7.50 M
PROPOSED SETBACKS:	
FRONT YARD SETBACK:	8.43 M
WEST SIDE YARD SETBACK:	1.2 M
EAST SIDE YARD SETBACK:	1.2 M
REAR YARD SETBACK:	15.45 M
LOT COVERAGE:	
MAXIMUM PERMISSIBLE - 35%:	817.26 X 0.35 = 286.04 SQM (3078.9 SQFT)
PROPOSED - LOT AREA X 35%:	286.0 SQM (3078.6 SQFT)
BUILDING FOOTPRINT AREA:	
MAIN HOUSE:	244.2 SQM (2628.7 SQFT)
COVERED REAR PORCH:	37.0 SQM (398.7 SQFT)
COVERED FRONT PORCH:	4.8 SQM (51.2 SQFT)
TOTAL:	286.0 SQM (3078.6 SQFT)
GARAGE AREA:	
MAXIMUM PERMISSIBLE :	45 SQM (484.4 SQFT)
PROPOSED:	63.2 SQM (680.8 SQFT)
GROSS FLOOR AREA (EXTERIOR FACE):	
MAIN FLOOR:	171.9 SQM (1850.8 SQFT)
SECOND FLOOR:	186.9 SQM (2011.7 SQFT)
OVERALL TOTAL:	358.8 SQM (3862.5 SQFT)
MAXIMUM PERMISSIBLE GFA:	
LOT AREA X 40%:	817.26 X 40% = SQM 326.9 SQM (3516.7 SQFT)
PROPOSED GFA - LOT AREA X 43.9%:	358.8 SQM (3862.5 SQFT)
MAXIMUM BUILDING HEIGHT:	
MAX. PERMISSIBLE:	9.00 M
PROPOSED HEIGHT:	9.00 M (29'-6")

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general notes:

- ALL DIMENSIONS IN IMPERIAL.
- VERIFY ALL DIMENSIONS.
- DO NOT SCALE DRAWINGS.
- CHECK DRAWINGS AGAINST SPECIFICATIONS.
- USE THE LATEST REVISED DRAWINGS ONLY.
- REPORT ANY DISCREPANCIES, DISCOVERED ERRORS, OR OMISSIONS, TO THE OWNER BEFORE PROCEEDING.
- CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS PRIOR TO CONSTRUCTION AND INFORM OWNER OF ALL DISCREPANCIES. DO NOT SCALE THESE DRAWINGS.
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH PART 9 AND 4 OF THE ONTARIO BUILDING CODE AND LOCAL BY-LAWS.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONFORM WITH THESE SECTIONS WHERE APPLICABLE AND BE AWARE THAT GENERALLY WITH PART 9 OF THE BUILDING CODE

ISSUE	DATE	DESCRIPTION	INITIAL
9	03/03/22	REVIEW	TK
10	04/06/22	REVIEW	TK
11	04/08/22	SPA	TK
12	04/19/22	SPA	TK
13	04/19/22	SPA	TK

Done Drawing Stored:

Set

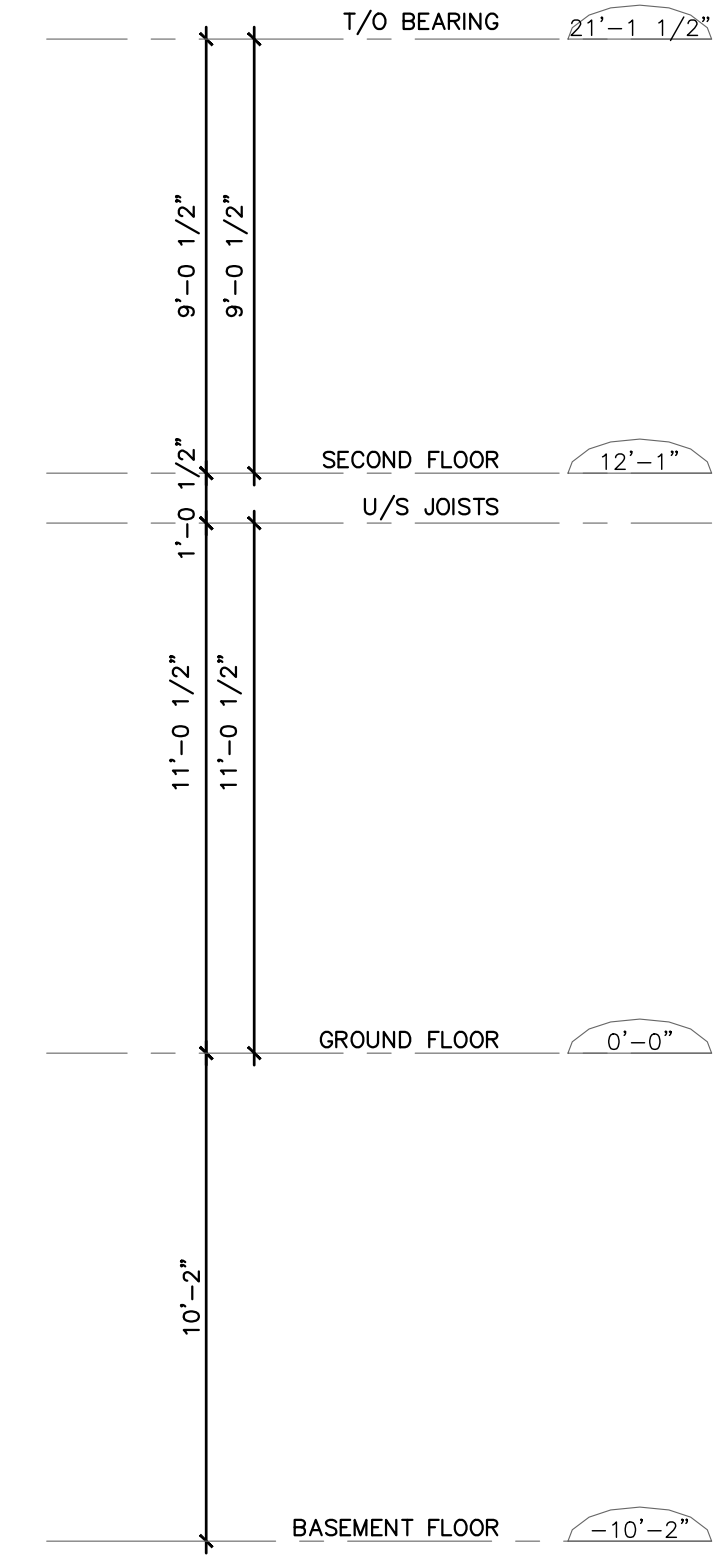
SPA
Issued for:
APRIL 19, 2022
Issue date

Project No.	DRL	TK
Drawn by	Checked by	

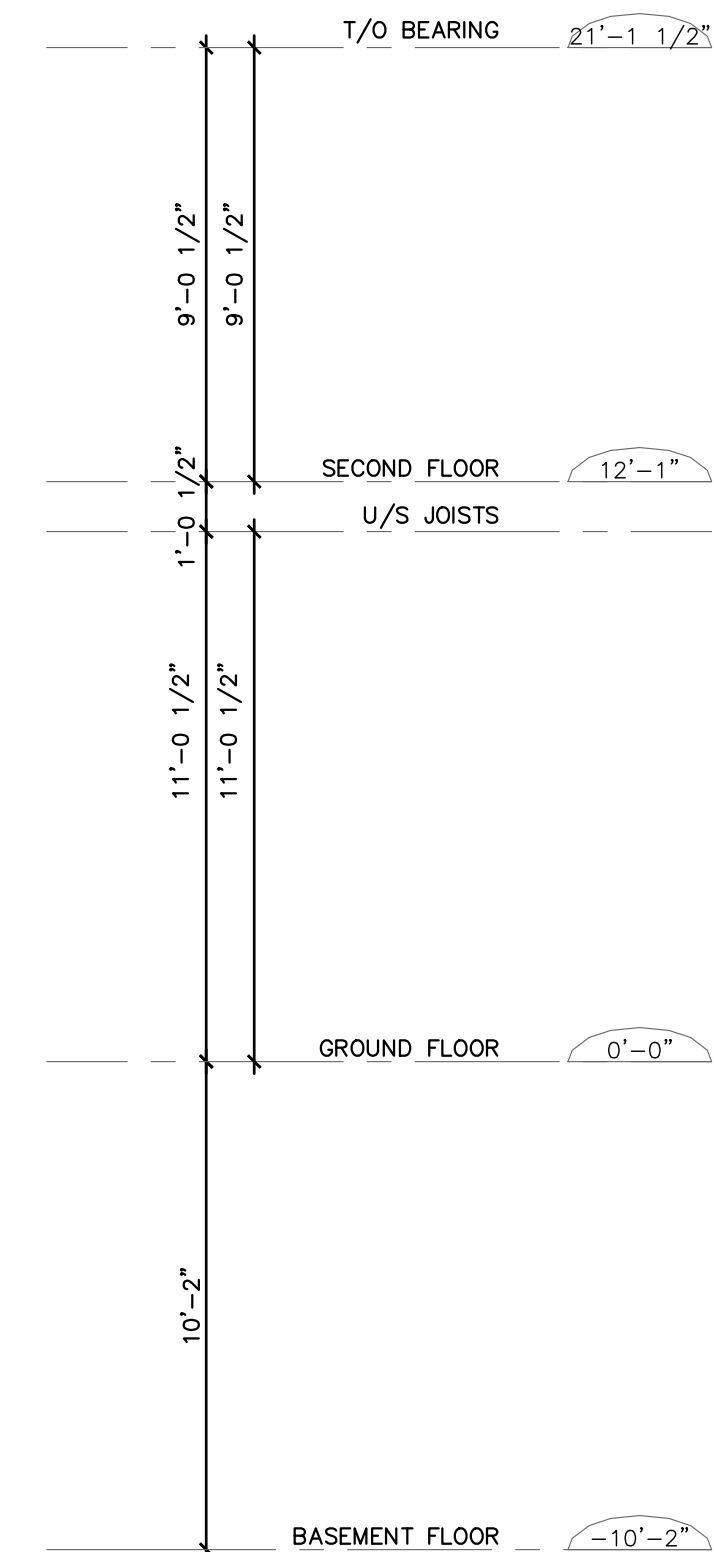
New Single Family Residence
448 Winston Road
Oakville, Ontario
Project

Site Plan
Drawing title

Sheet no. A1.1



1 SOUTH-WEST ELEVATION
3/16" = 1'-0"

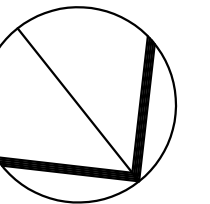


2 NORTH-WEST ELEVATION
3/16" = 1'-0"



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ISSUE			
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11	04/08/22	SPA	TK



SPA			
Issued for			
APRIL 8, 2022			
Issue title			
Project No.	DRL	TK	Checked by

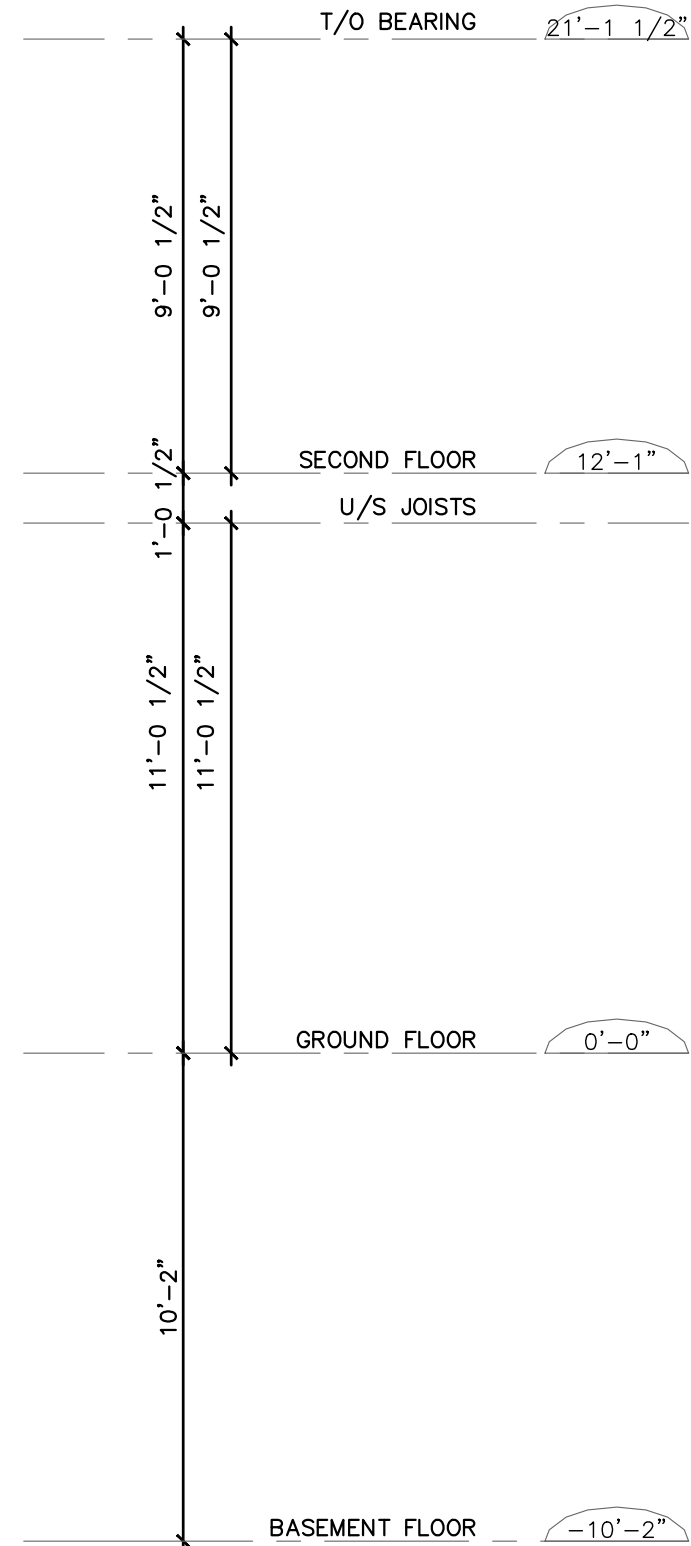
New Single Family
Residence
448 Winston Road
Oakville, Ontario

Exterior Elevations

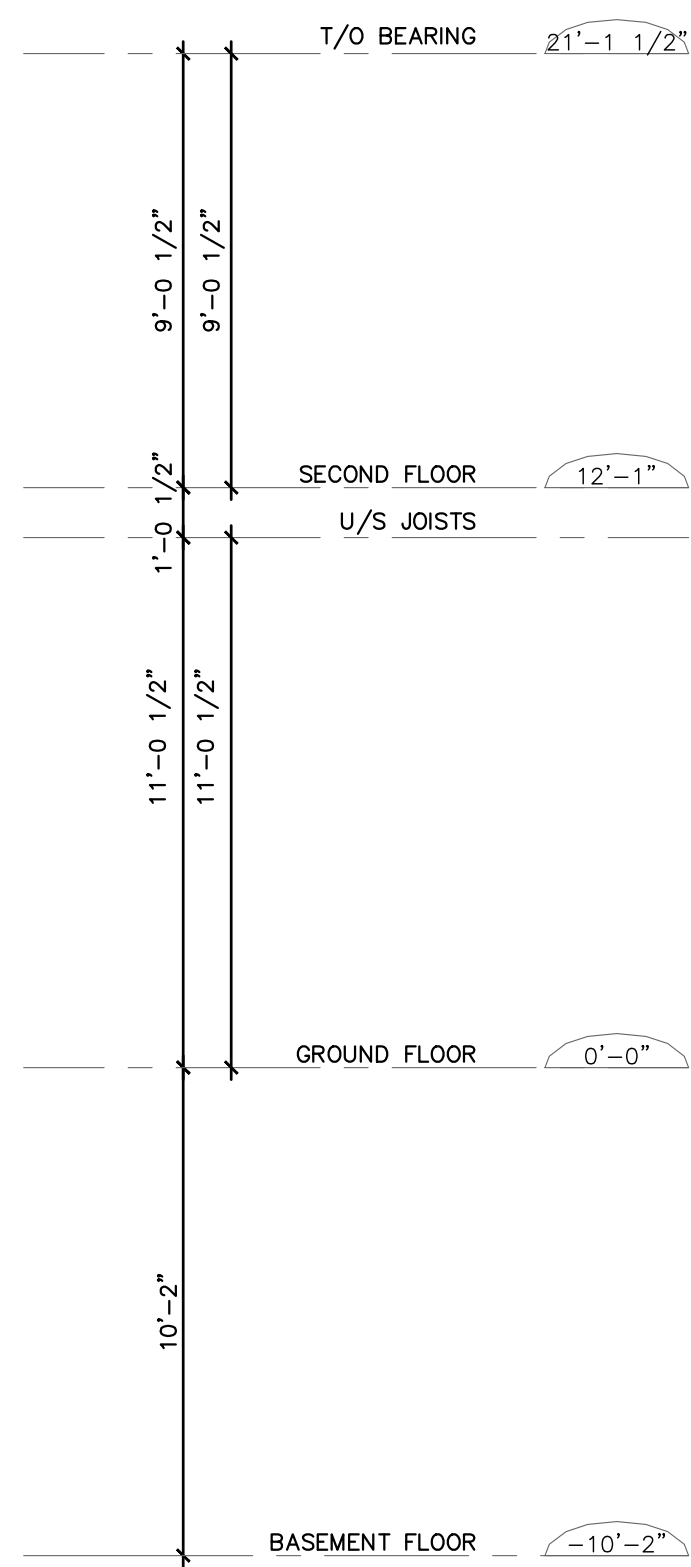
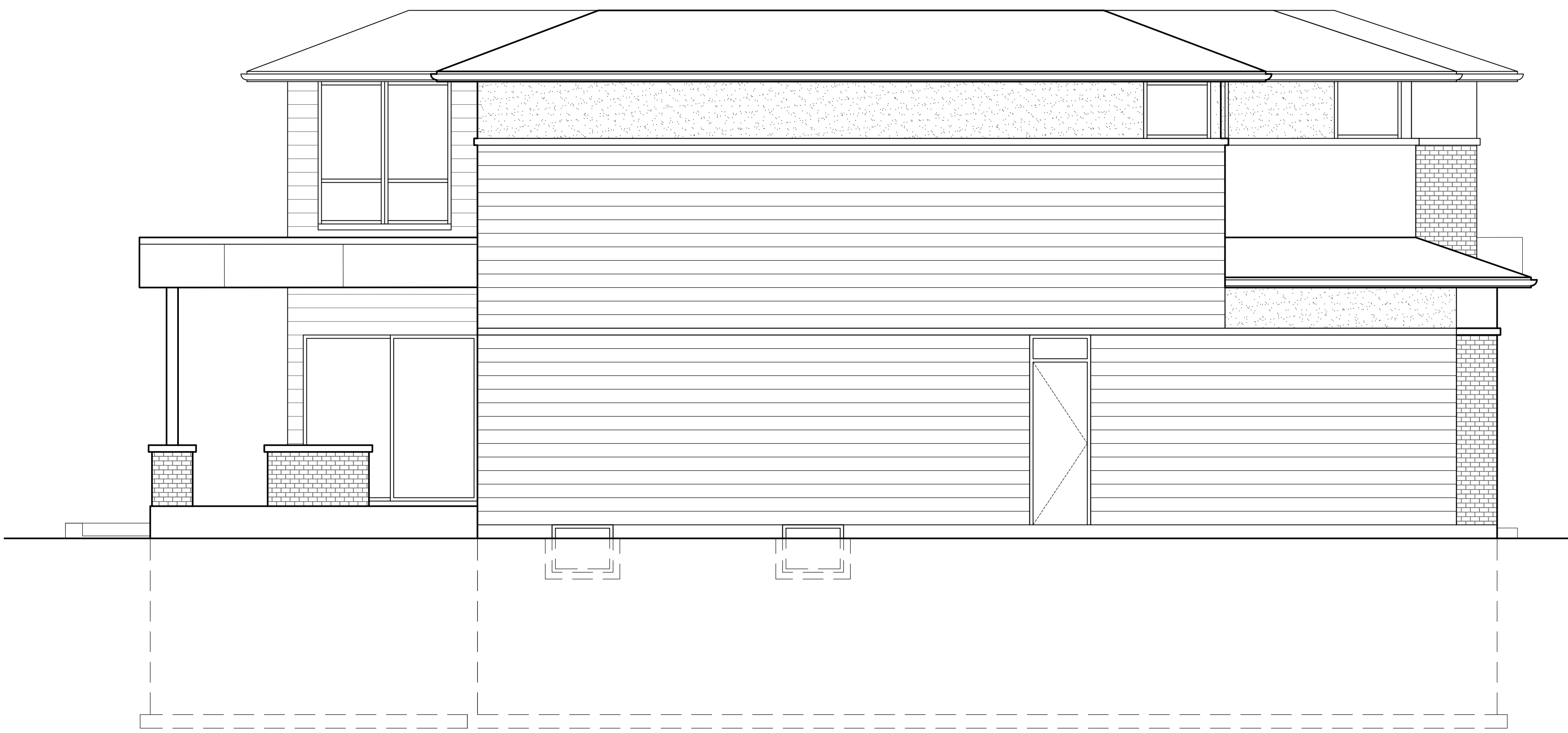
Drawing title

A3.1

Sheet no.



1 SOUTH-WEST ELEVATION
3/16" = 1'-0"

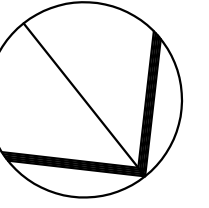


2 NORTH-WEST ELEVATION
3/16" = 1'-0"



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SPA
Issued for
APRIL 8, 2022
Issue title

Project No.	DRL	TK
Drawn by	Checked by	

New Single Family Residence
448 Winston Road
Oakville, Ontario
Project
Exterior Elevations
Drawing title

Sheet no. A3.2